

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

December 10, 2024

Ali Al-Gahmi
Sam Sterling Architecture
917 2nd St. NW
Albuquerque, NM 87102

Re: Heritage Farm at the Bio Park/ 2601 Central Ave. NW
Request for Certificate of Occupancy
Transportation Development Final Inspection
Architect's Stamp dated 03-16-23 (J12-D004A)
Certification dated 12-10-24

Dear Mr. Al-Gahmi,

Based upon the information provided in your submittal received 12-04-24, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

PO Box 1293

If you have any questions, please contact Ernest Armijo at (505) 924-3991 or at earmijo@cabq.gov

Albuquerque

Sincerely,

NM 87103

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

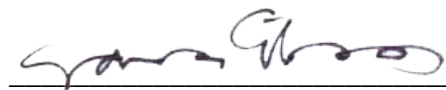
www.cabq.gov

\xxx via: email
C: CO Clerk, File

TRAFFIC CERTIFICATION

I, SAM STERLING, NMRA NUMBER 3077 OF THE FIRM SAM STERLING ARCHITECTURE, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 3/20/2023. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY SAM STERLING OF THE FIRM SAM STERLING ARCHITECTURE. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 12/2/2024 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR A CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



Signature of Engineer or Architect



12/10/2024

Date

SSA

917 2nd Street NW, Albuquerque NM 87102
P: 505.232.2520 | ssanm.com

12/9/2024

Re:

Heritage Farm at the BioPark (*Permit # BP-2022-46760*)

2601 Central Ave. NW

Traffic Circulation Layout

This letter is to note that the Heritage Farm at the BioPark is nearing completion and is ready for final inspection for Certificate of Occupancy (CO). This is a City of Albuquerque project. The development was built in substantial compliance with the approved TCL. Adjustments made during construction have been clouded and noted on the approved TCL plans.

Sincerely

A handwritten signature in black ink, appearing to read 'Ali Al-Gahmi', with a stylized flourish at the end.

Ali Al-Gahmi
Associate / PM
Sam Sterling Architecture (SSA)



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Project Title: _____ Hydrology File # _____

Legal Description: _____

City Address, UPC, OR Parcel: _____

Applicant/Agent: _____ Contact: _____

Address: _____ Phone: _____

Email: _____

Applicant/Owner: _____ Contact: _____

Address: _____ Phone: _____

Email: _____

TYPE OF DEVELOPMENT: Plat (# of lots) _____ Single Family Home
All other Developments

RE-SUBMITTAL: YES NO

DEPARTMENT: TRANSPORTATION HYDROLOGY/DRAINAGE

Check all that apply under Both the Type of Submittal and the Type of Approval Sought:

