

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

April 28, 2023

Robert G. Hall, RA
Integrated Design & Architecture
906 ½ Park Ave SW
Albuquerque, NM 87102

Re: Plaza David Chavez Apartments
2821 Mountain Rd
30-Day Temporary Certificate of Occupancy
Transportation Development Final Inspection
Architect's Stamp dated 04-19-23 (J12-D003)
Certification dated 04-18-23

Dear Mr. Hall,

Based upon the information provided in your submittal received 04-18-23, Transportation Development has no objection to a 30-day Temporary Certificate of Occupancy based. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

- As per the approved Site Plan, Building D needs the following:
 - a. Installation of bike rack
 - b. Removal of ADA parking sign (see image below)



Once these corrections are complete, email pictures to irestrepo@cabq.gov for release of Final CO.

If you have any questions, please contact me at (505) 924-3314.

Sincerely,

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

Jennifer Restrepo
Engineering Intern, Planning Dept.
Development Review Services

JR via: email
C: CO Clerk, File

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

Project Title: Plaza David Chavez Apts Building Permit # BP-2020-10015 Hydrology File # N/A
DRB# N/A EPC# N/A

Legal Description: SAID PROPERTY NOW BEING DESCRIBED AND IDENTIFIED AS TRACT C AND TRACT D OF LULAC PROYECTO BIENVENIDO, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF SAID ADDITION FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MAY 18, 1971. City Address OR Parcel 2821 Mountain Rd. NW ABQ., NM 87104

Applicant/Agent: Integrated Design & Architecture Contact: Robert G. Hall
Address: 906 1/2 Park Ave. SW Albuquerque, New Mexico 87102 Phone: 505-243-3499
Email: bob@integrateddesignarch.com

Applicant/Owner: N/A Contact: N/A
Address: N/A Phone: N/A
Email: N/A

TYPE OF DEVELOPMENT: PLAT (#of lots) RESIDENCE DRB SITE ☒ ADMIN SITE: RE-SUBMITTAL: YES ☒ NO

DEPARTMENT: ☒ TRANSPORTATION HYDROLOGY/DRAINAGE
Check all that apply:

TYPE OF SUBMITTAL:

- ☒ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G&D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOOD PLAN DEVELOPMENT PERMIT APP.
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ADMINISTRATIVE
- ☐ TRAFFIC CIRCULATION LAYOUT FOR DRB APPROVAL
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY)
- ☐ PRE-DESIGN MEETING?

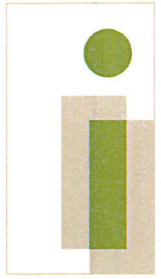
TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY
- ☐ CONCEPTUAL TCL DRB APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOOD PLAN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY)

DATE SUBMITTED: April 19, 2023

By Rene A. Hall

TRAFFIC CERTIFICATION



integrated
design architecture

I, ROBERT G. HALL, AIA, OF THE FIRM INTEGRATED DESIGN & ARCHITECTURE, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 27 APRIL 2020. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY _____ OF THE FIRM _____. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON APRIL 18, 2023 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCE.

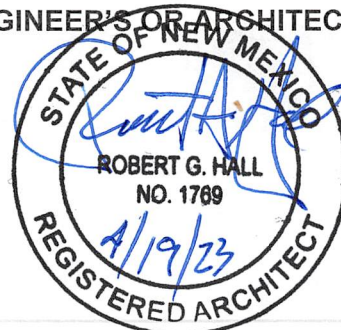
<LIST EXCEPTIONS, IF ANY>

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

Signature of Engineer or Architect
Robert G. Hall
AIA

April 18, 2023
Date

ENGINEER'S OR ARCHITECT'S STAMP



CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

March 28, 2022

Robert G. Hall, RA
Integrated Design & Architecture
906 ½ Park Ave. SW
Albuquerque, NM 87102

Re: **Plaza David Chavez Apts**
2821 Mountain Rd. NW
8 Months Temporary Certificate of Occupancy
Transportation Development Final Inspection
Engineer's Stamp dated 4-27-20 (J12-D003)
Certification dated 3-15-22

Dear Mr. Hall,

Based upon the information provided in your submittal received 3-16-22, Transportation Development has no objection to a 8 Months Temporary Certificate of Occupancy based. This letter serves as a "green tag" from Transportation Development for a 8 months Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

- The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 **"Violators Are Subject to a Fine and/or Towing."** Please call out detail and location of signs.
- The ADA access aisles shall have the words **"NO PARKING"** in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)

Once these corrections are complete, Send an electronic copy of your submittal to PLNDRS@cabq.gov for release of Final CO.

