

DRAINAGE INFORMATION SHEET

PROJECT TITLE: Bugg Property ZONE ATLAS/DRNG. FILE#: J-12-Z D005

DRB#: 96-402 EPC#: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: Lot 11-A Block 6 Traction Park and City Electric Addition

CITY ADDRESS: New York Avenue, S.W.

ENGINEERING FIRM: Wilson & Company CONTACT: Dan Aguirre

ADDRESS: 4775 Indian School Rd, NE Ste 200 PHONE: (505) 254-4000

OWNER: Norman D. Bugg CONTACT: Norman D. Bugg

ADDRESS: 2402 Central Ave, S.W. PHONE: (505) 296-6033

ARCHITECT: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

SURVEYOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

CONTRACTOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☒ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☒ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION
- ☐ OTHER _____

PRE-DESIGN MEETING:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

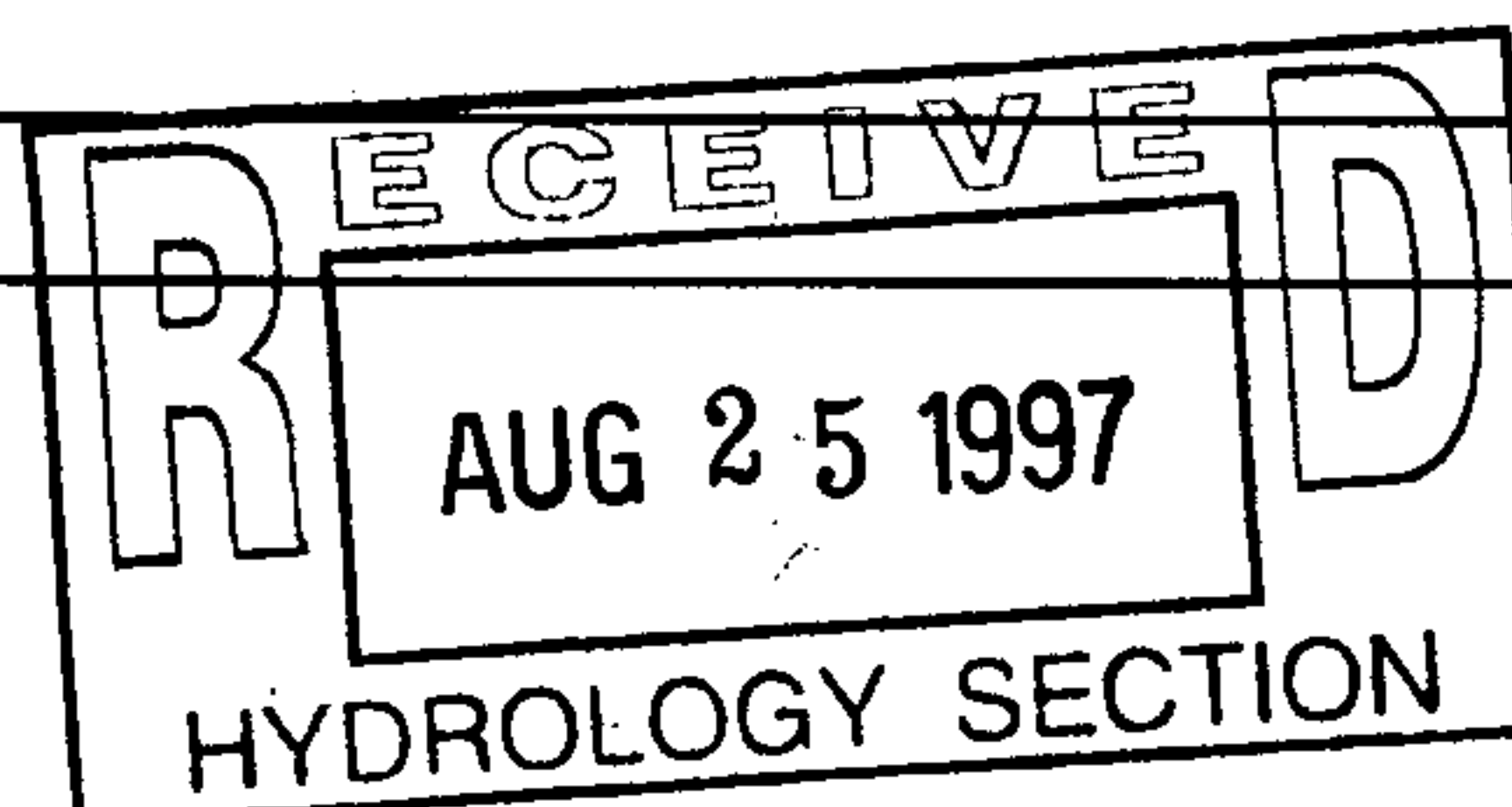
CHECK TYPE OF APPROVAL SOUGHT:

