

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

March 4, 2022

David Soule, P.E.  
Rio Grande Engineering  
P.O. Box 93924  
Albuquerque, NM 87199

**RE: 1424 Riverview Dr NW**  
**Grading and Drainage Plan**  
**Engineer's Stamp Date: 02/23/22**  
**Hydrology File: J11D044**

Dear Mr. Soule:

Based upon the information provided in your submittal received 02/23/2022, the Grading and Drainage Plan is approved for Building Permit, Grading Permit, and SO-19 Permit. Since this site currently is relatively flat except the rear of the lot, a pad certification is not needed for this project. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

**PRIOR TO CERTIFICATE OF OCCUPANCY:**

1. Engineer's Certification, per the DPM Part 6-14 (F): Engineer's Certification Checklist For Non-Subdivision is required.

If you have any questions, please contact me at 924-3995 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov).

Sincerely,

Renée C. Brissette, P.E. CFM  
Senior Engineer, Hydrology  
Planning Department



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

**Project Title:** 1424 RIVERVIEW **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** \_\_\_\_\_  
**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_  
**Legal Description:** lot 62- RIVERVIEW HEIGHTS SUBDIVSION  
**City Address:** 1424 RIVERVIEW

**Applicant:** \_\_\_\_\_ **Contact:** \_\_\_\_\_  
**Address:** \_\_\_\_\_  
**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Other Contact:** RIO GRANDE ENGINEERING **Contact:** DAVID SOULE  
**Address:** PO BOX 93924 ALB NM 87199  
**Phone#:** 505.321.9099 **Fax#:** 505.872.0999 **E-mail:** david@riograndeengineering.com

**TYPE OF DEVELOPMENT:** ☐ PLAT ☒ RESIDENCE ☐ DRB SITE ☐ ADMIN SITE

Check all that Apply:

**DEPARTMENT:**  
☒ HYDROLOGY/ DRAINAGE  
☐ TRAFFIC/ TRANSPORTATION

**TYPE OF SUBMITTAL:**  
☒ ENGINEER/ARCHITECT CERTIFICATION  
☐ PAD CERTIFICATION  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ DRAINAGE REPORT  
☐ DRAINAGE MASTER PLAN  
☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC  
☐ ELEVATION CERTIFICATE  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ STREET LIGHT LAYOUT  
☐ OTHER (SPECIFY) \_\_\_\_\_  
☐ PRE-DESIGN MEETING?

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY  
  
☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL  
  
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR  
☐ FLOODPLAIN DEVELOPMENT PERMIT  
☐ OTHER (SPECIFY) \_\_\_\_\_

**DATE SUBMITTED:** \_\_\_\_\_ **By:** \_\_\_\_\_

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_



Weighted E Method

Basin	Area (sf)	Area (acres)	100-Year, 6-hr.						100 yr 10-day					
			Treatment A (acres)	Treatment B (acres)	Treatment C (acres)	Treatment D (acres)	Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs	Volume (ac-ft)				
EXISTING	12350.00	0.284	75%	0.2126	25%	0.071	0%	0.000	0%	0.000	0.595	0.014	0.48	0.014
PROPOSED	12350.00	0.284	0%	0	25%	0.071	35%	0.099	40%	0.113	1.411	0.033	0.91	0.054

Equations:

Weighted E = Ea\*Aa + Eb\*Ab + Ec\*Ac + Ed\*Ad / (Total Area)

Volume = Weighted D \* Total Area

Flow = Qa \* Aa + Qb \* Ab + Qc \* Ac + Qd \* Ad

Where for 100-year, 6-hour storm(zone1)