If you have any questions, please contact me at (505) 924-3675.

Sincerely,

A handwritten signature in black ink, appearing to read "Marwa Al-najjar".

Marwa Al-najjar
Associate Engineer, Planning Dept.
Development Review Services

ma via: email
C: CO Clerk, File

ADMINISTRATIVE AMENDMENT

FILE # ^{SI-2020}
-000153 PROJECT # ^{PR-2020}
-003634

Parking improvements (vehicular & bike),
site lighting, building and facade upgrades,
as described and shown.

RBrito Digitally signed by RBrito
DN: cn=RBrito, o=CASQ Planning Dept,
sig=ID&D, email=rbrito@casq.gov, c=US
Date: 2020.04.28 2:09:38 -0500 27 April 2020

APPROVED BY DATE



New Site Legend

- ACCESSIBLE PARKING / FULLY ACCESSIBLE UNIT
- VISUAL/HEARING IMPAIRED UNIT
- PROPERTY LINE
- EXISTING EASEMENT / SETBACK
- EXISTING CHAINLINK/STEEL TUBE FENCE
- EXISTING RETAINING WALL
- NEW STONE YARD WALL
- NEW CHAINLINK FENCE
- EXISTING BUILDING
- EXISTING CONCRETE TO REMAIN
- NEW CONCRETE
- NEW ASPHALT
- SIGN
- FIRE HYDRANT
- SITE LIGHT FIXTURE
- ELECTRICAL EQUIPMENT VARIES, SEE ELECTRICAL

New Parking Provided

BICYCLE
.25 BICYCLE PARKING SPACES PER UNIT (MFA REQUIREMENT)
.25 PER UNIT x 75 UNITS = 18.75 BICYCLE PARKING SPACES REQUIRED
= 20 PROVIDED (5 NEW RACKS AT 4 BIKES EACH)

NUMBER OF PARKING SPACES
EXISTING PARKING 132 SPACES. NO UNITS AND NO BUILDINGS ADDED TO THE EXISTING PROJECT.

NEW PARKING COUNT
TYPICAL = 141 SPACES
ACCESSIBLE = 4 SPACES
VAN ACCESSIBLE = 2 SPACE (LOCATED AT LMO BUILDING PER MFA)

TOTAL PARKING
147 SPACES PROVIDED

General Notes

- PROVIDE CONSTRUCTION FENCING. COORDINATE EXACT LOCATION WITH OWNER PRIOR TO PLACEMENT.
- VISIT SITE & FIELD VERIFY EXTENT OF REMOVALS IN AREA OF NEW CONSTRUCTION PRIOR TO BID. IF EXISTING CONDITIONS DO NOT MATCH DRAWINGS NOTIFY ARCHITECT/ENGINEER IMMEDIATELY.
- ALL PARKING AREAS OTHER THAN ACCESSIBLE PARKING AREAS SHALL SLOPE NO LESS THAN 1% AND NO GREATER THAN 8%.
- SLOPED SIDEWALKS SHALL NOT EXCEED 5% IN THE DIRECTION OF TRAVEL AND 2% CROSS SLOPE.
- WHERE RAMP ARE REQUIRED SLOPE SHALL NOT EXCEED 1:12 WITH A CROSS SLOPE NOT TO EXCEED 2%.
- ACCESSIBLE PARKING SPACES AND ACCESS AISLES SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING 1:50 (2%) IN ALL DIRECTIONS.
- SEE SURVEY AND CIVIL PLANS FOR LOCATION OF UTILITIES.
- SEE CIVIL PLANS FOR ALL GRADES AND FINISH FLOOR ELEVATIONS.
- SEAL JOINTS BETWEEN DISSIMILAR MATERIALS TO ALLOW FOR DIFFERENTIAL EXPANSION & CONTRACTION. EXTERIOR OPENINGS IN BUILDING ENVELOPE MUST BE SEALED, GASKETED, WEATHERSTRIPPED, TIGHTLY PACKED WITH FIBERGLASS INSULATION, OR OTHERWISE SEALED WITH A FLEXIBLE MATERIAL TO LIMIT AIR LEAKAGE. SEAL EXTERIOR JOINTS, SEAMS, AND PENETRATIONS IN BUILDING ENVELOPE FROM AIR LEAKAGE WITH DURABLE SEALANT OR CLOSED CELL FOAM MATERIALS CLOSED WITH GASKET SYSTEMS, TAPED OR COVERED WITH MOISTURE & VAPOR BARRIER.