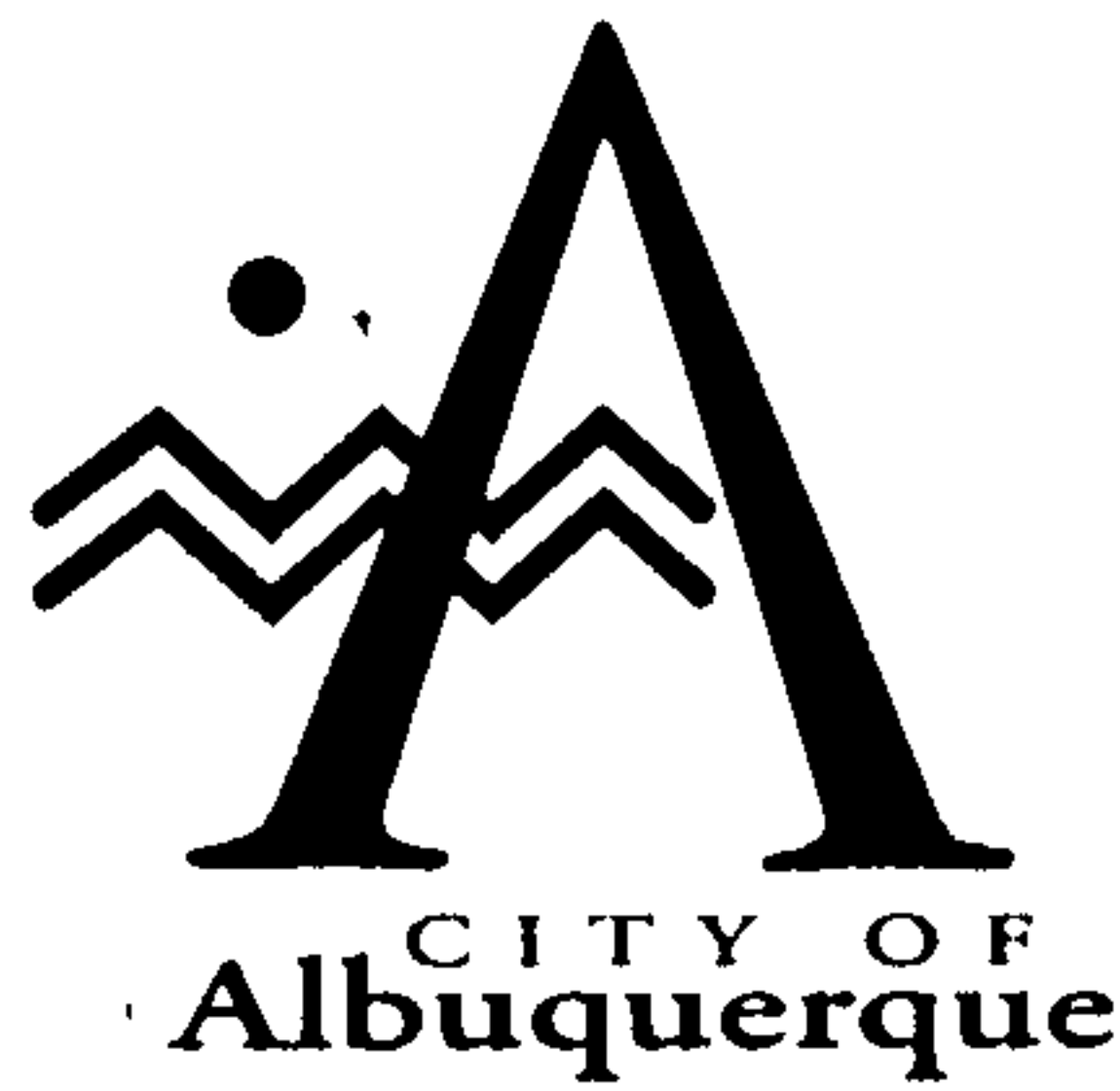
- ☐ SKETCH PLAT APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☒ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ S.A.D. DRAINAGE REPORT
- ☐ DRAINAGE REQUIREMENTS
- ☐ OTHER _____ (SPECIFY)

