

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

January 17, 2023

J. David Hickman, R.A.
Jeebs & Zuzu, LLC
11030 Menaul Blvd. NE
Albuquerque, NM 87112

Re: Littell Star Day Care/ 1500 Coors Blvd. NW
Request for Certificate of Occupancy
Transportation Development Final Inspection
Architect's Stamp dated 04-13-2022 (J11-D045)
Certification dated 01-09-23

Dear Mr. Hickman,

Based upon the information provided in your submittal received 01-12-23, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact Ernest Armijo at (505) 924-3991 or at earmijo@cabq.gov

Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

\xxx via: email
C: CO Clerk, File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

Project Title: Little Stars Daycare **Building Permit #** BP-2022-12411 **Hydrology File #** _____
DRB# _____ **EPC#** _____
Legal Description: S/LY PORT TR 259 AIRPORT UNIT **City Address OR Parcel** 101105810147921802
ATRISCO GRANT (EXCL SW PORTOUT
TO ROW) CONT .5345 AC 1500 COORS BLVD. NW 87105
Applicant/Agent: J. David Hickman **Contact:** J. David Hickman
Address: 11030 Menaul Blvd. NE Suite C. Albuquerque, NM 87112 **Phone:** 505-797-1318
Email: dave@jeebsandzuzu.com

Applicant/Owner: _____ **Contact:** _____
Address: _____ **Phone:** _____
Email: _____

TYPE OF DEVELOPMENT: ___ PLAT (#of lots) ___ RESIDENCE ___ DRB SITE ___ ADMIN SITE: ___
RE-SUBMITTAL: ☒ YES ___ NO

DEPARTMENT: ☒ TRANSPORTATION ___ HYDROLOGY/DRAINAGE
Check all that apply:

TYPE OF SUBMITTAL:

___ ENGINEER/ARCHITECT CERTIFICATION
___ PAD CERTIFICATION
___ CONCEPTUAL G&D PLAN
___ GRADING PLAN
___ DRAINAGE REPORT
___ DRAINAGE MASTER PLAN
___ FLOOD PLAN DEVELOPMENT PERMIT APP.
___ ELEVATION CERTIFICATE
___ CLOMR/LOMR
___ TRAFFIC CIRCULATION LAYOUT (TCL)
___ ADMINISTRATIVE
___ TRAFFIC CIRCULATION LAYOUT FOR DRB
___ APPROVAL
___ TRAFFIC IMPACT STUDY (TIS)
___ STREET LIGHT LAYOUT
___ OTHER (SPECIFY) _____
___ PRE-DESIGN MEETING?

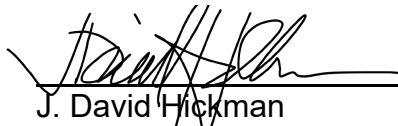
TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

___ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY
___ CONCEPTUAL TCL DRB APPROVAL
___ PRELIMINARY PLAT APPROVAL
___ SITE PLAN FOR SUB'D APPROVAL
___ SITE PLAN FOR BLDG PERMIT APPROVAL
___ FINAL PLAT APPROVAL
___ SIA/RELEASE OF FINANCIAL GUARANTEE
___ FOUNDATION PERMIT APPROVAL
___ GRADING PERMIT APPROVAL
___ SO-19 APPROVAL
___ PAVING PERMIT APPROVAL
___ GRADING PAD CERTIFICATION
___ WORK ORDER APPROVAL
___ CLOMR/LOMR
___ FLOOD PLAN DEVELOPMENT PERMIT
___ OTHER (SPECIFY) _____

DATE SUBMITTED: 1-9-2023



I, J. DAVID HICKMAN, A REGISTERED ARCHITECT IN THE STATE OF NEW MEXICO, OF THE FIRM JEEBS & ZUZU, LLC., HEREBY CERTIFY THAT THIS PROJECT, 1500 COORS BLVD, IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE TCL APPROVED PLAN DATED 3/4/22, I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON JANUARY 9, 2023 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE ACTUAL SITE CONDITIONS IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR FINAL CERTIFICATION OF OCCUPANCY.



J. David Hickman
Architect

1-9-2023
Date:



January 9, 2023

Ernest Armijo, PE
Transportation Development
Planning Department
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