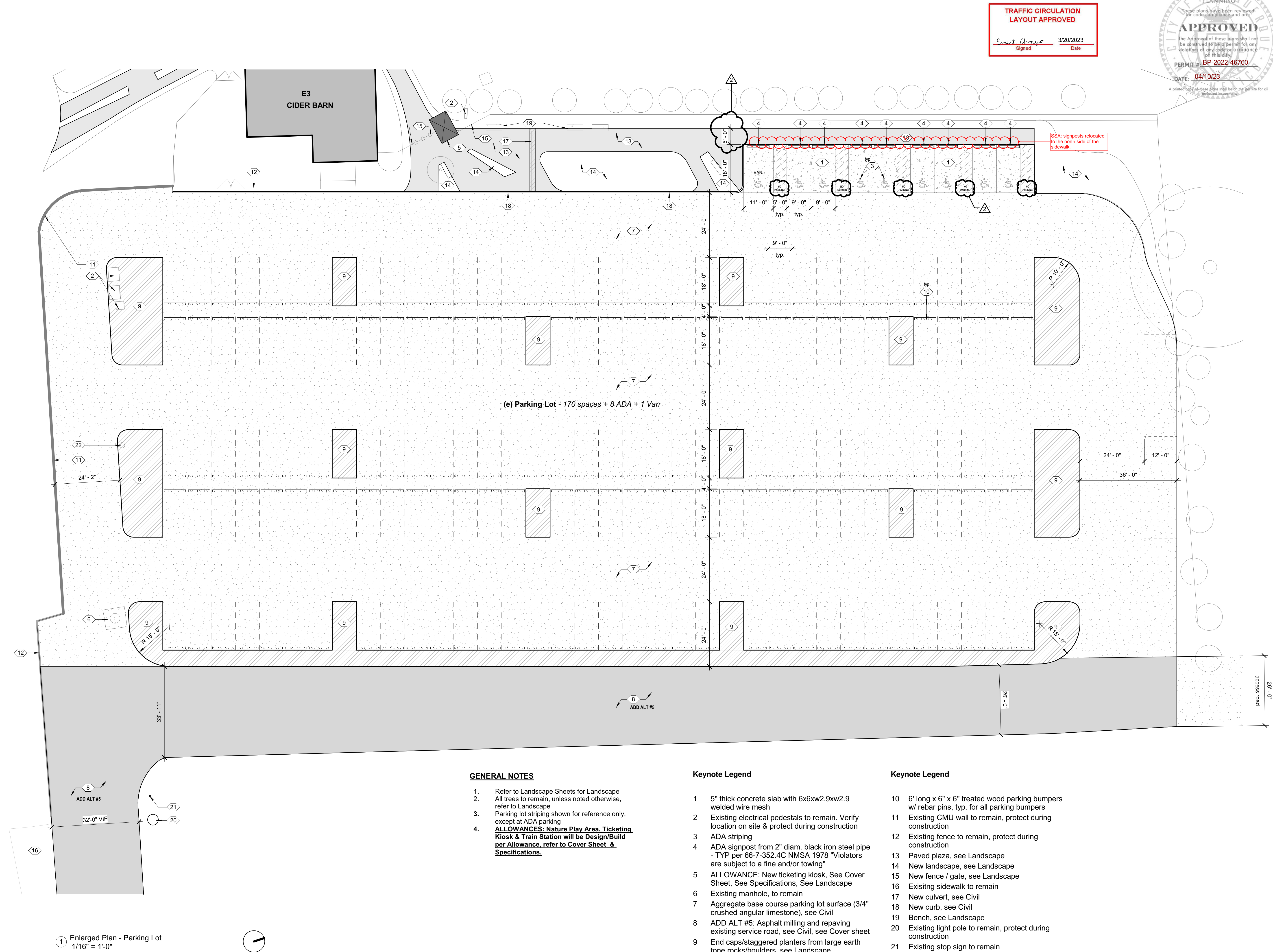
TYPE OF SUBMITTAL:

Engineering / Architect Certification
Conceptual Grading & Drainage Plan
Grading & Drainage Plan, and/or Drainage Report
Drainage Report (Work Order)
Drainage Master Plan
Conditional Letter of Map Revision (CLOMR)
Letter of Map Revision (LOMR)
Floodplain Development Permit
Traffic Circulation Layout (TCL) – Administrative
Traffic Circulation Layout (TCL) – DFT Approval
Traffic Impact Study (TIS)
Street Light Layout
OTHER (SPECIFY) _____

TYPE OF APPROVAL SOUGHT:

Pad Certification
Building Permit
Grading Permit
Paving Permit
SO-19 Permit
Foundation Permit
Certificate of Occupancy - Temp Perm
Preliminary / Final Plat
Site Plan for Building Permit - DFT
Work Order (DRC)
Release of Financial Guarantee (ROFG)
CLOMR / LOMR
Conceptual TCL - DFT
OTHER (SPECIFY) _____

DATE SUBMITTED: _____



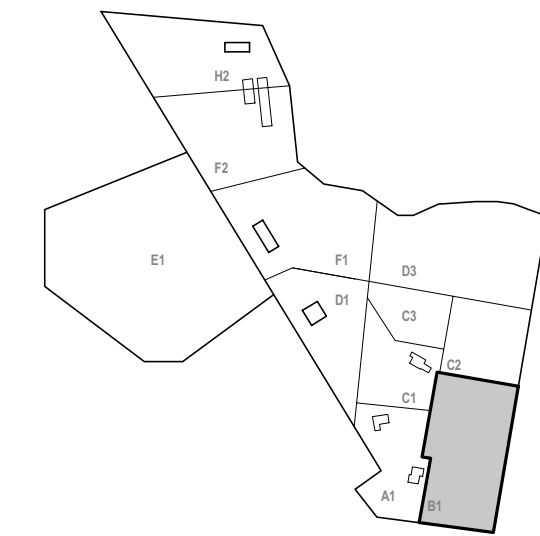
ARCHITECT

SSA
924 2nd St NW Suite C, Albuquerque, NM 87102
505.232.2520 | samsterlingarchitecture.com