Date Submitted: 8/25/97

By: _____

Brigitte Sagner





Martin J. Chávez, Mayor

July 31, 1997

Dan Aguirre
Wilson & Company
4775 Indian School Rd. NE Suite 200
Albuquerque, New Mexico 87110

RE: DRAINAGE PLAN FOR THE BUGG PROPERTY (J12-D5) ENGINEER'S STAMP
DATED 7/9/97

Dear Mr. Aguirre:

Based on the information provided on your July 10, 1997 submittal, listed are some concerns that will need to be addressed prior to final approval:

1. Block wall along the North property line to block off the proposed vacated alley.
2. Blanket drainage easement for cross-lot-drainage from lot 11-A on to Lot 12-A shown On the plat.
3. Minor grading within the alley to eliminate ponding against the proposed block wall.
4. More detail on the connection to the existing manhole. Recommend that you check with Glenn Jurgensen from arroyo maintenance for the connection.

If I can be of further assistance, please feel free to contact me at 924-3986.

C: Andrew Garcia

File

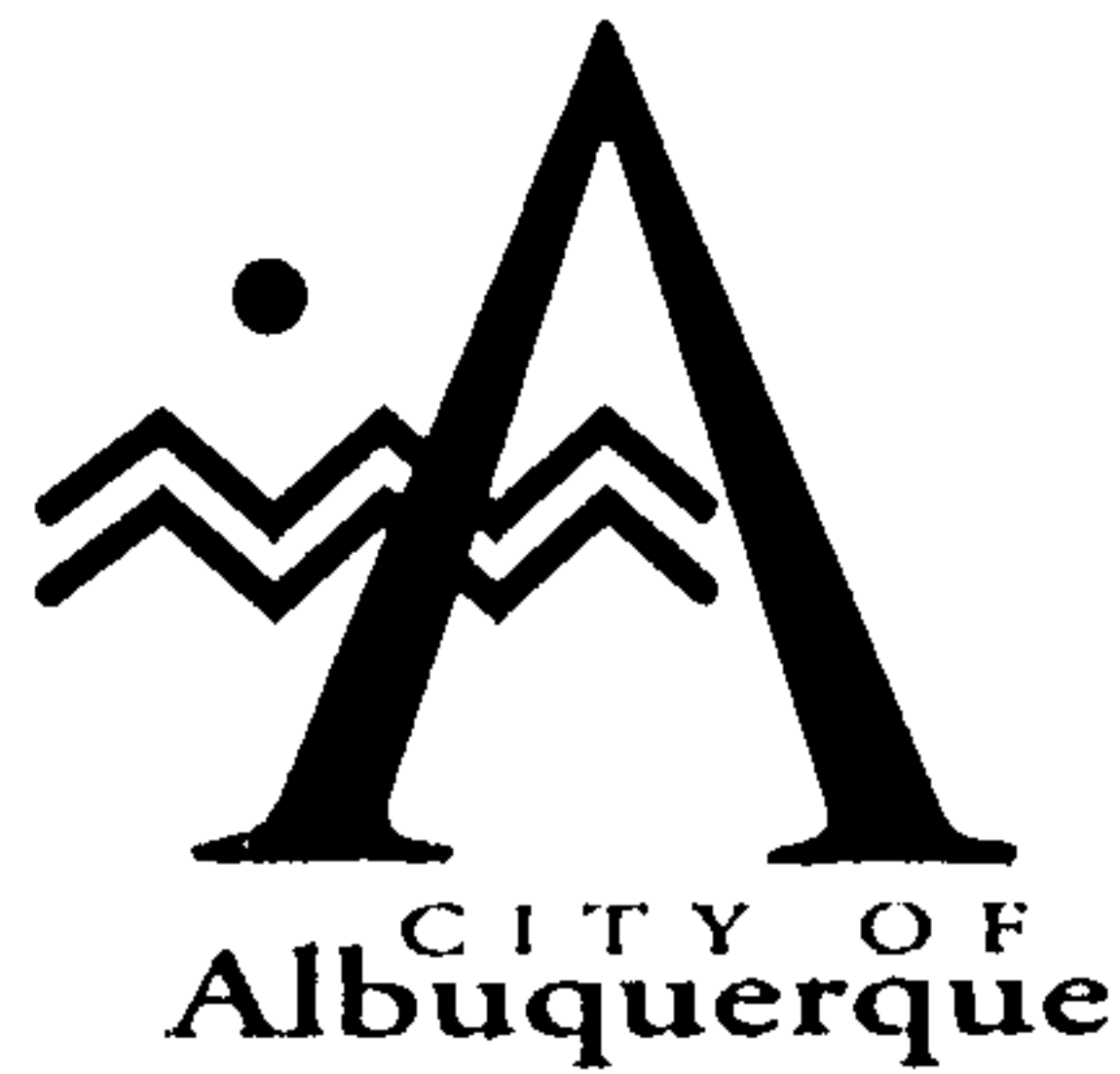
Sincerely

Bernie J. Montoya CE
Associate Engineer

Good for You, Albuquerque!

