

# CITY OF ALBUQUERQUE

Planning Department  
Brennon Williams, Director



Mayor Timothy M. Keller

September 23, 2019

Jake Palmer  
Accelerated Development Services  
2415 E Camelback Rd, Suite 400  
Phoenix, AZ 85016

RE: **Drive Thru Restaurant**  
**700 Coors Blvd NW**  
**Grading Plan Stamp Date: 8/15/19**  
**Hydrology File: J11D039**

Dear Mr. Palmer:

Based on the submittal received on 8/20/19, this project cannot be approved until the following corrections are made:

PO Box 1293

Prior to Building Permit:

Albuquerque

NM 87103

www.cabq.gov

1. Runoff from impervious areas needs to be routed into the stormwater quality (SWQ) ponds. Please provide the SWQ volume calculations for each basin draining to each pond. The stormwater quality ponds need to be sized for the areas draining to them. It appears a large portion of the parking lot and roof simply flows out the driveway onto Fortuna.
2. You may also elect to make Payment-in-Lieu of onsite management for the bypass volume. In order to pursue this, the plan must state that: you could provide onsite management, you do not want to (due to cost or convenience), and you are electing to make the Payment in Lieu of onsite management. The bypass volume must be quantified; a treasury deposit slip can then be generated for the bypass amount at a rate of \$8/CF.
3. Provide hydrologic calculations per the DPM, Ch 22.2.A for the 100-yr storm. Also, a brief narrative describing the project and existing/proposed grading and drainage is recommended (DPM Ch 22.7: *Grading Plan Checklist*).
4. Provide outfalls for both ponds, sized for the 100-yr peak inflow. Include supporting hydraulic calculations as needed.
5. It appears that your engineering stamp is too big. The NM Board of Licensure for Professional Engineers and Professional Surveyors Administrative Code 16.39.3.12.C states, "The design of the seal/stamp shall consist of three (3) concentric circles, the outermost circle being one (1) and one-half (1/2) inches in diameter..."

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6. For trash enclosures serving food service developments, demonstrate *control of liquids from dumpster areas* per DPM Chapter 22.9.E, Table 1 by: containing runoff from the dumpster area, preventing outside drainage from entering the dumpster area, and discharging to the sanitary sewer. If this information is on the utility plan please provide it, or show on the grading plan.
7. Show the work to close the extra driveway cut, reconstruct the remaining two driveways per ADA requirements, and any other work required in the ROW. Include spot elevations at flowline and highpoint, demonstrating a 0.87' (min.) waterblock.
8. Add a note on the Grading Plan, "Prior to any work within the New Mexico Department of Transportation (NMDOT) Right-of-Way, an NMDOT permit will be required." Provide a copy of the issued permit prior to requesting Certificate of Occupancy.

Prior to Certificate of Occupancy (For Information):

PO Box 1293

9. Engineer's Certification, per the DPM Chapter 22.7: *Engineer's Certification Checklist For Non-Subdivision is required.*

Albuquerque

10. A Bernalillo County Recorded Private Facility Drainage Covenant is required for the stormwater quality pond. The original notarized form, exhibit A (legible on 8.5x11 paper), and recording fee (\$25, payable to Bernalillo County) must be turned into DRC (4th, Plaza del Sol) for routing. Please contact Charlotte LaBadie (clabadie@cabq.gov, 924-3996) regarding the routing and recording process for covenants. The routing and recording process for covenants can take a month or longer; Hydrology recommends beginning this process as soon as possible as to not delay approval for certificate of occupancy.

NM 87103

www.cabq.gov

If you have any questions, please contact me at 924-3695 or dpeterson@cabq.gov.

