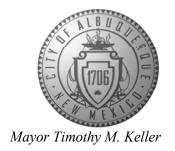
CITY OF ALBUQUERQUE

Planning Department Alan Varela, Director



March 4, 2022

David Soule, P.E. **Rio Grande Engineering** P.O. Box 93924 Albuquerque, NM 87199

RE: 1424 Riverview Dr NW

> **Grading and Drainage Plan** Engineer's Stamp Date: 02/23/22

Hydrology File: J11D044

Dear Mr. Soule:

PO Box 1293

Based upon the information provided in your submittal received 02/23/2022, the Grading and Drainage Plan is approved for Building Permit, Grading Permit, and SO-19 Permit. Since this site currently is relatively flat except the rear of the lot, a pad certification is not needed for this project. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

Albuquerque

PRIOR TO CERTIFICATE OF OCCUPANCY:

NM 87103

1. Engineer's Certification, per the DPM Part 6-14 (F): Engineer's Certification Checklist For Non-Subdivision is required.

www.cabq.gov

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely, Renée C. Brissette

Renée C. Brissette, P.E. CFM Senior Engineer, Hydrology

Planning Department



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: 1424 RIVERVIEW	_ Building Permit #	#:	_ Hydrol	ogy File #:
DRB#:	EPC#:		_ Work (Order#:
Legal Description: lot 62- RIVERV	VIEW HEIGHTS	SUBDIVSION		
City Address: 1424 RIVERVIEW				7
Applicant:			Contact:	
Address:				
Phone#:	_ Fax#:		E-mail:	
Other Contact: RIO GRANDE ENGIN Address: PO BOX 93924 ALB NM			Contact:	DAVID SOULE
Phone#: 505.321.9099	Fav#. 505.872.0	0999	E mail d	avid@riograndeengineering.com
TYPE OF DEVELOPMENT:PLAT	X RESIDEN	ICE DRB S	SITE	ADMIN SITE
Check all that Apply:				
DEPARTMENT: X HYDROLOGY/ DRAINAGE TRAFFIC/ TRANSPORTATION	-	TYPE OF APPROVA X BUILDING PERM CERTIFICATE O	MIT APPR	OVAL
TYPE OF SUBMITTAL: X ENGINEER/ARCHITECT CERTIFICATIO PAD CERTIFICATION CONCEPTUAL G & D PLAN GRADING PLAN DRAINAGE REPORT DRAINAGE MASTER PLAN FLOODPLAIN DEVELOPMENT PERMIT ELEVATION CERTIFICATE CLOMR/LOMR TRAFFIC CIRCULATION LAYOUT (TCL TRAFFIC IMPACT STUDY (TIS) STREET LIGHT LAYOUT OTHER (SPECIFY) PRE-DESIGN MEETING? IS THIS A RESUBMITTAL?: Yes N		PRELIMINARY SITE PLAN FOR SITE PLAN FOR FINAL PLAT AF SIA/ RELEASE OF FOUNDATION P GRADING PERM SO-19 APPROVA PAVING PERMI GRADING/ PAD WORK ORDER A CLOMR/LOMR FLOODPLAIN D OTHER (SPECIF	R SUB'D A BLDG. P PPROVAL OF FINAN PERMIT A MIT APPRO AL CERTIFI PPROVAL	APPROVAL CERMIT APPROVAL CIAL GUARANTEE APPROVAL COVAL CATION COMMENT PERMIT
DATE SUBMITTED:			···········	
COA STAFF:		IIITAL RECEIVED:		

Weighted E Method

											100-	-Year, 6-hr		100 yr 10-day
Basin	Area	Area	Treat	ment A	Trea	tment B	Treati	ment C	Treat	ment D	Weighted E	Volume	Flow	Volume
	(sf)	(acres)	%	(acres)	%	(acres)	%	(acres)	%	(acres)	(ac-ft)	(ac-ft)	cfs	(ac-ft)
EXISTING	12350.00	0.284	75%	0.2126	25%	0.071	0%	0.000	0%	0.000	0.595	0.014	0.48	0.014
PROPOSED	12350.00	0.284	0%	0	25%	0.071	35%	0.099	40%	0.113	1.411	0.033	0.91	0.054

Weighted E = Ea*Aa + Eb*Ab + Ec*Ac + Ed*Ad / (Total Area)

HISTORICAL DISCHARGE

Volume = Weighted D * Total Area

Flow = Qa * Aa + Qb * Ab + Qc * Ac + Qd * Ad

Where for 100-year, 6-hour storm(zone1)

Ea= 0.55	Qa= 1.54
Eb= 0.73	Qb= 2.16
Ec= 0.95	Qc= 2.87
Fd= 2 24	Od= 4 12

Developed Conditions

CAUTION:

IMPROVEMENTS.

EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER

Peak rate

0.48 cfs

193 cf

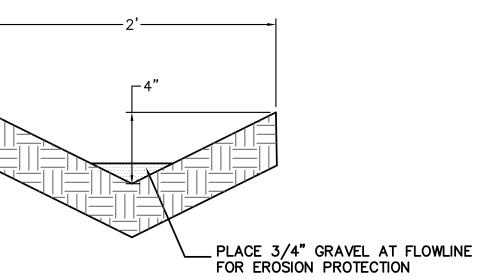
DEVELOPED DISCHARGE 0.91 cfs

PROVIDED STORMWATER STORAGE

This site is an development of an existing lot in fully developed area, with no drainage plan on file. All the lots free discharge. There is an existing storm drain in the riverview right of way. Due to the steep nature of the 'bluff' in the rear all developed flows shall drain to the street to avoid erosion on existing slope. The site currently . discharges .48 cfs. The proposed discharge will increas to .91 cfs. Due to this being the last lot in a developed neighborhood, we feel the increase is acceptable. The site will retain 193 cubic feet for water quality. The ponds will overlow to the street in the event of a storm exceeding the 100-year event.