CONSULTANT



KEY PLAN



Heritage Farm at the Biopark

City of Albuquerque
2601 Central Ave NW, Albuquerque, NM 87104

REV: permit updates - 1.4.2023

PHASE: **100% Construction Documents**

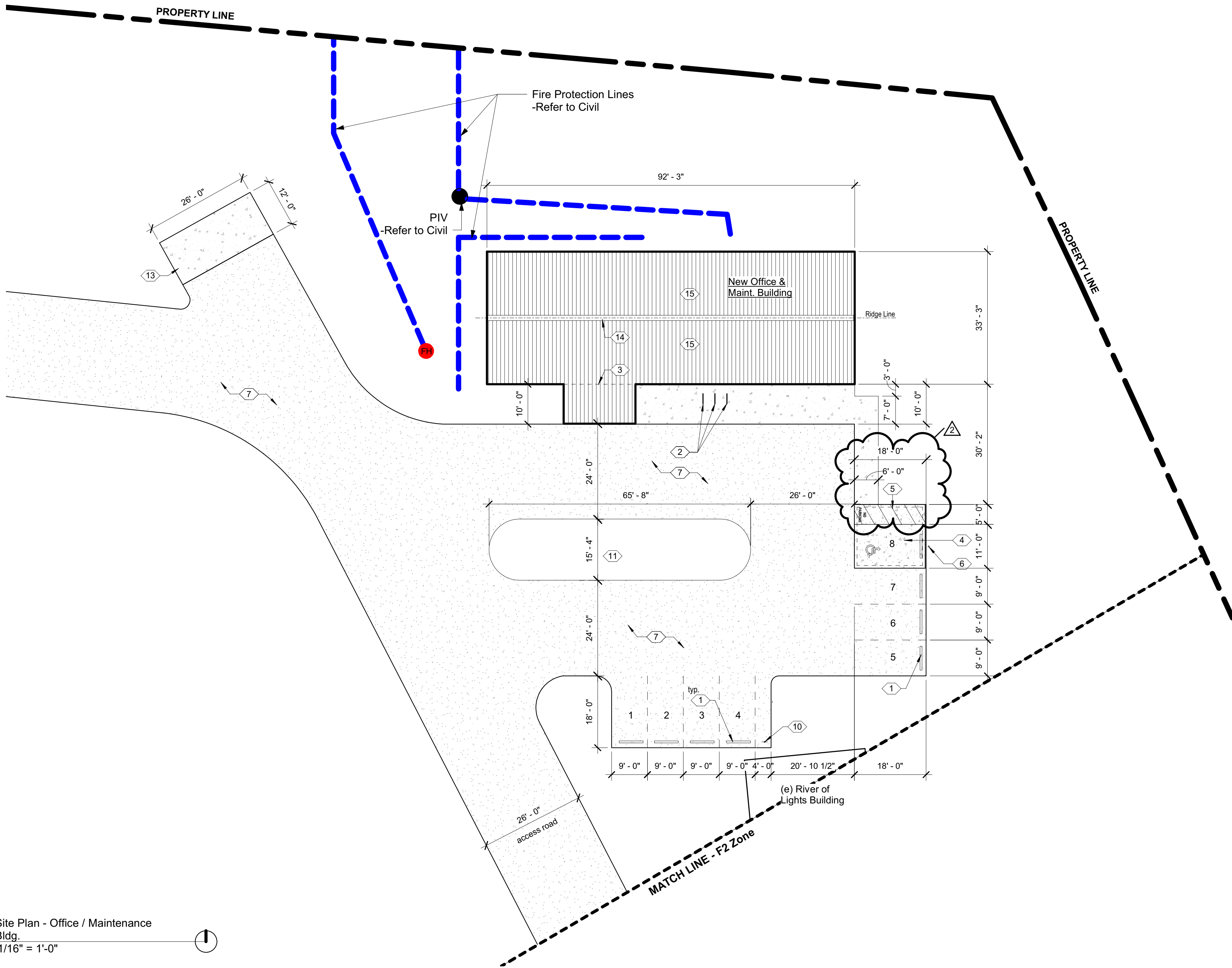