Sincerely,

Dana Peterson, P.E.  
Senior Engineer, Planning Dept.  
Development Review Services



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6 2018)

**Project Title:** 700 Coors Blvd. **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** \_\_\_\_\_  
**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_  
**Legal Description:** TR B REPLAT OF A PORT OF TRS 161, 162 7 163 OF AIRPORT UNIT OF TRS ALLOTTED FROM THE TOWN OF ATRISCO GRANT CONT 0.5675 AC M/L  
**City Address:** 700 COORS BLVD NW ALBUQUERQUE NM 87105

**Applicant:** ACCELERATED DEVELOPMENT SERVICES **Contact:** JAKE PALMER  
**Address:** 2415 E. CAMELBACK ROAD, SUITE 400, PHOENIX, AZ 85016  
**Phone#:** 602.682.8153 **Fax#:** \_\_\_\_\_ **E-mail:** JAKE.PALMER@ACCELERATEDEVCO.COM

**Other Contact:** CESO, INC. **Contact:** JEFFREY DE ZORT  
**Address:** 2020 N. CENTRAL, SUITE 980, PHOENIX, AZ 85004  
**Phone#:** 330.396.5702 **Fax#:** \_\_\_\_\_ **E-mail:** DEZORT@CESOINC.COM

**TYPE OF DEVELOPMENT:** \_\_\_\_\_ PLAT (# of lots) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL? \_\_\_\_\_ Yes ☒ No

**DEPARTMENT** \_\_\_\_\_ TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that Apply:

### TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☒ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) \_\_\_\_\_
- ☐ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☒ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) \_\_\_\_\_

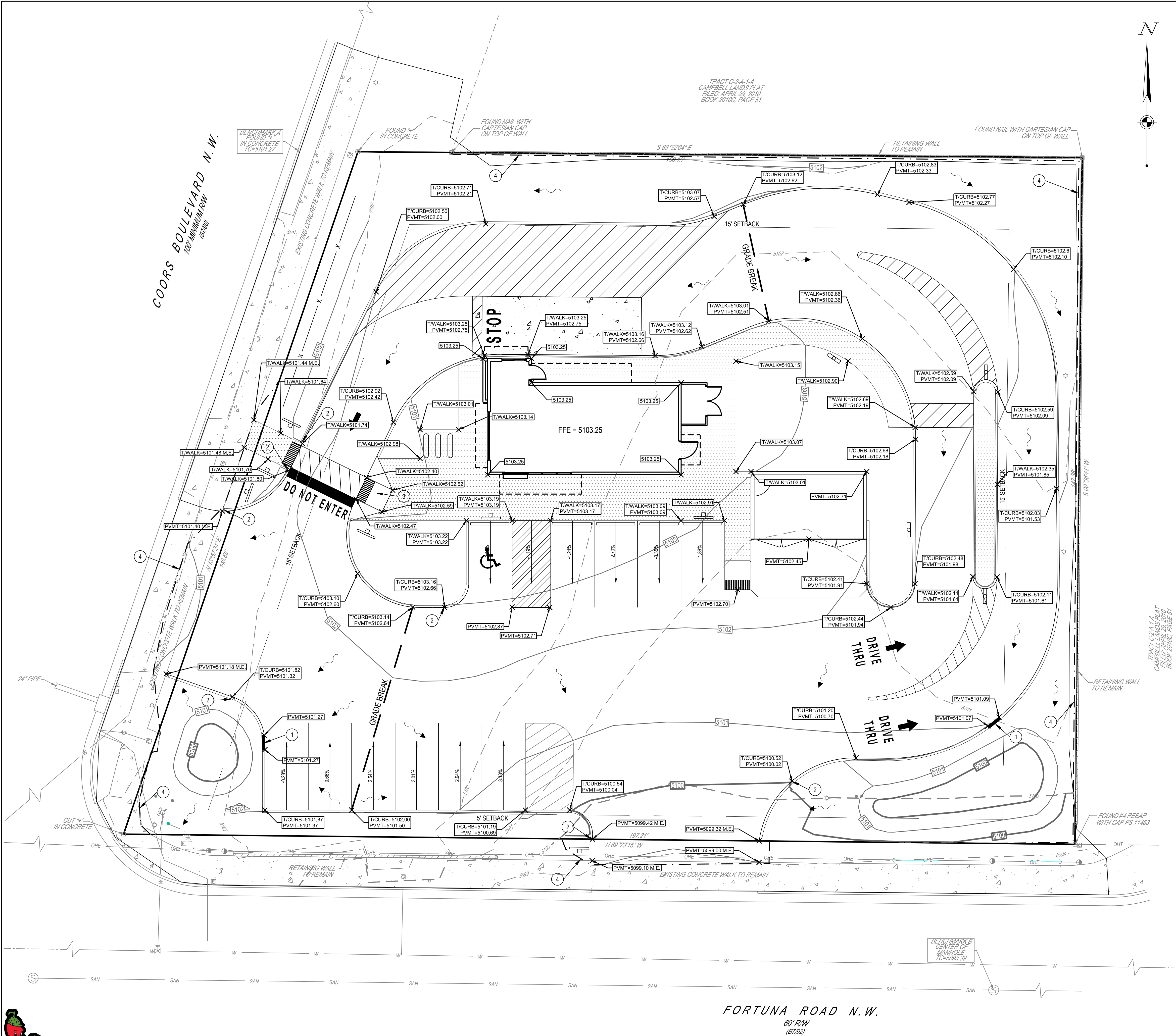
**DATE SUBMITTED:** 8-14-19 **By:** Jake Palmer