Keyed Notes

- PROPERTY LINE. SEE CIVIL / SURVEY.
- EXISTING CHAINLINK/WOODEN FENCE TO REMAIN, REPAIR AS NEEDED.
- EXISTING APARTMENT BUILDING TO REMAIN, PREP FOR NEW WORK. SEE BUILDING & UNIT NEW PLANS AND ELEVATIONS FOR ADDITIONAL NEW WORK.
- EXISTING LMO BUILDING WITH LAUNDRY, OFFICES, MAINTENANCE, AND MAILBOXES. SEE FLOOR PLAN AND ELEVATIONS FOR ADDITIONAL NEW WORK.
- LINE SEPARATING UNITS, TYPICAL.
- EXISTING MONUMENT SIGN WITH NEW ENERGY STAR LIGHTING, SEE ELECTRICAL.
- NEW ACCESSIBLE PARKING SIGN, SEE 4/SITE200. MINIMUM 1 VAN ACCESSIBLE PARKING SPACE AT THE LMO BUILDING.
- NEW PLAY AREA WARNING SIGN, SEE 5/SITE200.
- ALL EXISTING UTILITIES & UNDERGROUND UTILITIES TO REMAIN, SEE SURVEY FOR LOCATION OF ALL EXISTING UTILITIES. LOCATE PRIOR TO EXCAVATION, PROTECT FROM DAMAGE FROM NEW WORK, EXPLORATORY EXCAVATION TO FIND EXACT LOCATION IF NEEDED. SEE PLUMBING, MECHANICAL, AND ELECTRICAL FOR ADDITIONAL WORK.
- EXISTING FIRE HYDRANT TO REMAIN, PROTECT FROM DAMAGE FROM NEW WORK.
- EXISTING PARKING LOT WITH NEW CRACK SEAL COAT AND NEW STRIPING SCHEME, TYPICAL. SEE CIVIL.
- EXISTING CURB OR CURB AND GUTTER TO REMAIN, TYPICAL U.N.O.
- NEW CONCRETE CURB OR CURB AND GUTTER, SEE CIVIL.
- EXISTING SIDEWALK TO REMAIN.
- NEW 4" THICK CONCRETE SIDEWALK, MEDIUM BROOM FINISH PERPENDICULAR TO SLOPE. 1" DEEP CONTROL JOINT @ 6'-0" O.C. MAX. SLOPE NOT TO EXCEED 5% IN THE DIRECTION OF TRAVEL AND 2% PERPENDICULAR TO DIRECTION OF TRAVEL. FOR GRADES AND ELEVATIONS OF SIDEWALKS, SEE CIVIL DRAWINGS. 4'-0" WIDE, U.N.O.
- NEW PAINTED 4" WIDE PARKING STRIPING SCHEME PAINTED YELLOW TYPICAL FOR ALL PARKING STALLS EXCEPT PAINTED BLUE AT ALL ACCESSIBLE PARKING STALLS AND AISLES.
- TYPICAL PARKING SPACE, 9'-0" x 19'-0" MINIMUM.
- ACCESSIBLE PARKING SPACE, SEE DETAIL 1/SITE200.
- NEW TRUNCATED DOME DETECTABLE WARNING, 24" MIN. IN DIRECTION OF TRAVEL.
- NEW 4" THICK CONCRETE ACCESSIBLE CURB RAMP, WITH SCORES RUNNING PERPENDICULAR TO RAMP @ 6" O.C., WITH MEDIUM BROOM FINISH PERPENDICULAR TO SLOPE. SLOPE NOT TO EXCEED 1:12 IN THE DIRECTION OF TRAVEL AND 2% PERPENDICULAR TO DIRECTION OF TRAVEL, WITH 6"X6" H EDGE PROTECTION CURB EXTENDING TO LANDING. FOR GRADES & ELEVATIONS OF SIDEWALKS SEE CIVIL.
- EXISTING CONCRETE RAMP WITH HANDRAILS.
- NEW ACCESSIBLE REFUSE ENCLOSURE WITH NEW ENERGY STAR LIGHTING, SEE DETAIL 3 & 4/SITE201.
- NEW BICYCLE RACK, SEE 1/SITE201.
- EXISTING BENCH TO REMAIN.
- NEW PERMANENTLY MOUNTED BENCH WITH ARMS, SEE 4/SITE025.
- EXISTING BASKETBALL COURT.
- EXISTING LANDSCAPE AND TREES TO REMAIN.
- EXISTING PLAYGROUND EQUIPMENT FOR CHILDREN 5-12 AND UNDER 5 WITH NEW ACCESSIBLE PATH, SEE SHEET SITE151.
- EXISTING LIGHT POLE TO REMAIN, TYPICAL. SEE ELECTRICAL.
- NEW PRE-CAST CONCRETE WHEEL STOP AT ALL ACCESSIBLE PARKING SPACES, SEE 8/SITE200.
- NEW ACCESSIBLE BARBEQUE GRILL.
- NEW ACCESSIBLE PICNIC TABLE.
- NEW CONCRETE RAMP WITH HANDRAILS, SEE 5/SITE201.