RE: Request for Final Certificate of Occupancy
TCL
Plan dated 3/4/2022

Dear Mr. Armijo,

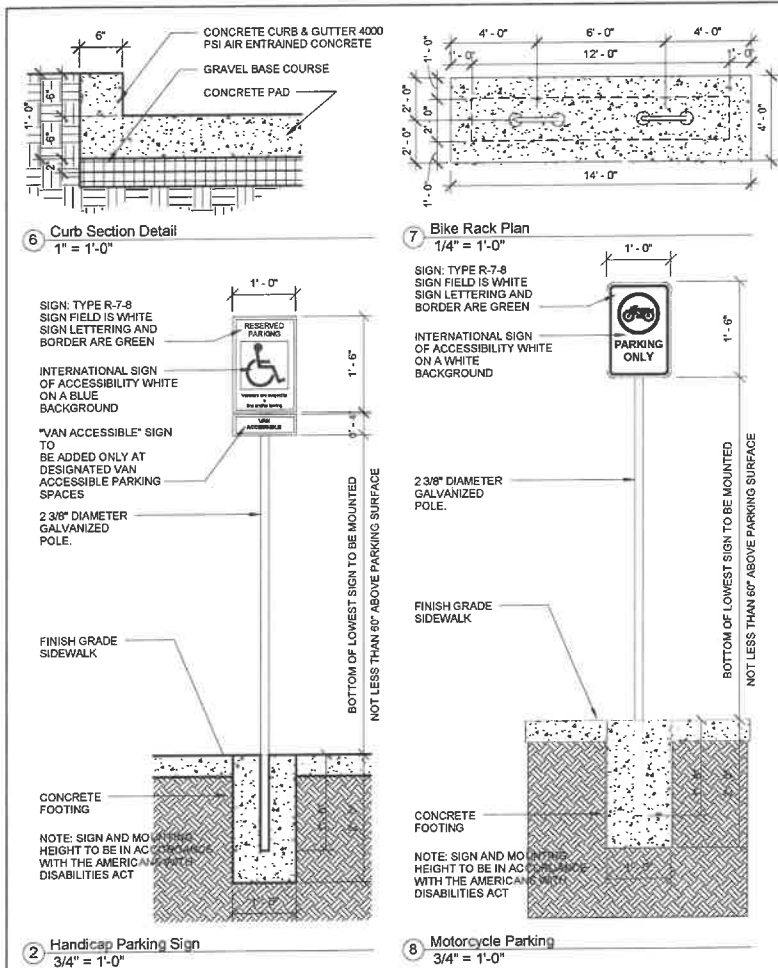
Please find a completed request for final inspection of the Daycare at 1500 Coors Blvd NW Project. The work consisted of a revised parking lot layout, new asphalt and striping, sidewalk to Coors Blvd., new ADA ramps from parking lot to entry & a closure of existing drive pad on Coors Blvd. All of this work has been completed including additional corrections on Transportation Letter dated November 27, 2022. We request that a traffic inspection be completed for work completed.

I have attached with this letter the certification, the Approved TCL, and the Drainage and Transportation Information Sheet.

Please contact me if you have any questions or concerns.
Thank you,


J. David Hickman,
Architect

ALL WHEELCHAIR RAMPS LOCATED
WITHIN THE PUBLIC RIGHT OF WAY
MUST HAVE TRUNCATED DOMES.



