

# CITY OF ALBUQUERQUE

*Planning Department*  
Brennon Williams, Director



*Mayor Timothy M. Keller*

February 11, 2021

Jackie McDowell  
McDowell Engineering, Inc.  
7820 Beverly Hills Ave. NE  
Albuquerque, NM 87122

**RE: 5205 La Bajada NW**  
**Grading and Drainage Plan**  
**Engineer's Stamp Date: 02/02/21**  
**Hydrology File: J11D042**

Dear Ms. McDowell:

PO Box 1293  
Albuquerque  
NM 87103

Based upon the information provided in your submittal received 02/02/2021, the Grading and Drainage Plan is approved for Building Permit and Grading Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

Prior to approval in support of Permanent Release of Occupancy by Hydrology, Engineer Certification per the DPM checklist will be required.

If you have any questions, please contact me at 924-3995 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov).

Sincerely,

[www.cabq.gov](http://www.cabq.gov)

Renée C. Brissette, P.E. CFM  
Senior Engineer, Hydrology  
Planning Department



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

**Project Title:** \_\_\_\_\_ **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** \_\_\_\_\_

**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_

**Legal Description:** \_\_\_\_\_

**City Address:** \_\_\_\_\_

**Applicant:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Other Contact:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**TYPE OF DEVELOPMENT:** \_\_\_\_\_ PLAT (# of lots) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE \_\_\_\_\_ ADMIN SITE

IS THIS A RESUBMITTAL? \_\_\_\_\_ Yes \_\_\_\_\_ No

**DEPARTMENT** \_\_\_\_\_ TRANSPORTATION \_\_\_\_\_ HYDROLOGY/DRAINAGE

Check all that Apply:

### TYPE OF SUBMITTAL:

- \_\_\_\_\_ ENGINEER/ARCHITECT CERTIFICATION
- \_\_\_\_\_ PAD CERTIFICATION
- \_\_\_\_\_ CONCEPTUAL G & D PLAN
- \_\_\_\_\_ GRADING PLAN
- \_\_\_\_\_ DRAINAGE REPORT
- \_\_\_\_\_ DRAINAGE MASTER PLAN
- \_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- \_\_\_\_\_ ELEVATION CERTIFICATE
- \_\_\_\_\_ CLOMR/LOMR
- \_\_\_\_\_ TRAFFIC CIRCULATION LAYOUT (TCL)
- \_\_\_\_\_ TRAFFIC IMPACT STUDY (TIS)
- \_\_\_\_\_ STREET LIGHT LAYOUT
- \_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_
- \_\_\_\_\_ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- \_\_\_\_\_ BUILDING PERMIT APPROVAL
- \_\_\_\_\_ CERTIFICATE OF OCCUPANCY
- \_\_\_\_\_ PRELIMINARY PLAT APPROVAL
- \_\_\_\_\_ SITE PLAN FOR SUB'D APPROVAL
- \_\_\_\_\_ SITE PLAN FOR BLDG. PERMIT APPROVAL
- \_\_\_\_\_ FINAL PLAT APPROVAL
- \_\_\_\_\_ SIA/ RELEASE OF FINANCIAL GUARANTEE
- \_\_\_\_\_ FOUNDATION PERMIT APPROVAL
- \_\_\_\_\_ GRADING PERMIT APPROVAL
- \_\_\_\_\_ SO-19 APPROVAL
- \_\_\_\_\_ PAVING PERMIT APPROVAL
- \_\_\_\_\_ GRADING/ PAD CERTIFICATION
- \_\_\_\_\_ WORK ORDER APPROVAL
- \_\_\_\_\_ CLOMR/LOMR
- \_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT
- \_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