- A. CONCRETE FOR ACCESSIBLE PATH.
- B. NEW ACCESSIBLE PARKING, CURB RAMP, & SIGNAGE.
- C. NEW BICYCLE PARKING PAD & RACK.
- D. NEW PLAYGROUND SIGNAGE & TWO NEW BENCHES AT EXISTING PLAYGROUND.
- E. ONE NEW ACCESSIBLE BARBEQUE GRILL, PICNIC TABLE, & CONCRETE PAD.
- CIRCLED KEYED NOTES:
- ② → REPAIR EXISTING DAMAGED FENCING.
- ⑪ & ⑩ → NEW PARKING LOT STRIPING / EXISTING ACCESSIBLE SPACES RELOCATED.
- ⑮ → REPLACEMENT OF EXISTING SIDEWALK FOR ACCESSIBILITY.

integrated design architecture

906 1/2 Park Avenue SW
Albuquerque, NM 87102
tel:505.243.3499
fax:505.243.3583
info@integrateddesignarch.com
www.integrateddesignarch.com

STATE OF NEW MEXICO

ROBERT G. HALL
NO. 178
2/28/20
REGISTERED ARCHITECT

EXPIRES:12/31/2020

PLAZA DAVID CHAVEZ APARTMENTS

Albuquerque, New Mexico

PROJECT ARCHITECT:
BOB HALL, AIA

Project #:
IDA-19-08-P
Date: FEBRUARY 28, 2020

By: JB

File:

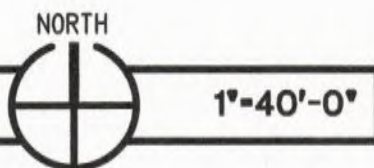
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Plot Date:

Sheet of

SITE100

NEW ARCHITECTURAL SITE PLAN



NEW ARCHITECTURAL SITE PLAN



New Site Legend

- ACCESSIBLE PARKING / FULLY ACCESSIBLE UNIT
- VISUAL/HEARING IMPAIRED UNIT
- PROPERTY LINE
- EXISTING EASEMENT / SETBACK
- EXISTING CHAINLINK/STEEL TUBE FENCE
- EXISTING RETAINING WALL
- NEW STONE YARD WALL
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- NEW CONCRETE
- NEW ASPHALT
- SIGN
- FIRE HYDRANT
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- ELECTRICAL EQUIPMENT VARIES, SEE ELECTRICAL

