

# CITY OF ALBUQUERQUE



June 4, 2015

Jeffrey Mortensen, PE  
High Mesa Consulting Group  
6010 -B Midway Park Blvd NE  
Albuquerque, NM 87109

**Re: Reginald Chavez ES Portables**  
**2700 Mountain Rd NW**  
**Engineer's Stamp dated: 8/4/2014 (J12D009)**  
**Certification dated: 5-29-15**

Dear Mr. Mortensen,

Based on the Certification received 6/2/2015, the site is acceptable for release of Certificate of Occupancy by Hydrology.

PO Box 1293


If you have any questions, you can contact me at 924-3999 or Rudy Rael at 924-3977.

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

Sincerely,

  
Shahab Biazar, P.E.  
City Engineer, Planning Dept.  
Development and Review Services

C: RR/SB  
CO Clerk  
email



CONSTRUCTION NOTES:

1. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM, 811, FOR DESIGNATION (LINE-SPOTTING) OF EXISTING PUBLIC UTILITIES AND EXISTING UTILITIES OWNED AND OPERATED BY ALBUQUERQUE PUBLIC SCHOOLS.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INTERPRETATIONS IT MAKES WITHOUT FIRST CONTACTING THE ENGINEER AS REQUIRED ABOVE.
3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
4. ALL CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.
5. IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS CONDUCTED ONLY PRELIMINARY INVESTIGATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THIS INVESTIGATION IS NOT CONCLUSIVE, AND MAY NOT BE COMPLETE, THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
6. THE DESIGN OF PLANTERS AND LANDSCAPED AREAS IS NOT PART OF THIS PLAN. ALL PLANTERS AND LANDSCAPED AREAS ADJACENT TO THE BUILDING(S) SHALL BE PROVIDED WITH POSITIVE DRAINAGE TO AVOID ANY PONDING ADJACENT TO THE STRUCTURE. FOR CONSTRUCTION DETAILS, REFER TO LANDSCAPING PLAN.

EROSION CONTROL MEASURES:

1. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY.
2. THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
3. WHEN APPLICABLE, CONTRACTOR SHALL SECURE "TOPSOIL DISTURBANCE PERMIT" FROM THE CITY AND/OR FILE A NOTICE OF INTENT (N.O.I.) WITH THE EPA PRIOR TO BEGINNING CONSTRUCTION.

CITY OF ALBUQUERQUE  
DEVELOPMENT & BUILDING SERVICES CENTER  
PLANNING DEPARTMENT/HYDROLOGY & TRANSPORTATION SECTIONS & ABCWUA

CONFERENCE RECAP

DRAINAGE FILE/ZONE ATLAS PAGE NUMBER: J12/D009 DATE: 02-13-2014  
CROSS REFERENCE NUMBERS: EPC DRB DRC  
SUBJECT: CLASSROOM ADDITION, REGINALD CHAVEZ ELEMENTARY SCHOOL  
STREET ADDRESS: 2700 MOUNTAIN ROAD NW  
SUBDIVISION NAME: UNPLATTED MRQCD TRACTS PLUS PORTION OF PUBLIC RIGHT-OF-WAY

TYPE OF APPROVAL  
PRELIMINARY PLAT  
SITE DEVELOPMENT PLAN  
OTHER - WORK ORDER  
FINAL PLAT  
BUILDING PERMIT  
ROUGH GRADING

ATTENDEE: CURTIS CHERNE ORGANIZATION: HYDROLOGY PHONE: 924-3986  
ALLAN PORTER ABCWUA 924-3989  
BRYAN WOLFE CITY ENGINEER 924-3999  
JEFF MORTENSEN HMC 345-4250