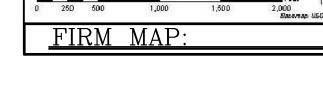
EROSION CONTROL NOTES:

- 1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- 2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
- 3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
- 4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- 5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



EARTHEN SWALE DETAIL

NEW 6" SCH 40 DRAIN LINE CONNECTED TO BACK OF INLET PER COA STD 2237 INV IN=5038.50 INV OUT=5308.00 WATER QUALITY POND -18" SEGMENTAL RETAININ WALL INSIDE PROPERTY LINE-TOP=5039.00 - BOTTOM=5037.50 OUTFALL=5338.50 RETAINED VOLUME BELOW 5038.50=163 CU FT 5040.18 BEGIN RETAINING WALL REMOVE EX. DRIVEPAD - TW=5040.00 REPLACE C&G PER BW=4039.33 COA STD DWG #2415A-LONG TERM MAINTENANCE OF ○503781.00 REPLACE SW PER 5040.10 EXISTING BLUFF SHALL BE REQUIRED COA ST DWG #2430 CONCENTRATED FLOW SHALL ○5038.91 NOT BE ALLOWED TO DRAIN DOWN SLOPE 39.29 FF=5040.60 LOT OUFALL=5039.76 FP=5040.10 5036.97 ALL ROOF DRAINAGE FROM HOUSE SHALL DRAIN TO WEST TO STREET 5040.10 Private Drainage Facilities within City Right-of-Way 6" PVC UNDER DRIVEWAY **Notice to Contractor** NEW 20' DRIVEPAD INV IN=38.50 (Special Order 19 ~ "SO-19") INV OUT=38.00 \PER COA STD DWG #2425→ 1. Build sidewalk culvert per COA STD DWG 2236. Work is ○5039.81 permitted and inspected by DMD Construction Services 5040.10 05040 An excavation permit will be required before beginning any work within City Right-Of-Way. 5039.604 3. All work on this project shall be performed in accordance with 5040.40 applicable federal, state and local laws, rules and regulations concerning construction safety and health. 4. Prior to any excavation, the contractor must contact **New** Mexico One Call, dial "811" [or (505) 260-1990] for the location of existing utilities. 5. Prior to construction, the contractor shall excavate and verify END RETAINING WALL TW=5040.00 the locations of all obstructions. Should a conflict exist, the BW = 4039.33contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay. 6. Backfill compaction shall be 95%. WATER QUALITY POND 7. Maintenance of the facility shall be the responsibility of the TOP=5039.00 owner of the property being served. BOTTOM=5038.00 8. Work on arterial streets may be required on a 24-hour basis. 6" OUTFALL=5308.50 9. For excavation and barricading inspections, contact DMD RETAINED VOLUME BELOW 5038.50=30 CU FT Construction Services Division. BENCHMARK PK W SHINER ELEVATION =5040.04 Planning Department
Development Review Services HYDROLOGY SECTION **APPROVED** 03/04/22
Renee Brissette
J11D044



LEGAL DESCRIPTION:

LOT 62-A, RIVERVIEW HEIGHTS

LICHY HERMOSA

HOOL

SMESMEN

RD

VICINITY MAP

National Flood Hazard Layer FIRMette

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Four Conditions 11s Annual Chance Flood Hazard forms

Digital Data Available No Digital Data Amerikala

The pin displayed on the map is an app pairs adequal by the user and dies in a an authorizative property lackated.

access repairments information is derived directly from the during mixing. If PHI web services deraided by FEMA. This may was coperate on a page 2000 to 4000 PM and does not reflect distribute an entertailment auditorium of the flore and since. The 4 PM area of exclusiving management and others are becoming uppersonal by new does were units.

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1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE

2. ALL SLOPES SHALL BE 3:1 MAX. AND GRAVEL OR NATIVE SEEDING PRIOR TO CO.

3. NO PONDING WITHIN 10' OF STRUCTURE.

4. SURVEY INFORMATION PROVIDED BY CONSTRUCTION SURVEY TECHNOLOGY UTILIZING NAVD 1988 DATUM

5. A PAD ELEVATION CERTIFICATION IS REQUIRED PRIOR TO RELEASE OF BUILDING

LEGEND

SCALE: 1"=10'

	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
XXXX	PROPOSED CONTOUR
xxxx	PROPOSED INDEX CONTOUR
—	SLOPE TIE
× XXXX	EXISTING SPOT ELEVATION
* XXXX	PROPOSED SPOT ELEVATION
	LOT LINE
	CENTERLINE
	RIGHT-OF-WAY
	PROPOSED 6" PVC SD
	GRAVEL LINED SWALE
=========	EXISTING CURB AND GUTTER
	PROPOSED CMU SCREEN WALL-DESIGN BY OTHERS 2' MAX RETAINAGE

ENGINEER'S SEAL	1424 RIVERVIE	DRAWN BY WCWJ	
SUID SOU			DATE 2–23–22
RECON MEXICO EN MEXICO STATE OF THE PROPERTY O	GRADING AND DRAINAGE PLA	2-23-22 20220016-LAYOUT-2-23-	
2/23/22		Dio Grande To Ingineering 6 CENTRAL AVENUE SE	SHEET # —
DAVID SOULE P.E. #14522	ALBU	SUITE 201 IQUERQUE, NM 87106 (505) 872—0999	JOB # 20220016