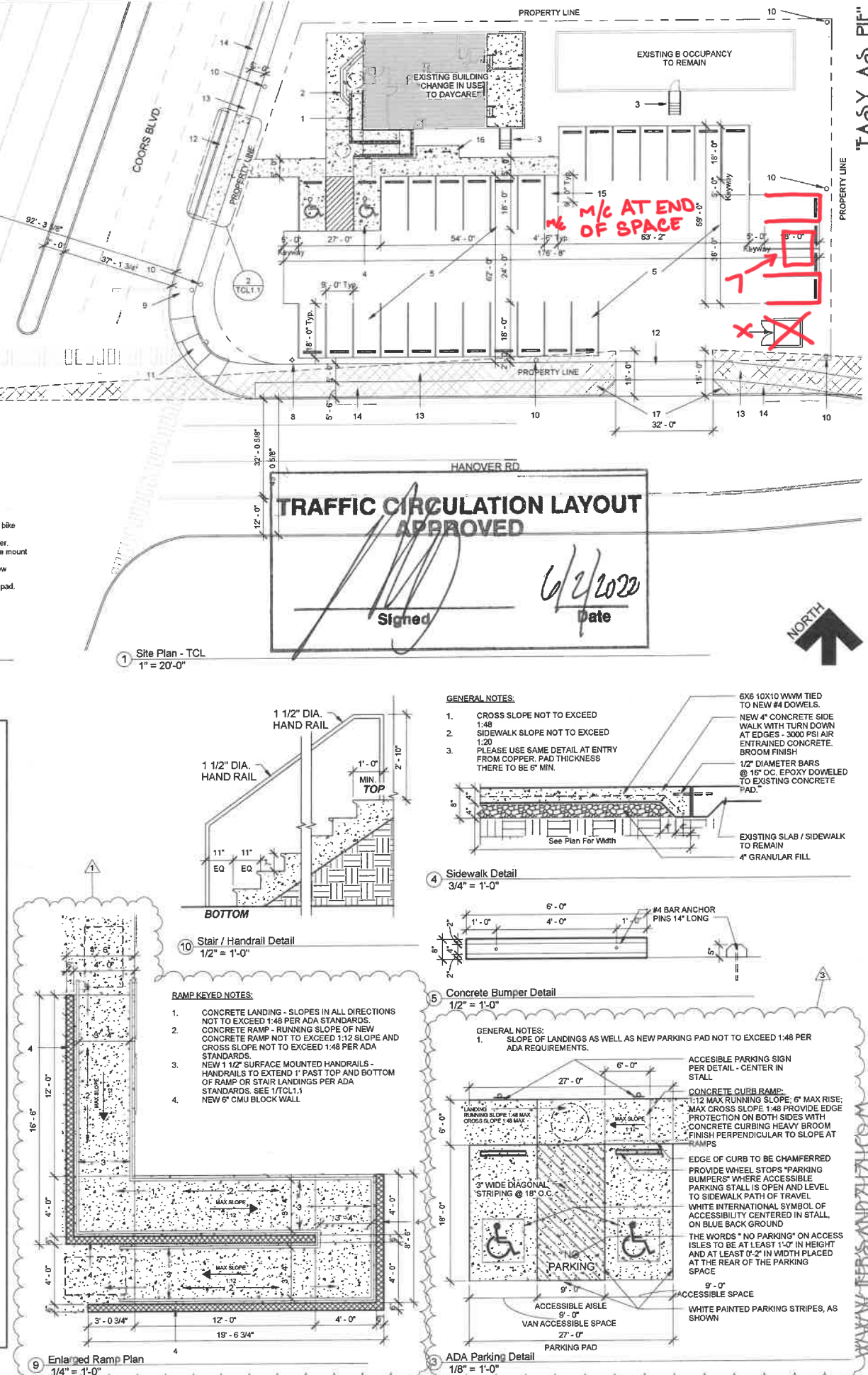
ZONE ATLAS



DESIGN CRITERIA

A. ZONING DESIGN CRITERIA	
1. LEGAL DESCRIPTION.....	S'LY PORT TR 259 AIRPORT UNIT ATRISCO GRANT (EXCL SW PORTOUT TO ROW) CONT .5345 AC 101105810147921802
2. PARCEL #.....	
3. ZONING CLASSIFICATION.....	MX-L
4. PERMITTED AND ACTUAL USE.....	BUSINESS
B. ARCHITECTURAL DESIGN CRITERIA	
1. OCCUPANCY GROUP.....	E
2. CONSTRUCTION TYPE.....	VB - NON SPRINKLED
3. FLOOR AREAS.....	
EXISTING AREA.....	1,702 SF
4. OCCUPANCY LOAD.....	
DAY CARE 35 NET:	
1,205 SF / 35 NET	= 35 PEOPLE
OFFICE 100 GROSS:	
172 SF / 100 GROSS	= 2 PEOPLE
COMMERCIAL KITCHEN 200 GROSS:	
325 SF / 200 GROSS	= 2 PEOPLE
TOTAL OCCUPANCY	= 39 PEOPLE
PARKING CALCULATION:	
1 SPACE REQ. 400 GROSS SF PER PER TABLE 5-5-1 OF IDO	
1,702 SF / 400 SF	= 4.2 SPACES REQUIRED
STANDARD SPACES PROV.	= 26.30 SPACES
ADA PARKING SPACES PROV.	= 2 SPACES
MOTORCYCLE PARKING REQ.	= 18.30 TOTAL SPACES PROVIDED
MOTORCYCLE PARKING PROV.	= 1 SPACE PROVIDED
BICYCLE PARKING PER IDO TABLE 5-5-5	= 3 SPACES REQUIRED
	= 4 TOTAL SPACES PROVIDED
PLUMBING FIXTURE COUNT:	
CODE REQUIRED:	
WATER CLOSETS: 1/50	
35 PEOPLE / 50 = 1 WATER CLOSET (1MALE & 1FEMALE)	
LAVATORIES: 1/50	
35 PEOPLE / 50 = 1 LAVATORY (1MALE & 1FEMALE)	
1/100 DRINKING FOUNTAIN	
35 PEOPLE / 100 = 1 DRINKING FOUNTAIN	
1 SERVICE SINK	
PROVIDED FIXTURES:	
WATER CLOSETS: 4	
LAVATORIES: 3	
1 DRINKING FOUNTAIN	
1 SERVICE SINK	

*** OCCUPANT LOAD > 300: SPRINKLERS REQUIRED



JEEBS & ZUZU, LLC.

ARCHITECTS & CONTRACTORS
MAKING HOUSE CALLS

11030 MENAUL NE SUITE C
ALBUQUERQUE, NM 87112
P: 505-797-1318

job no: 22-007
drawn: UM
checked: J&Z
date: Mar 4, 2022

1 EAM 4-20-22
2 EAM 5-26-22
3 EAM 6-1-22

LITTLE STARS DAYCARE - CHANGE IN USE

1/9/2023

1500 COORS BLVD. NW
ALBUQUERQUE NM, 87105

sheet no: TCL1.0