OTHER: KRISTAL METRO TRANSPORTATION 924-3991

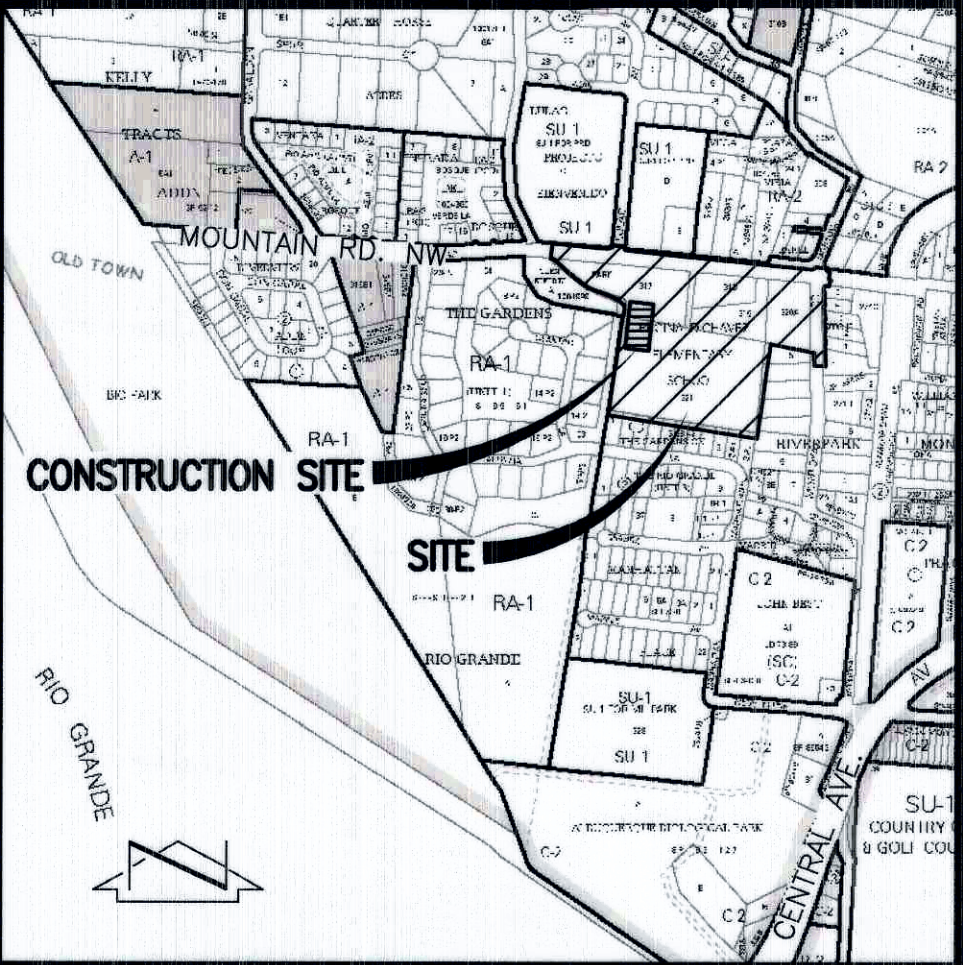
FINDINGS:

- A. ABCWUA
- a. CITY WORK ORDER REQUIRED FOR NEW FIRE HYDRANT ON WEST SIDE OF NEW BUILDING
  - b. REMOVAL OF EXISTING PRIVATE FIRE HYDRANT INTERNAL TO SITE ACCEPTABLE AS IT WILL BE REPLACED BY NEW PUBLIC FIRE HYDRANT REFERENCED ABOVE
  - c. CONVERSION OF PRIVATE FIRE HYDRANT UNMETERED FIRE PROTECTION LINE TO LINE FOR BUILDING SPRINKLERS ACCEPTABLE. EXISTING ACCOUNT TO REMAIN - NO CHANGES REQUIRED
  - d. NEW PUBLIC FIRE HYDRANT REQUIRES A PUBLIC WATER LINE EASEMENT.
  - e. DEDICATION OF RIGHT-OF-WAY OR GRANTING OF EASEMENTS NOT REQUIRED FOR EXISTING ABCWUA FACILITIES WITHIN THE APPARENT ROADWAY, BUT NOT WITHIN DEDICATED RIGHT-OF-WAY
  - f. NEW SAS SERVICE REQUIRED FOR NEW BUILDING; INCLUDE AS PART OF CITY WORK ORDER TO PROPERTY LINE IN LIEU OF SEPARATE TAPPING PERMIT
  - g. IF YDI HEAD START PORTABLE BUILDING REQUIRES A SEPARATE METERED WATER SERVICE, INCLUDE AS PART OF CITY WORK ORDER
- B. TRANSPORTATION
- a. TCL REQUIRED FOR BUILDING PERMIT APPROVAL???????????????? (See note "d." below)
  - b. NEW DRIVEPADS ON MONTAÑA ROAD **MUST** MAY BE PART OF CITY WORK ORDER REFERENCED ABOVE AS OPPOSED TO SEPARATE PERMIT PROCESS
  - c. DEDICATION OF RIGHT-OF-WAY OR GRANTING OF EASEMENTS NOT REQUIRED FOR EXISTING CITY STREET IMPROVEMENTS WITHIN THE APPARENT ROADWAY, BUT NOT WITHIN DEDICATED RIGHT-OF-WAY
  - d. Follow the requirements for Council Bill Number 0-13-61, which amended Chapter 6, Article 5, Part 4 Section 3 B(4) 1994. The new ordinance requires a Neighbor Impact Analysis, Traffic Site Assessment or Traffic Impact Study.
  - e. The City Engineer will help set-up the meeting with the transportation and planning staff. The planning staff will help with the requirements for the Neighborhood Impact Analysis. The transportation staff will determine the traffic analysis requirements.
- C. HYDROLOGY
- a. GRADING AND DRAINAGE (G&D) PLAN REQUIRED FOR BUILDING PERMIT APPROVAL
  - b. G&D SHALL CONFORM TO MASTER DRAINAGE PLAN (MDP) DATED 09-28-2007
  - c. BASIN A ALLOWED FREE DISCHARGE TO PUBLIC RIGHT-OF-WAY AS DESCRIBED IN THE MDP
  - d. RETENTION PONDING IN BASIN B ALLOWED AS DESCRIBED IN THE MDP
  - e. MODIFICATIONS TO THE BASIN B POND SHALL MAINTAIN EXISTING VOLUME PLUS ANY INCREASE IN RUNOFF ASSOCIATED WITH THE PROPOSED BUILDING PERMIT IMPROVEMENTS
  - f. G&D MUST ADDRESS REQUIREMENTS OR NEED FOR FENCING OF RETENTION POND
  - g. DESIGN SHOULD CONSIDER GRAVEL INFILTRATION GALLERY TO PROMOTE POND INFILTRATION
  - h. IF THE PROJECT DISTURBS GREATER THAN ONE ACRE OF LAND, AN EROSION AND SEDIMENT CONTROL PLAN (ESCP) IS REQUIRED FOR AS A CONDITION FOR BUILDING PERMIT APPROVAL. THIS IS A SEPARATE SUBMITTAL IN ADDITION TO THE GRADING AND DRAINAGE PLAN SUBMITTAL FOR BUILDING PERMIT.

THE UNDERSIGNED AGREE THAT THE ABOVE FINDINGS ARE SUMMARIZED ACCURATELY AND ARE ONLY SUBJECT TO CHANGE IF FURTHER INVESTIGATION REVEALS THAT THE FINDINGS ARE NOT REASONABLE OR THAT THEY ARE BASED UPON INACCURATE INFORMATION.

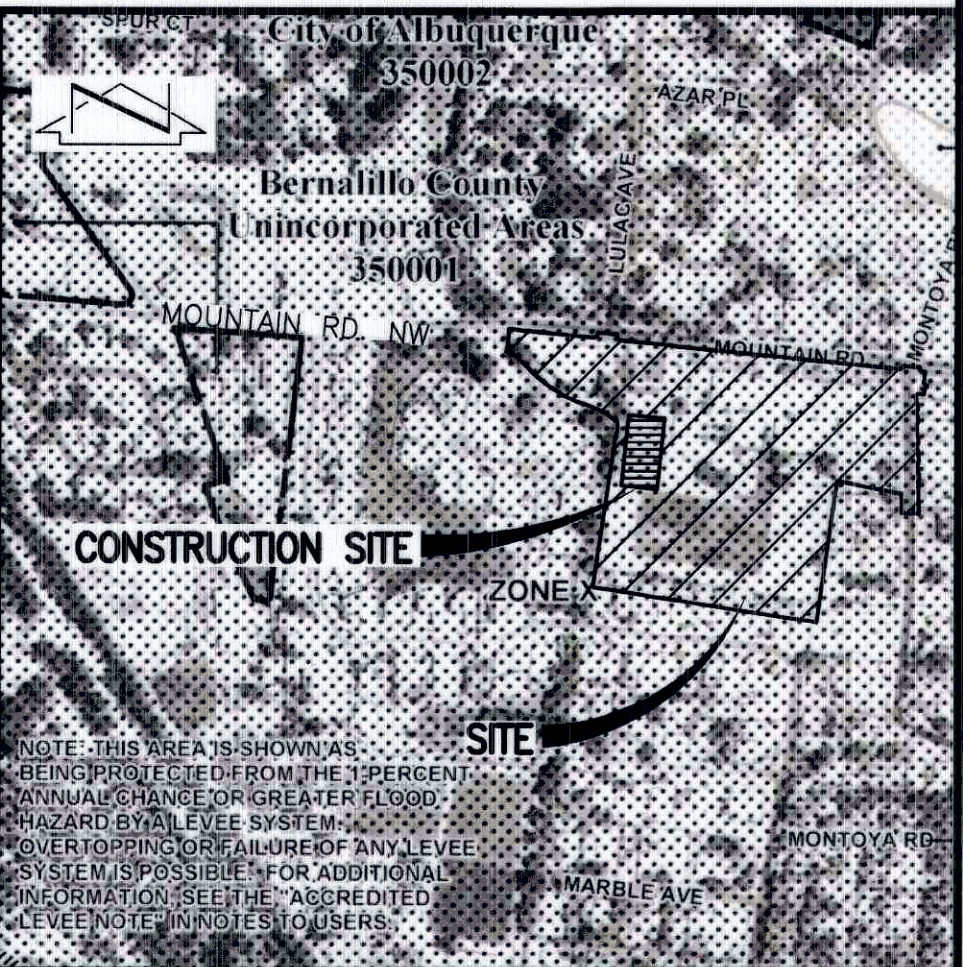
SIGNED: *Auto e chur* SIGNED: *03-04-2014*  
TITLE: HYDROLOGY (COA) TITLE: CONSULTANT  
DATE: DATE:  
SIGNED: *Wile* SIGNED: *Mar P et a*  
TITLE: TRANSPORTATION (COA) TITLE: ABCWUA  
DATE: 3/4/2014 DATE: 03/09/14  
(Notes in Bold & Italics)