P.O. Box 1293, Albuquerque, New Mexico 87103





Martin J. Chávez, Mayor

August 28, 1997

Dan Aguirre
Wilson & Company
4775 Indian School Rd. NE Suite 200
Albuquerque, New Mexico 87110

RE: REVISED DRAINAGE PLAN FOR THE BUGG PROPERTY (J12-D5) REVISION
DATED 8/25/97

Dear Mr. Aguirre:


Based on the information provided on your August 25, 1997 resubmittal, the above referenced site is approved for Final Plat.

Please be advised that once the improvements are completed, Engineer Certification per the DPM checklist will be required.

If I can be of further assistance, please feel free to contact me at 924-3986.

C: Andrew Garcia
File

Sincerely


Bernie J. Montoya CE
Associate Engineer



WILSON & COMPANY

4775 Indian School Road, N.E., Suite 200
Albuquerque, New Mexico 87110
Post Office Box 3548 87190
505-254-4000

Albuquerque
Colorado Springs
Denver
Durango
Kansas City
Lenexa
Phoenix
Salina
San Diego
Wichita

25 August, 1997

Bernie Montoya CE
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

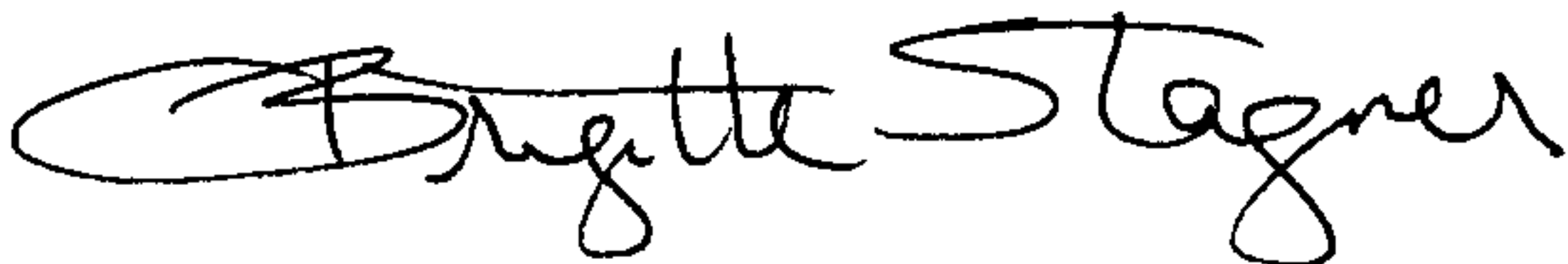
Re: DRB#96-402 Bugg Property
WCEA File: 97-210-022

Dear Mr. Montoya:

The comments concerning the Bugg Property grading and drainage plan have been addressed. A solid block wall along the north property line has been noted on the plan with minor grading away from the wall for drainage. A detail has been provided on the plan for the connection to the existing manhole.

If you have any questions or comments please do not hesitate to call me at 254-4024.