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_



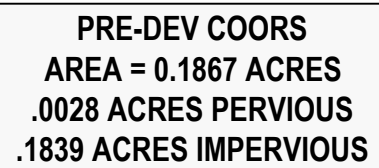




## PRE-DEVELOPED

TOTAL PRE-DEVELOPED IMPERVIOUS AREA = 0.1839 AC + .4427 AC = 0.6266 ACRE.

TOTAL POST-DEVELOPED IMPERVIOUS AREA = .1703 AC + .3022 AC = .4725 ACRES (24.6% REDUCTION)



- EXISTING WALL  
TO REMAIN

PER GEOTECHNICAL EVALUATION REPORT PERFORMED  
BY WESTERN TECHNOLOGIES INC, DATED JULY 16, 2019

## 5.0 GEOTECHNICAL PROPERTIES & ANALYSIS

### 5.1 Laboratory Tests

Laboratory test results (see Appendix B) indicate that native subsoils near shallow foundation level exhibit medium amounts of compressibility in a saturated condition.

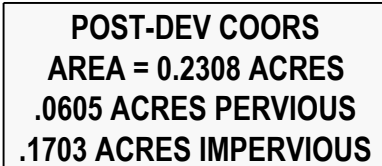
Near-surface soils encountered are non-plastic to low plasticity. These soils are not expected to exhibit significant shrink/swell upon changes in moisture content.

Clayey soils of medium-plasticity may become apparent once construction begins. These soils may exhibit moderate expansion potential when recompacted, confined by loads approximating floor loads and saturated. Slabs-on-grade supported on recompacted native soils have a moderate potential for heaving if the water content of the soil increases. Densification of the soil by the passage of construction equipment may increase the expansion potential of the native clayey soil.

Infiltration rates based upon the soil type will be on the order of 20 minutes per inch or less.



## POST-DEVELOPED



POST-DEV FORTUNA  
AREA = 0.4211 ACRES  
.1189 ACRES PERVIOUS  
3022 ACRES IMPERVIOU

STORMWATER INFILTRATION AREA  
TOP ELEV: 5101.25  
TOTAL STORAGE: 262 CF

TOP ELEV: 5101.00  
TOTAL STORAGE: 487 CF

SITE RE-DEVELOPMENT WATER QUALITY RETENTION  
REQUIRED VOLUME = 0.26 IN x SITE IMPERVIOUS ARE.