Ea= 0.55	Qa= 1.54
Eb= 0.73	Qb= 2.16
Ec= 0.95	Qc= 2.87
Ed= 2.24	Qd= 4.12

Developed Conditions

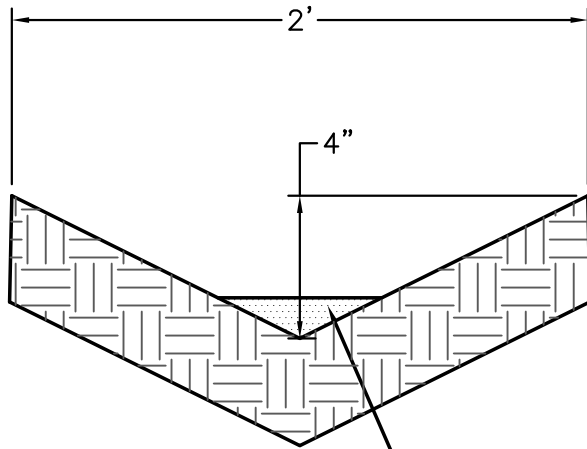
Peak rate

HISTORICAL DISCHARGE	0.48 cfs
DEVELOPED DISCHARGE	0.91 cfs
PROVIDED STORMWATER STORAGE	193 cf

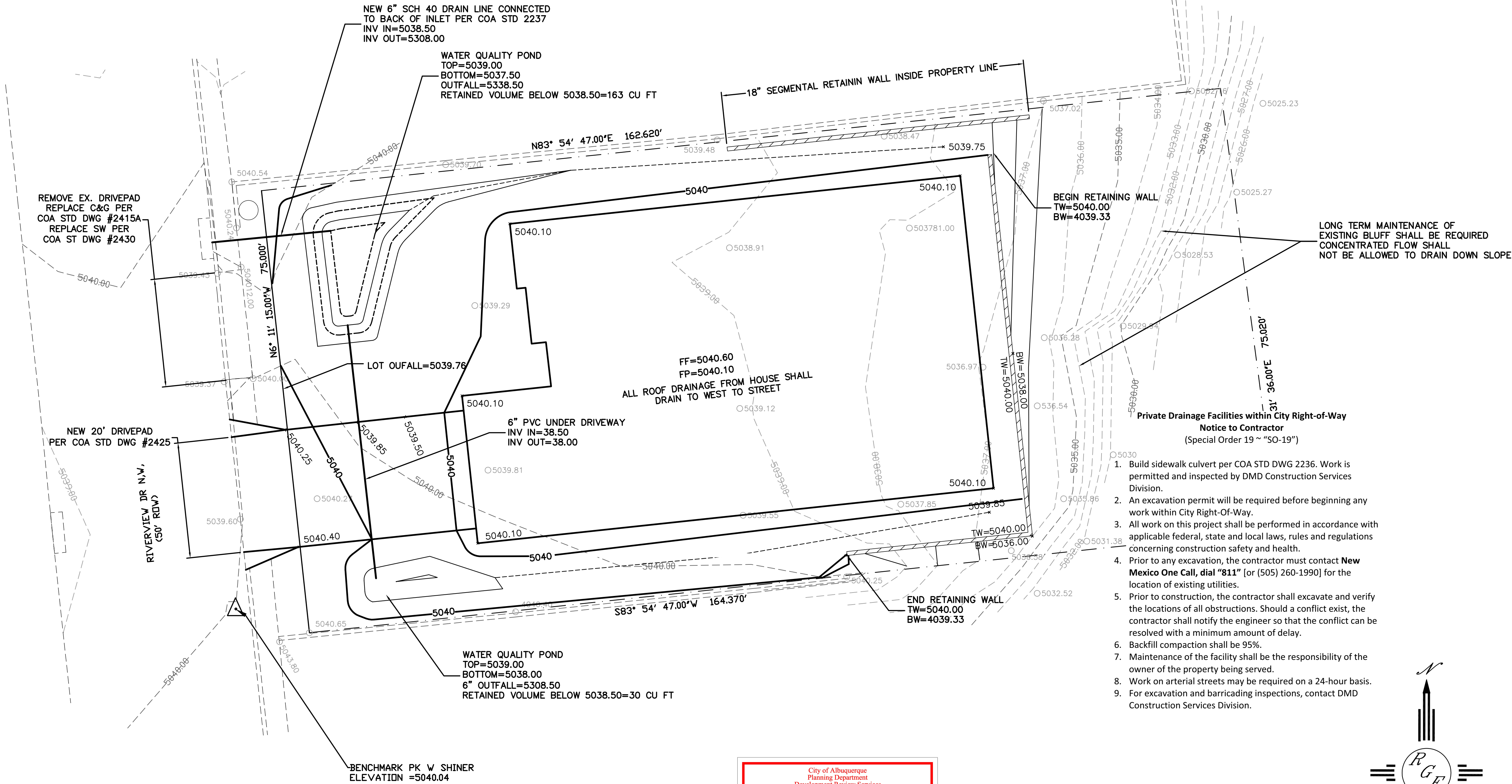
This site is an development of an existing lot in fully developed area, with no drainage plan on file. All the lots free discharge. There is an existing storm drain in the riverview right of way.Due to the steep nature of the 'bluff' in the rear all developed flows shall drain to the street to avoid erosion on existing slope. The site currently . discharges .48 cfs. The proposed discharge will increase to .91 cfs. Due to this being the last lot in a developed neighborhood, we feel the increase is acceptable. The site will retain 193 cubic feet for water quality. The ponds will overflow to the street in the event of a storm exceeding the 100-year event.

EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.

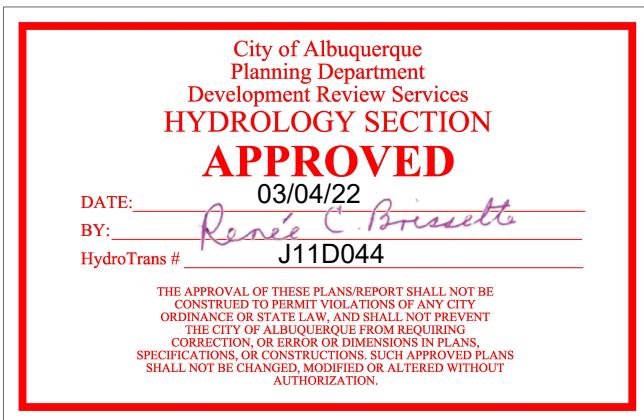


EARTHEN SWALE DETAIL  
NTS

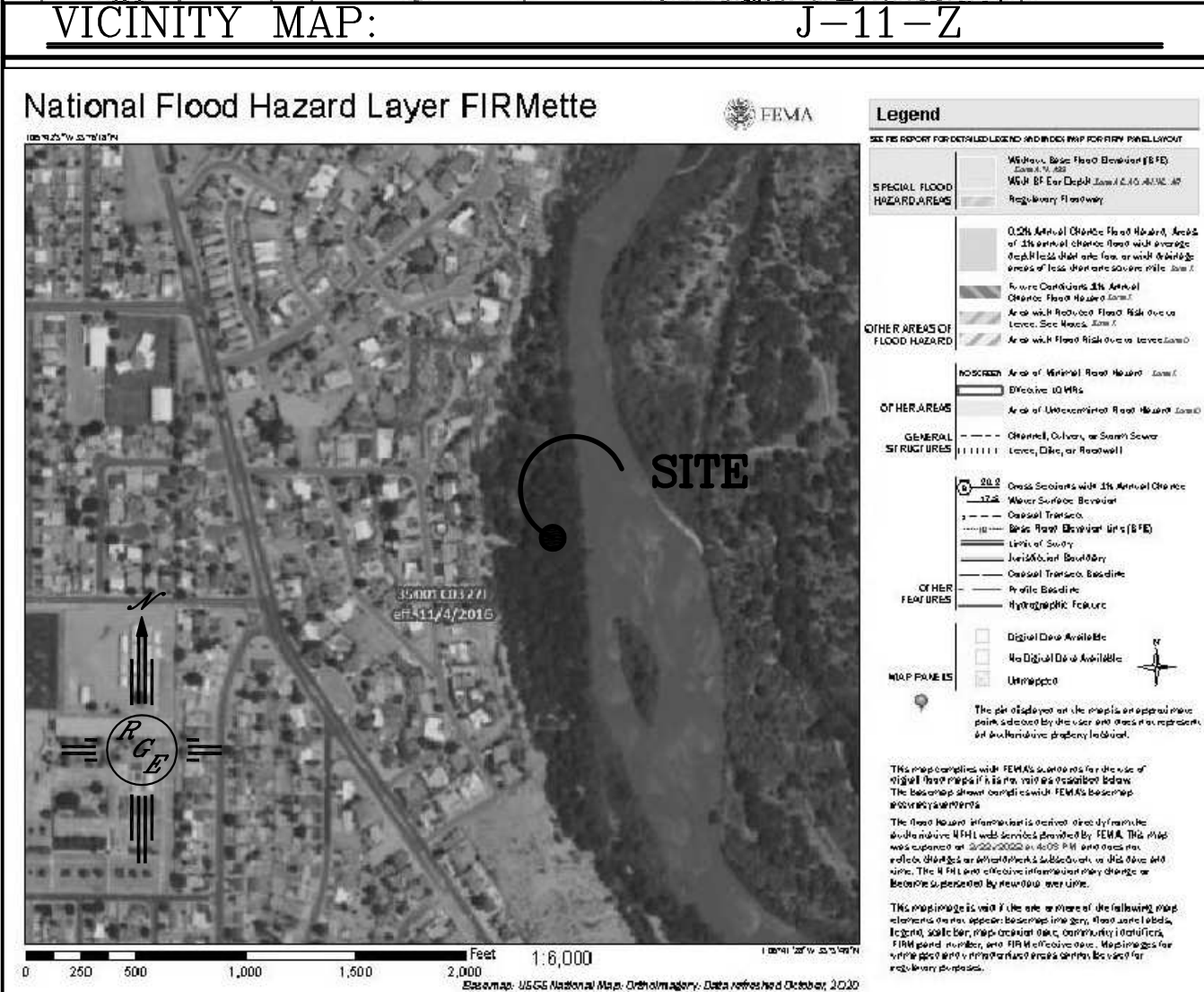
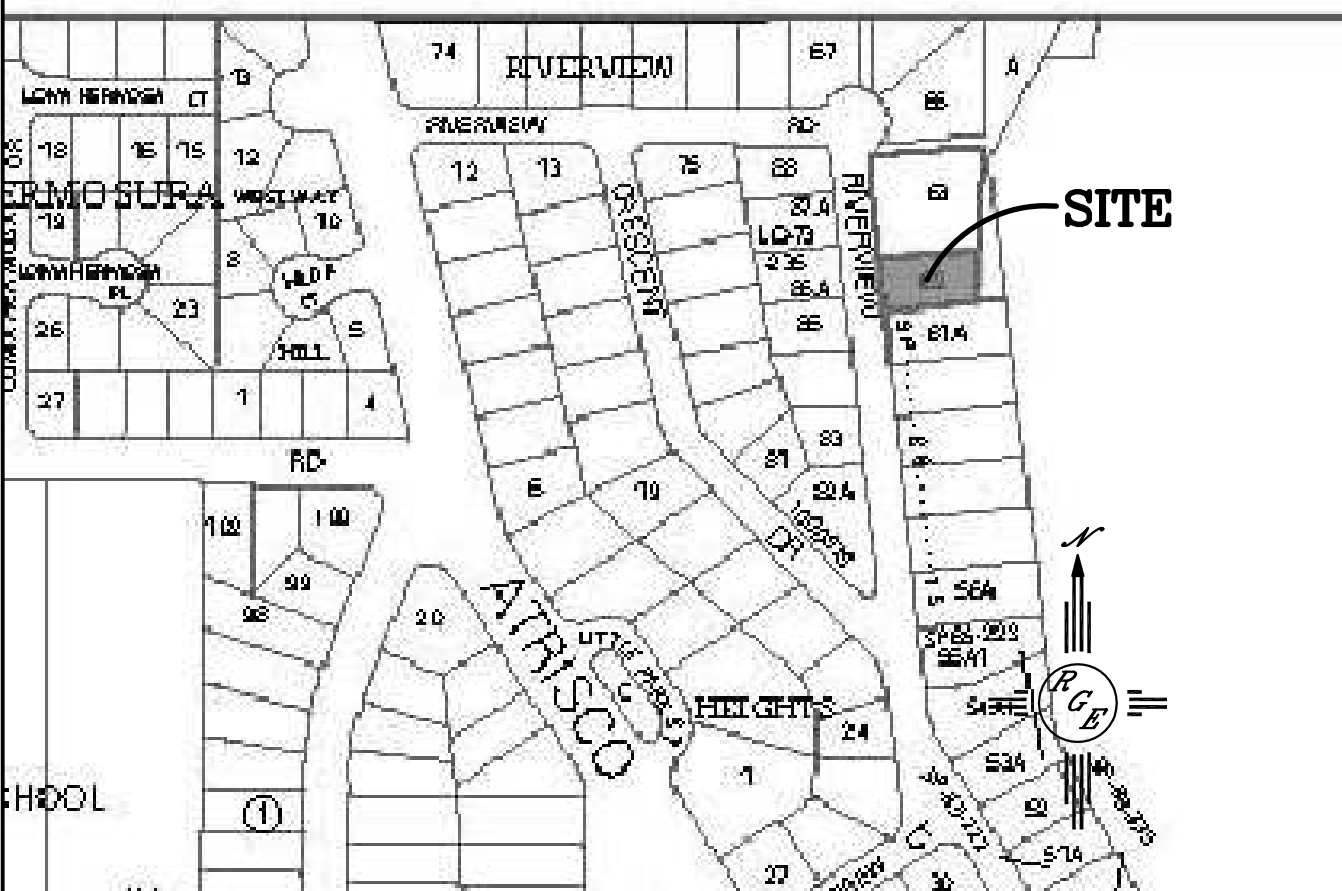