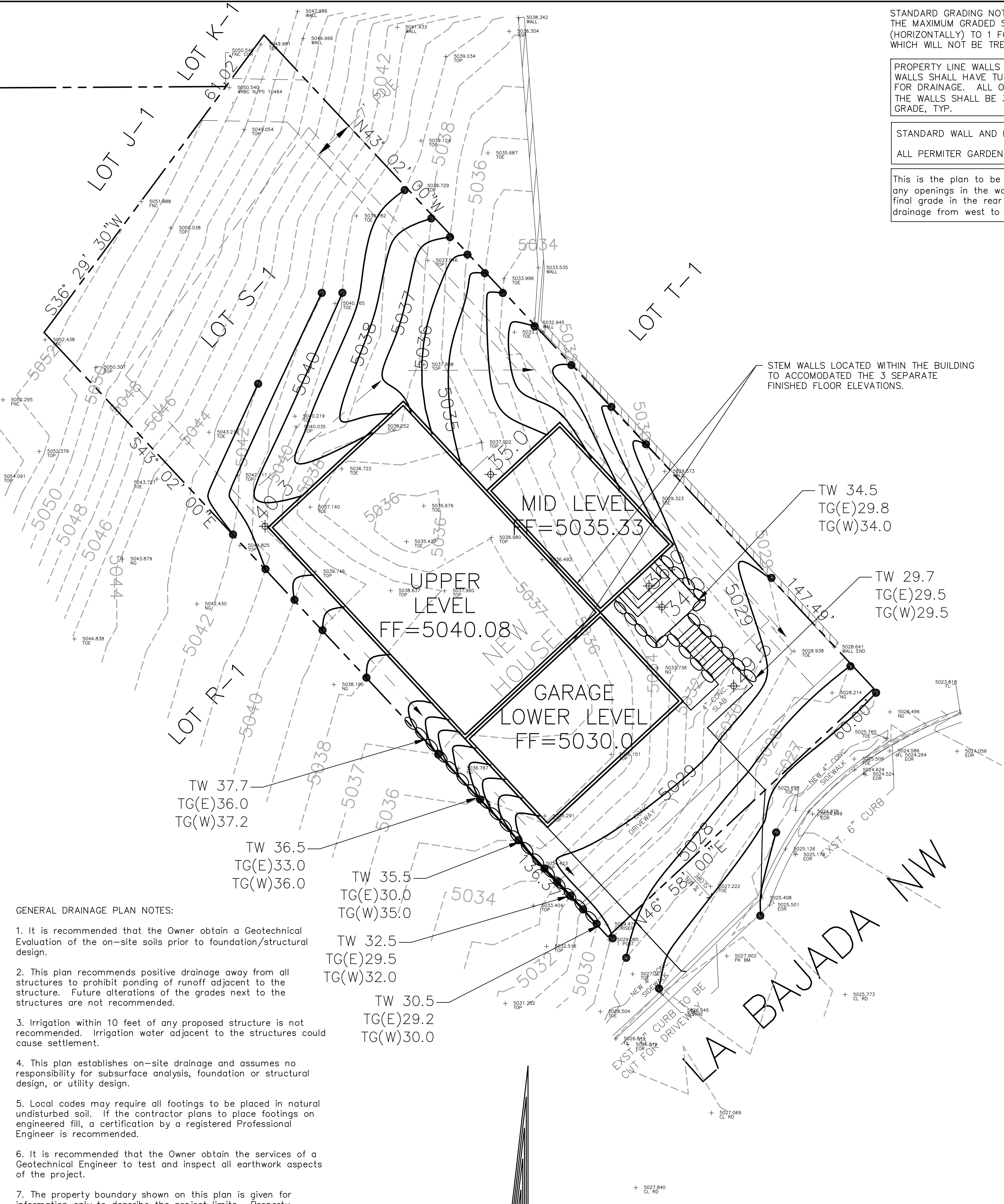
**DATE SUBMITTED:** \_\_\_\_\_ **By:** \_\_\_\_\_

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_





City of Albuquerque  
Planning Department  
Development Review Services  
HYDROLOGY SECTION  
**APPROVED**  
DATE: 02/11/21  
BY: *David Acosta*  
HydroTrans 1110042

THE APPROVAL OF THESE PLANS/REPORT SHALL NOT BE CONSIDERED TO BE A GUARANTEE OF ANY CITY ORDINANCE OR STATE LAW, AND SHALL NOT PRECLUDE THE CITY OF ALBUQUERQUE FROM RECOVERING SPECIAL DAMAGES OR CONSTRUCTION IN CASE APPROVED PLANS SHALL NOT BE COMPLETED, MODIFIED OR ALTERED WITHOUT AUTHORIZATION.