New Parking Provided

BICYCLE
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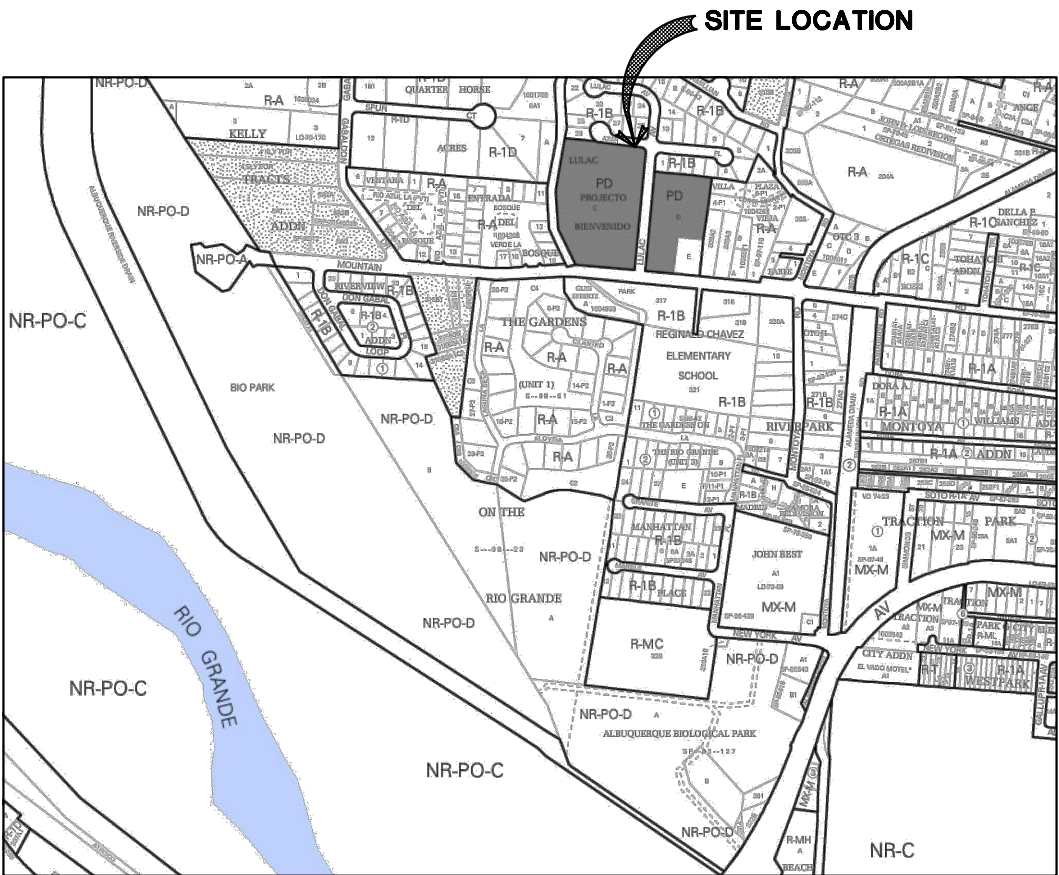
TOTAL PARKING
147 SPACES PROVIDED

Legal Description

TRACT C & D OF LULAC PROYECTO BIENVENIDO, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

Executive Summary

- THE EXISTING APARTMENT COMPLEX IS A RENOVATION PROJECT. 90% OF THE RENOVATION PROJECT FALLS UNDER IBC 2015, SECTION 502, REPAIRS. THE PROJECT HAS 4 ACC. UNITS IN RESIDENTIAL BUILDINGS WHICH FALL UNDER IBC 2015, SEC. 504, ALT. LVL. 2.
- THE SITE IS NOT BEING MODIFIED IN ANYWAY FROM THE EXISTING CONDITIONS EXCEPT FOR RESTRIPIING THE PARKING LOT, REPLACING SIDEWALK TO CREATE AN ACCESSIBLE PATH, AND ADDITION OF CONCRETE PADS FOR NEW BICYCLE RACKS.



VICINITY MAP

ZONE ATLAS - J-12 ZONING-PD



General Notes

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- VISIT SITE & FIELD VERIFY EXTENT OF REMOVALS IN AREA OF NEW CONSTRUCTION PRIOR TO BID. IF EXISTING CONDITIONS DO NOT MATCH DRAWINGS NOTIFY ARCHITECT/ENGINEER IMMEDIATELY.
- ALL PARKING AREAS OTHER THAN ACCESSIBLE PARKING AREAS SHALL SLOPE NO LESS THAN 1% AND NO GREATER THAN 6%.
- SLOPED SIDEWALKS SHALL NOT EXCEED 5% IN THE DIRECTION OF TRAVEL AND 2% CROSS SLOPE.
- WHERE RAMPS ARE REQUIRED SLOPE SHALL NOT EXCEED 1:12 WITH A CROSS SLOPE NOT TO EXCEED 2%.
- ACCESSIBLE PARKING SPACES AND ACCESS AISLES SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING 1:50 (2%) IN ALL DIRECTIONS.
- SEE SURVEY AND CIVIL PLANS FOR LOCATION OF UTILITIES.
- SEE CIVIL PLANS FOR ALL GRADES AND FINISH FLOOR ELEVATIONS.
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#	DATE	REVISIONS	#	DATE	REVISIONS
1			3		
2			4		

906 1/2 Park Avenue SW
Albuquerque, NM 87102
tel:505.243.3499
fax:505.243.3583
info@integrateddesignarch.com
www.integrateddesignarch.com

PLAZA DAVID CHAVEZ APARTMENTS

Albuquerque, New Mexico	Project #:	IDA-19-08-P
PROJECT ARCHITECT:	BOB HALL, AIA	Date: FEBRUARY 28, 2020

TRAFFIC CIRCULATION LAYOUT

By:	JB, KD	Sheet of
File:		
Tab:		
Plot Date:		

TCL100