CAUTION:

EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.



REV. 01/22/21



FIRM MAP:

LEGAL DESCRIPTION:

LOT 62-A, RIVERVIEW HEIGHTS

NOTES:

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. ALL SLOPES SHALL BE 3:1 MAX. AND GRAVEL OR NATIVE SEEDING PRIOR TO CO.
3. NO PONDING WITHIN 10' OF STRUCTURE.
4. SURVEY INFORMATION PROVIDED BY CONSTRUCTION SURVEY TECHNOLOGY UTILIZING NAVD 1988 DATUM
5. A PAD ELEVATION CERTIFICATION IS REQUIRED PRIOR TO RELEASE OF BUILDING PERMIT

LEGEND

---	EXISTING CONTOUR
---	EXISTING INDEX CONTOUR
---	PROPOSED CONTOUR
---	PROPOSED INDEX CONTOUR
---	SLOPE TIE
+	EXISTING SPOT ELEVATION
+	PROPOSED SPOT ELEVATION
---	LOT LINE
---	CENTERLINE
---	RIGHT-OF-WAY
---	PROPOSED 6" PVC SD
---	GRAVEL LINED SWALE
---	EXISTING CURB AND GUTTER
---	PROPOSED CMU SCREEN WALL-DESIGN BY OTHERS 2' MAX RETAINAGE

<div>ENGINEER'S SEAL</div> <div>DAVID SOULE 14522 NEW MEXICO REGISTERED PROFESSIONAL ENGINEER</div> <div>2/23/22</div> <div>DAVID SOULE P.E. #14522</div>	1424 RIVERVIEW	DRAWN BY: WCVJ
	GRADING AND DRAINAGE PLAN	DATE: 2-23-22
	<div>Rio Grande Engineering</div> <div>1606 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0999</div>	20220016-LAYOUT-2-23-22
		SHEET #
		JOB # 20220016