NOTE: PROVIDE A COPY OF THIS RECAP WITH DRAINAGE, TCL AND WORK ORDER SUBMITTALS



VICINITY MAP  
SCALE: 1" = 750'±

J-12



F.I.R.M.  
SCALE: 1" = 500'±

PANEL 331 of 825  
DATED 08/16/12

LEGAL DESCRIPTION

UNPLATTED LANDS OF ALBUQUERQUE PUBLIC SCHOOLS.

PROJECT BENCHMARK

ACS 3 1/4" ALUMINUM CAP STAMPED, "13-J12, 1989", RIVETED TO A PIPE 0.2" ABOVE GROUND, IN THE NORTHEAST QUADRANT OF THE INTERSECTION OF NEW YORK AVENUE N.W. AND CENTRAL AVENUE. ELEVATION = 4955.431 FEET (NAVD 88)

TEMPORARY BENCHMARK #1 (T.B.M.)

A MAG NAIL W/WASHER IN THE CONCRETE SIDEWALK ON THE NORTH SIDE OF MOUNTAIN ROAD N.W. ELEVATION = 4957.53 FEET (NAVD 88)

TEMPORARY BENCHMARK #2 (T.B.M.)

A MAG NAIL W/WASHER IN THE CONCRETE SIDEWALK AT THE NORTHEAST QUADRANT OF THE INTERSECTION OF MOUNTAIN ROAD AND MONTAÑA ROAD N.W. ELEVATION = 4957.17 FEET (NAVD 88)

TEMPORARY BENCHMARK #3 (T.B.M.)

A #5 REBAR W/CAP STAMPED "HMC CONTROL NMPS 11184" AT THE EASTERN EDGE OF A GRASS FIELD. ELEVATION = 4957.44 FEET (NAVD 88)

INDEX OF DRAWINGS - DRAINAGE SUBMITTAL

SHEET	DESCRIPTION
1 OF 1	SUPPLEMENTAL SITE AND DRAINAGE INFORMATION
2 OF 14	OVERALL PLAN (FOR ORIENTATION ONLY)
3 OF 14	DEMOLITION PLAN (FOR EXISTING CONDITIONS)
5B OF 14	REFUSE PAD SECTIONS AND DETAILS
6A OF 14	GRADING PLAN-NORTH
6B OF 14	GRADING PLAN-SOUTH
7 OF 14	DRAINAGE PLAN AND CERTIFICATION
11 OF 14	TYPICAL APS PORTABLE CLASSROOM FOUNDATION PLAN

HIGH MESA Consulting Group

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PHONE: 505.345.4250 • FAX: 505.345.4254 • www.highmesacg.com