DEVELOPED SITE IMPERVIOUS AREA = 0.5008 ACRES = 21,815 SF  
REQ VOLUME =  $(0.26/12) \times (21,815) = 472.66$  CF

PROVIDED RETENTION VOLUME = 262+487 CF = 749 CF



**CESO**  
WWW.CESONLINE.COM

2020 N. CENTRAL AVE., STE 980, PHOENIX, AZ 85004  
PHONE: (602) 282-5900

[illegible]

RESTAURANT WITH  
DRIVE-THRU  
FORTUNA RD NW & COORS BLVD  
ALBUQUERQUE, NM, 87121



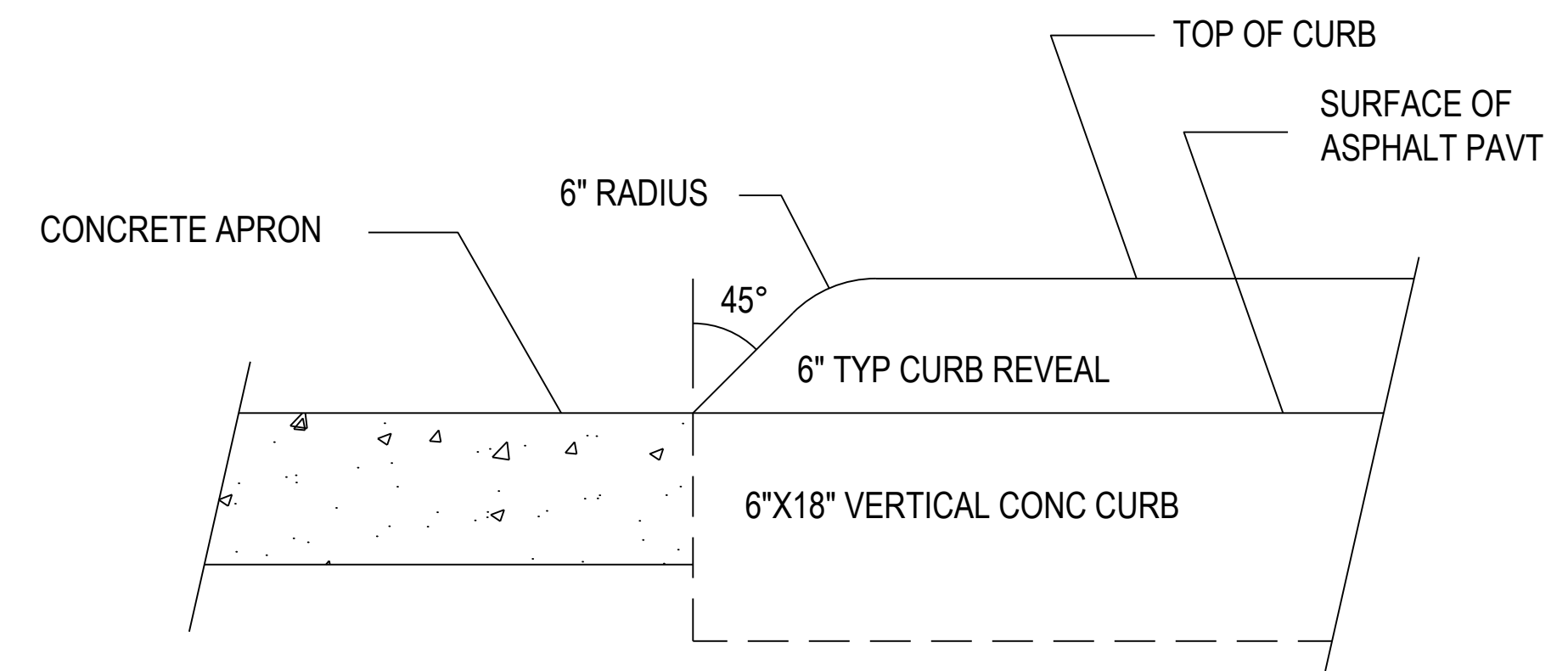
Project No.	756678-01
Scale	1" = 20'
Drawn	M. GRABER
Checked	J. DEZORT
Date	2019.08.14
Issue	G&D AND TCL REVIEW
Drawing Title	