DATE: October 21, 2022

DRAWN BY: AA

CHECKED BY: SS

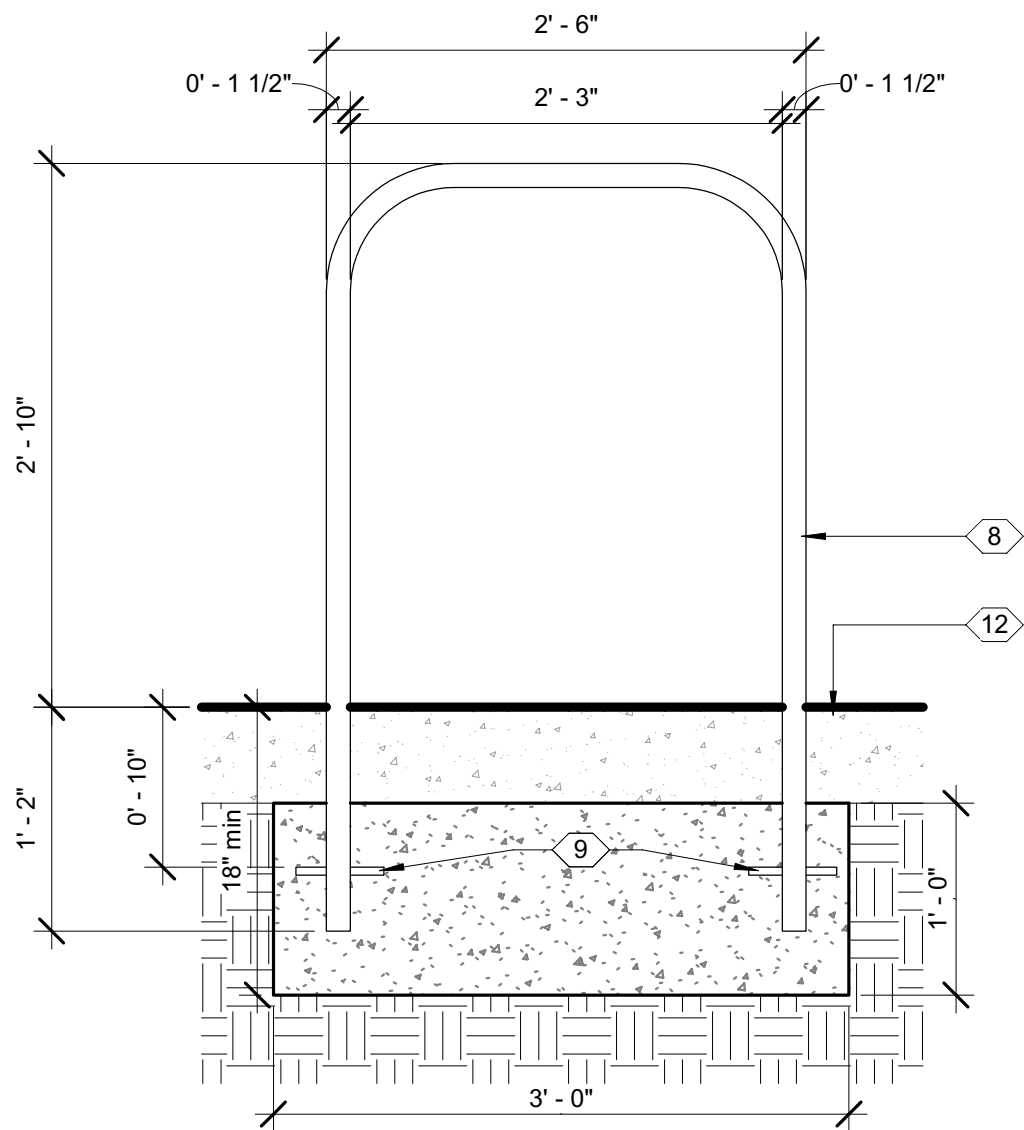
B1 - AS101
Enlarged Plan - Parking Lot

1/17/2023 2:24:23 PM



2
H2 -
AS101

In-Ground Mounted Bike Rack
1" = 1'-0"