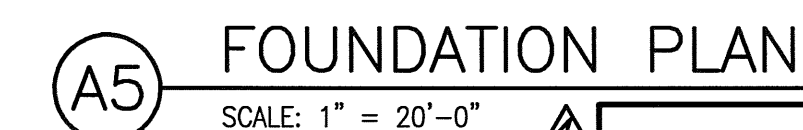
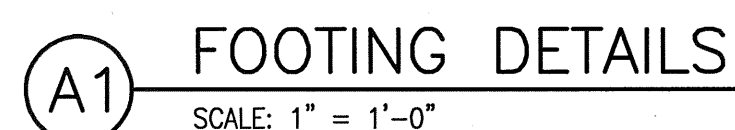
DRAINAGE SUBMITTAL  
SUPPLEMENTAL SITE AND DRAINAGE INFORMATION  
PORTABLE CLASSROOM RELOCATIONS  
REGINALD CHAVEZ ELEMENTARY SCHOOL




DESIGNED BY	J.G.M.
DRAWN BY	J.Y.R.
APPROVED BY	J.G.M.

NO.	DATE	BY	REVISIONS

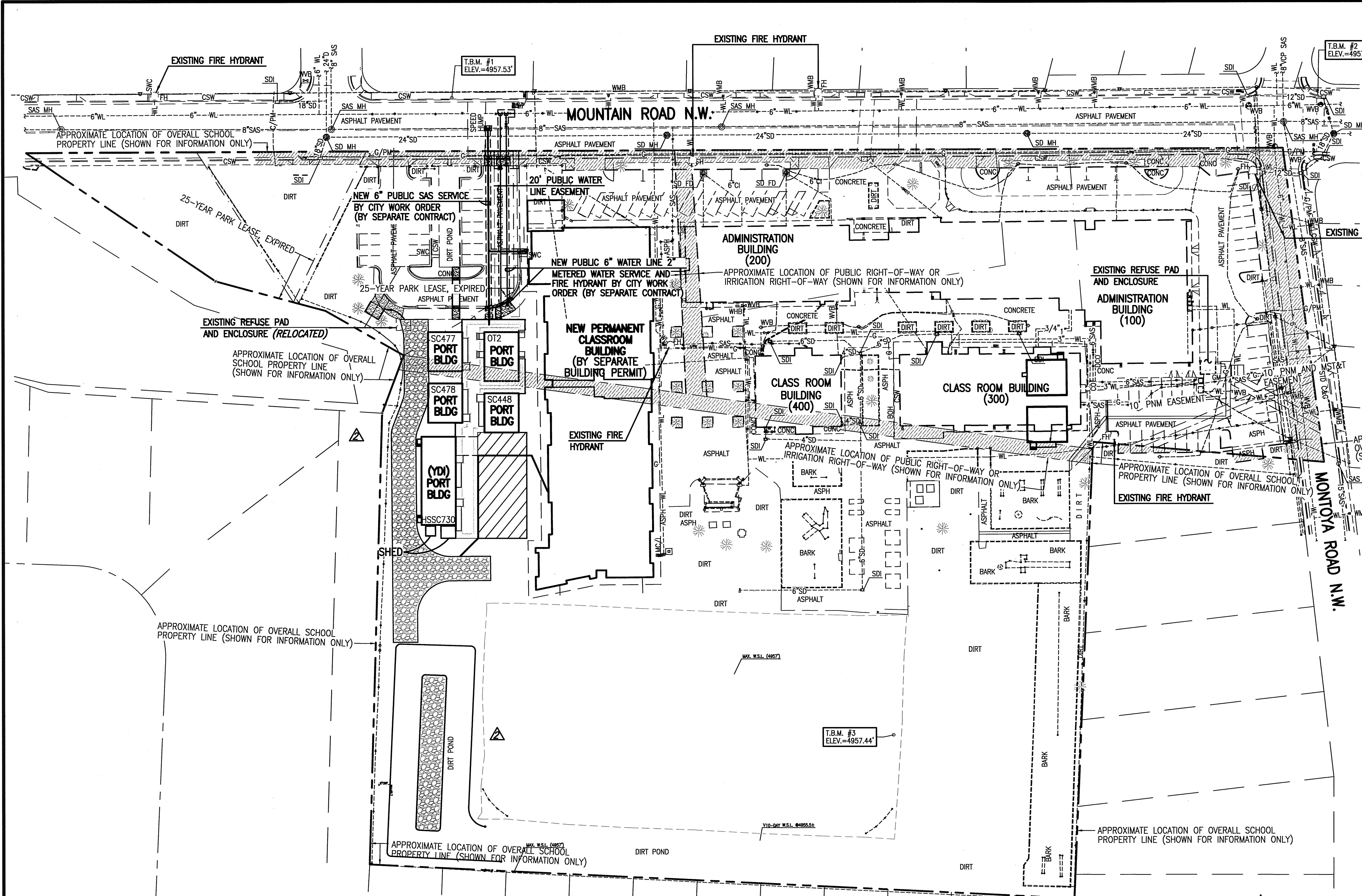
JOB NO.	2013.184.8
DATE	08-2014
SHEET	1 OF 1