DRAINAGE PLAN

SCOPE:

Pursuant to the latest City of Albuquerque and Bernalillo County Ordinances, the Drainage Plan shown hereon outlines the drainage management criteria for controlling developed runoff on and exiting the project site. A single family home is proposed for the site with associated parking, access, landscaping, and utility improvements.

EXISTING CONDITIONS:

Presently, the 0.20 acre site is undeveloped. The site is bounded on the north, east, and west by private property, and on the south by La Bajada NW. The site is very steep sloping from the northwest to the southeast. As shown on FEMA Panel #329H, dated August 16, 2012, the site is not located in a 100 year flood plain.

PROPOSED CONDITIONS:

The COA has indicated that the site has free discharge. As shown by the plan, the building is located in the center of the lot. Off-site flows enter the site due to existing grades on adjacent lots which transport offsite runoff to the public street and on and around the site. Off-site flow will continue to flow through the site along the historic paths. There are no apparent erosion areas that require attention at this time. On site flows will drain around the structure via swales, and flow to the southeast. All roof drainage will discharge from the roof to the lot and be directed around the structure to the drainage paths.

Supplemental calculations are shown as part of this Grading and Drainage plan.

CALCULATIONS:

The calculations shown hereon define the 100 year-6 hour design storm falling within the project area under existing and developed conditions. The Hydrology is per "Section 22.2, Hydrology of the Development Process Manual, Volume 2, Design Criteria, for the City of Albuquerque, New Mexico in cooperation with Bernalillo County, New Mexico and the Albuquerque Metropolitan Arroyo Flood Control Authority.

PROPERTY ADDRESS:

5205 LA BAJADA NW, ALBUQUERQUE, NM 87105

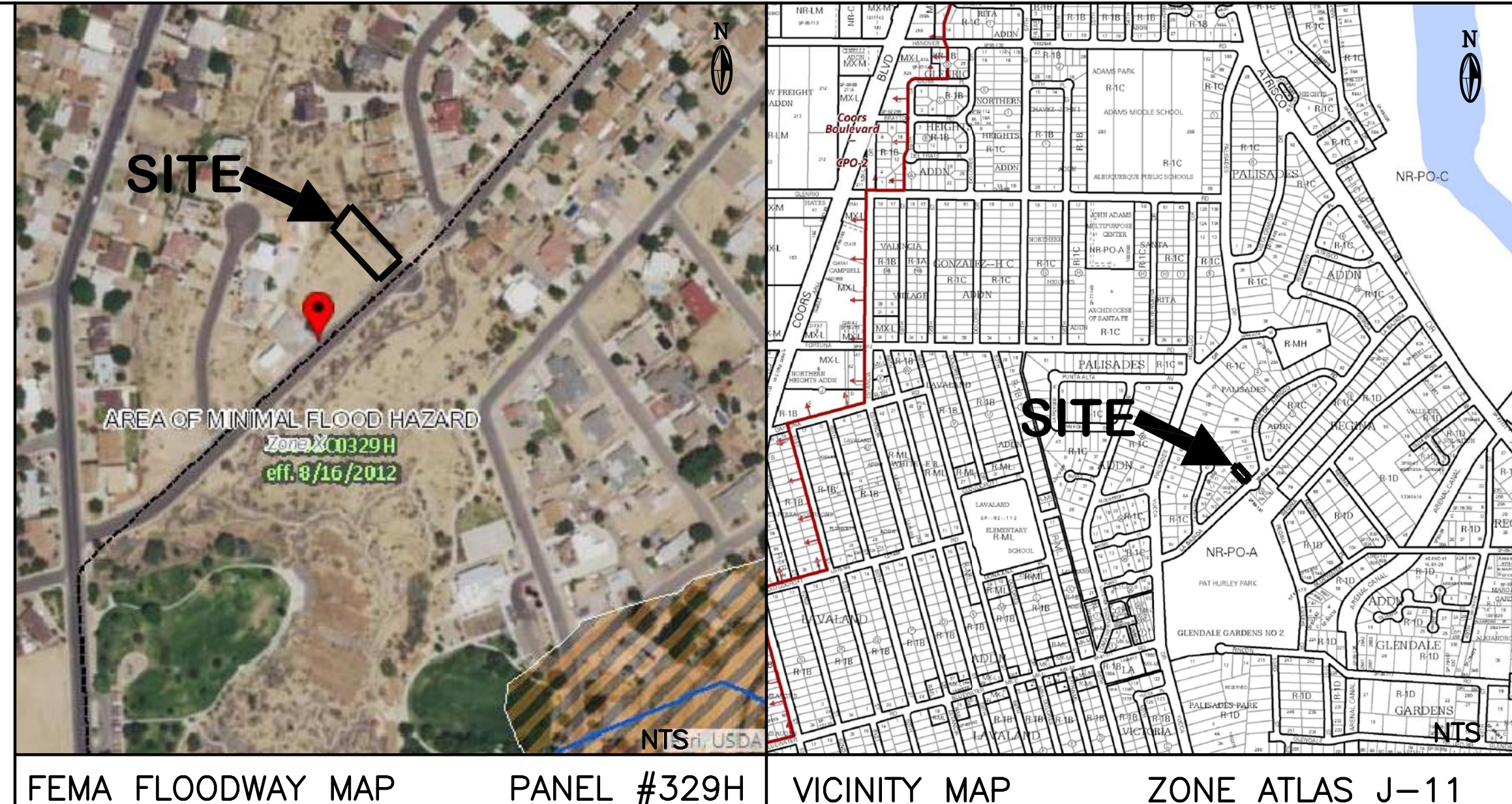
TOPOGRAPHY:

Topographic information provided by David Acosta, dated 10-20-20.

ZONE 1						
Areas: (acres)	Existing	Proposed				
Treatment A	0.20	0.04				
Treatment B	0.00	0.05				
Treatment C	0.00	0.03				
Treatment D	0.00	0.08				
Total (acres) =	0.20	0.20				

Volume	100 year Existing	100 year Proposed	10 year Existing	10 year Proposed	2 year Existing	2 year Proposed
Volume (acre-feet) =	0.007	0.020	0.001	0.011	0.000	0.005
Volume (cubic feet) =	315	865	58	460	0	224

Total Q(p), cfs.	100 year Existing Q(p)*A	100 year Proposed Q(p)*A	10 year Existing Q(p)*A	10 year Proposed Q(p)*A	2 year Existing Q(p)*A	2 year Proposed Q(p)*A
Treatment A	0.28	0.05	0.05	0.01	0.00	0.00
Treatment B	0.00	0.10	0.00	0.04	0.00	0.00
Treatment C	0.00	0.09	0.00	0.04	0.00	0.01
Treatment D	0.00	0.35	0.00	0.23	0.00	0.14
Total Q (cfs) =	0.28	0.59	0.05	0.32	0.00	0.15



LEGEND	
EXISTING	PROPOSED
CONTOUR	6045
PROPERTY LINE	
ROAD	
SETBACK	
WALL/RET. WALL	
SPOT ELEVATION	85'0"

Jackie S. McDowell  
Professional Engineer  
2-2-21

ENGINEER'S CERTIFICATION:

I, Jackie S. McDowell, hereby certify that I personally inspected the site shown on this plan on January 22, 2021 and as of that date it appeared that no filling, grading, or excavation had occurred thereon since completion of the topographic survey used to prepare this plan.

5205 LA BAJADA NW, ALBUQUERQUE, NM 87105  
CITY OF ALBUQUERQUE, BERNALILLO COUNTY NEW MEXICO

LOT S-1, BLOCK 4  
THE PALISADES SUBDIVISION

CARLOS MONTOYA - GRADING & DRAINAGE PLAN

**McDowell Engineering, Inc.**  
7820 BEVERLY HILLS AVE. NE • ALBUQUERQUE, NM 87122  
TELE: 505-828-2430 • FAX: 505-821-4857

Designed JSM Drawn STAFF Checked JSM Sheet of  
File MON0121L Date JANUARY,2021 1 1