Parking Requirements

Parking requirements for this project are per the Master Plan Document - *ABQ Biopark Master Plan* (NCA & Jones/Jones, September 2014)

Per Master Plan: *A modest expansion of parking is recommended*

Parking scope for this project: based on the master plan requirements, and in coordination with the BioPark, the modest expansion of parking will be provided at the New Office & Maintenance building - providing parking for day-to-day staff. Existing parking on the grounds, in coordination with the BioPark, is at an adequate amount for visitors to the BioPark.

*Note: the Master Plan was silent on the Bicycle and Motorcycle Parking Spaces. These quantities are per the IDO.

	Provided #s
Vehicle Parking Spaces	179 - (8) ADA & (1) Van Parking @ existing Parking Lot 8 - (1) ADA @ Office Bldg (H2)
Bicycle Parking Spaces (per IDO)	3
Motorcycle Parking Spaces (per IDO)	1

Summary Description

These architectural drawings represent a Basis of Design for a metal building to be engineered by a Metal Building Manufacturer (MBM), who will be subcontracted under the General Contractor (GC).

GC Scope

The GC shall be responsible the means and methods of construction required to complete work included in the construction documents.

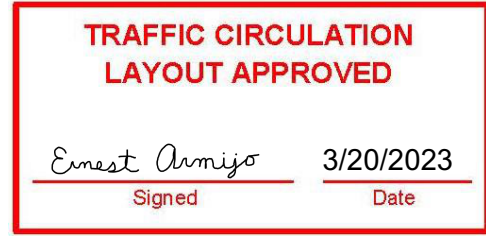
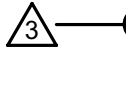
MBM Scope

The MBM shall be responsible for structure, envelope, fenestration, and all associated details, connections, and engineering. MBM shall be responsible for permitting the entirety of the building above the foundation and reviewing foundation plans prior to foundation construction to ensure compatibility with Metal Building.

Permitting

100% CD's shall be used to obtain a Foundation Permit.

- Keynote Legend**
- 6' long x 6" x 6" treated wood parking bumpers w/ rebar pins, typ. for all parking bumpers
 - Bike rack from 1-1/2" diam. standard black iron steel pipe, left to rust, No Primer, No Primer. See Specifications
 - Line of building below
 - 5" thick concrete slab with 6x6xw2.9xw2.9 welded wire mesh
 - ADA striping
 - ADA signpost from 2" diam. black iron steel pipe - TYP per 66-7-352.4C NMSA 1978 "Violators are subject to a fine and/or towing"
 - Base course access road / parking area, see Civil
 - Bike rack from 1-1/2" diam. standard black iron steel pipe, left to rust, No Primer, No Primer. See Specifications
 - Provide 3/8" anchor stud through leg per manufacturer's specifications
 - Motorcycle Parking Only sign mounted on 2" diam. black iron steel pipe. Note: 1 space req. per IDO
 - New landscape, see Landscape
 - Concrete sidewalk, see Civil
 - Concrete pad, see Civil sheets
 - 24 ga. galvalume provide each side ridge flashing to match roof metal with hemmed edges
 - 24 ga. 7/8" corrugated galvalume metal panel for roof and wall



Heritage Farm at the Biopark

City of Albuquerque
2601 Central Ave NW, Albuquerque, NM 87104

REV: 1 permit updates - 1.4.2023
2 permit updates - 3.6.2023

PHASE: 100% Construction Documents
DATE: October 21, 2022
DRAWN BY: AA
CHECKED BY: SS