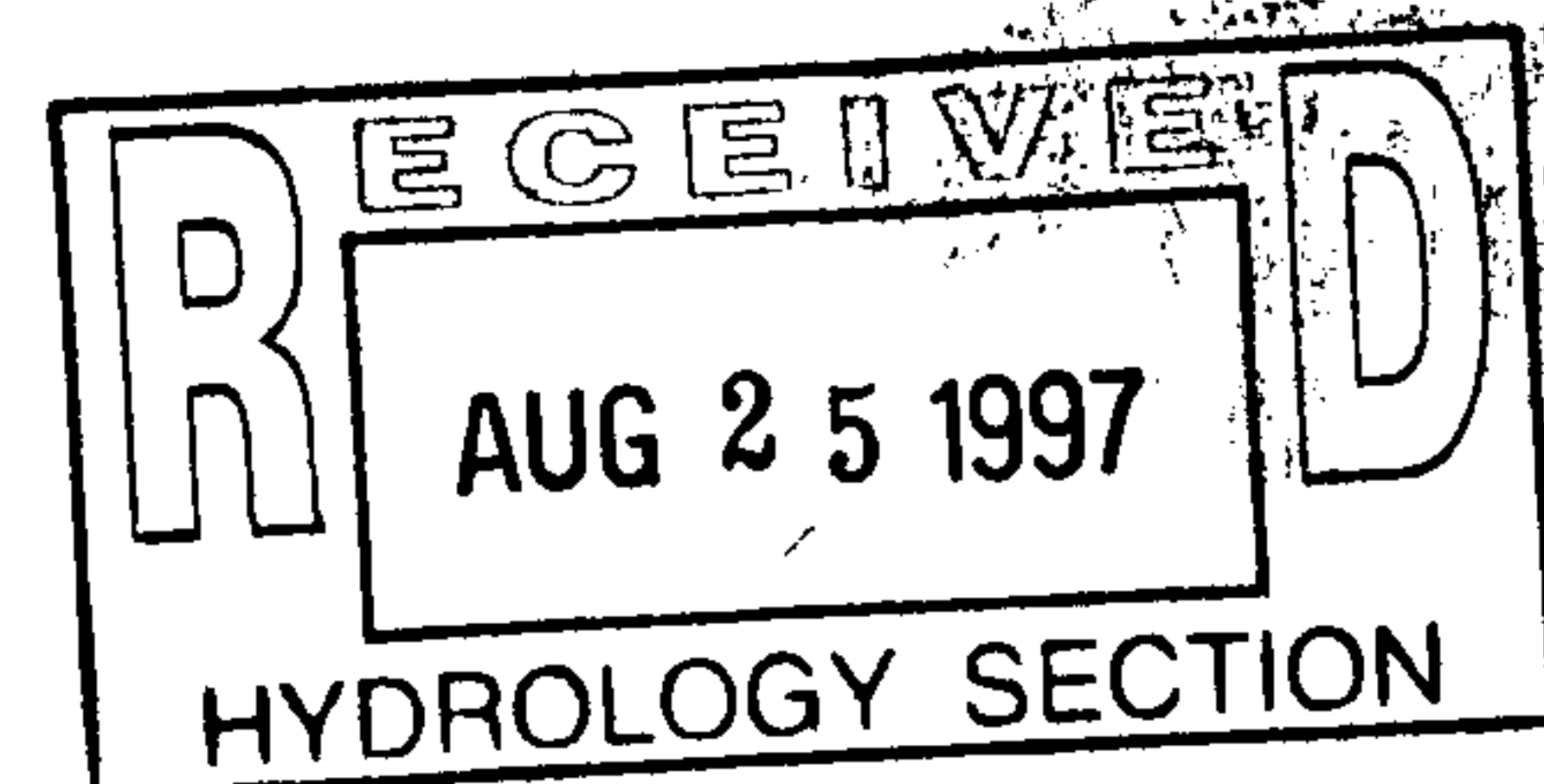
WILSON & COMPANY



Brigitte Stagner, EIT
Project Designer

BMS/bms

cc: File



DRAINAGE INFORMATION SHEET

PROJECT TITLE: Bugg Property ZONE ATLAS/DRNG. FILE#: J-12-Z / 05

DRB#: 96-402 EPC#: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: Lot 11-A Block 6 Traction Park and City Electric Addition

CITY ADDRESS: New York Avenue, S.W.

ENGINEERING FIRM: <u>Wilson & Company</u>	CONTACT: <u>Dan Aguirre</u> <i>Pat Jaramillo</i>
ADDRESS: <u>4775 Indian School Rd, NE Ste 200</u>	PHONE: <u>(505) 254-4000</u> <i>4042</i>
OWNER: <u>Norman D. Bugg</u>	CONTACT: <u>Norman D. Bugg</u>
ADDRESS: <u>2402 Central Ave, S.W.</u>	PHONE: <u>(505) 296-6033</u>
ARCHITECT: _____	CONTACT: _____
ADDRESS: _____	PHONE: _____
SURVEYOR: _____	CONTACT: _____
ADDRESS: _____	PHONE: _____
CONTRACTOR: _____	CONTACT: _____
ADDRESS: _____	PHONE: _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☒ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION
☐ OTHER _____

PRE-DESIGN MEETING:

☐ YES
☒ NO
☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☒ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ S.A.D. DRAINAGE REPORT
☐ DRAINAGE REQUIREMENTS
☐ OTHER _____ (SPECIFY)

Date Submitted: 7/10/97

By: _____

DRAINAGE.doc