## STORM WATER SUMMARY

Drawing No. **GD1.1**



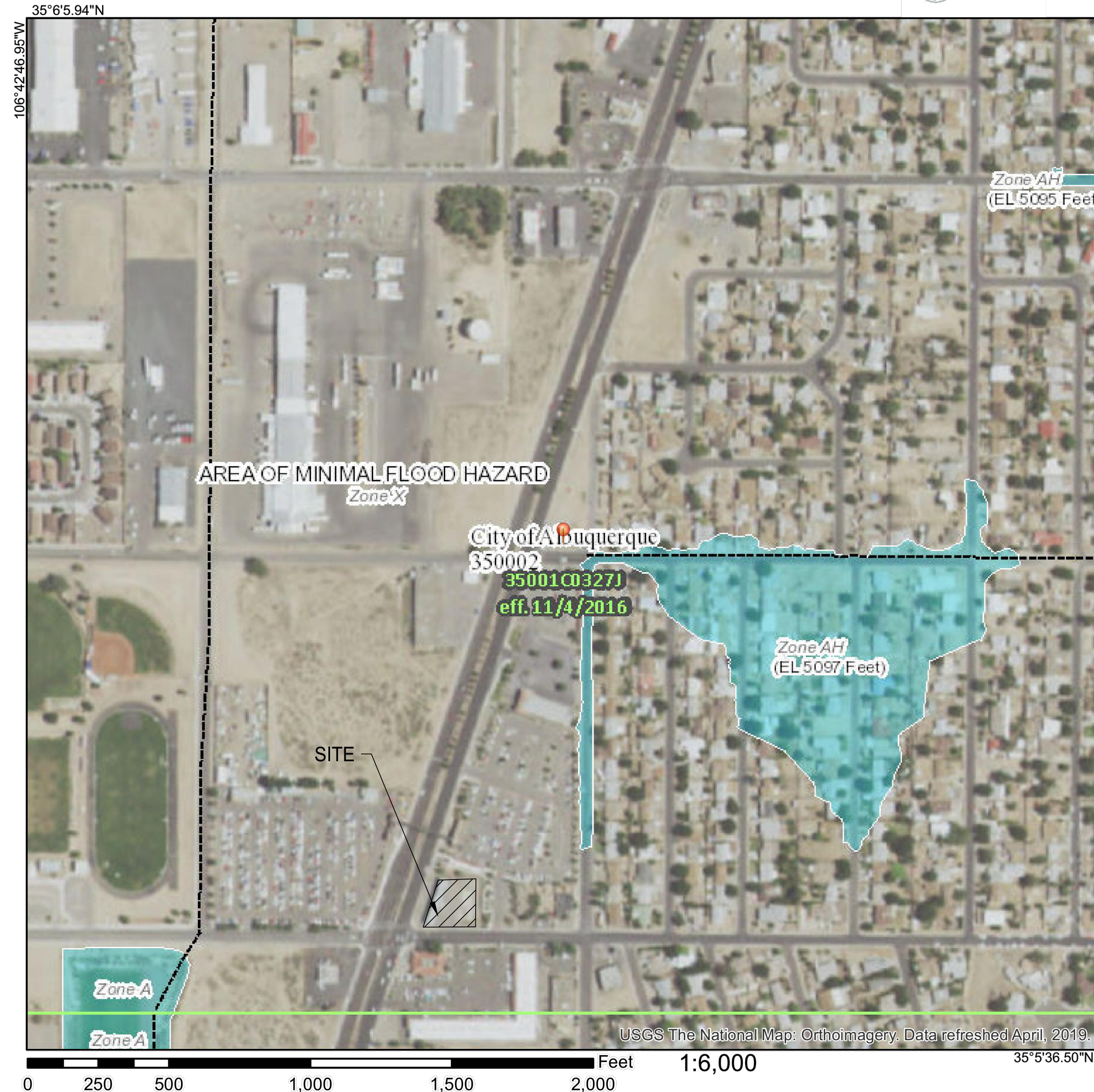




### CONCRETE CURB NOSING DETAIL

NOT TO SCALE

Drawing No. GD1.2



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