		NO.	DATE	BY	REVISIONS	JOB NO.
DESIGNED BY	J.G.M.		10/14	JGM	DELETE TOF ELEVATIONS	2013.184.8
DRAWN BY	J.Y.R.		11/14	JGM	FOUNDATION CERTIFICATION	DATE
			04/15	JGM	RECORD DRAWING	07-2014
APPROVED BY	J.G.M.					SHEET
						11 OF 14





LEGAL DESCRIPTION  
TRACTS 317, 318, 319, 320A, AND 321, M.R.G.C.D. PROPERTY  
MAP NO. 38, ALBUQUERQUE, NEW MEXICO, ALSO KNOWN AS  
REGINALD CHAVEZ ELEMENTARY SCHOOL.

**BENCHMARKS**  
**PROJECT BENCHMARK**  
ACS 3 1/4" ALUMINUM CAP STAMPED, "13-J12, 1989", RIVETED TO A PIPE 0.2' ABOVE  
GROUND, IN THE NORTHEAST QUADRANT OF THE INTERSECTION OF NEW YORK AVENUE N.W.  
AND CENTRAL AVENUE.  
ELEVATION = 4955.431 FEET (NAVD 88)  
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A MAG NAIL W/WASHER IN THE CONCRETE SIDEWALK ON THE NORTH SIDE OF MOUNTAIN  
ROAD N.W., AS SHOWN ON THIS SHEET.  
ELEVATION = 4957.53 FEET (NAVD 88)  
**TEMPORARY BENCHMARK #2 (T.B.M.)**  
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A #5 REBAR W/CAP STAMPED "HMC CONTROL NMPS 11184" AT THE EASTERN EDGE OF  
A GRASS FIELD, AS SHOWN ON THIS SHEET.  
ELEVATION = 4957.44 FEET (NAVD 88)



LEGEND		
ASQ	PAINTED FOUR SQUARE	OHE(1)
ARD	ASPHALT RAMP	OHM
ASPH	ASPHALT RUNDOWN	OHV
ASV	ANTI-SIPHON VALVE	OHVL
BOH	BASKETBALL GOAL	OWH
BR	BUILDING OVERHANG	OWHL
BS	BICYCLE RACK	OWHL
CS	ATHLETIC BACKSTOP	OWHL
C/S	CURB AND GUTTER	OWHL
C/PM	COMMUNICATION LINE	OWHL
CCAB	COMMUNICATION CABINET	OWHL
CCND	COMMUNICATION CONDUIT	OWHL
CCW	CONCRETE CONTAINMENT WALL	OWHL
CDP	CONCRETE DRIVE PAD	OWHL
CF	LANDSCAPING CRUSHER FINES	OWHL
CHC	CONCRETE HEADER CURB	OWHL
CHW	CONCRETE HEAD WALL	OWHL
CI	CAST IRON PIPE	OWHL
CLD	CENTERLINE DOOR	OWHL
CLDD	CENTERLINE DOUBLE DOOR	OWHL
CLF	CHAIN LINK FENCE	OWHL
CMR	COMMUNICATION RISER	OWHL
CMU	CONCRETE BLOCK WALL	OWHL
CND	ELECTRIC CONDUIT	OWHL
CO	CLEANOUT	OWHL
CONC	CONCRETE	OWHL
CP	CURB OPENING	OWHL
CPB	CONCRETE PIPE	OWHL
CPN	COMMUNICATION PULLBOX	OWHL
CPO	COMMUNICATION PANEL	OWHL
CPW	CONCRETE PLANTER WALL	OWHL
CR	CONCRETE RAMP	OWHL
CRS	BUILDING CRAWL SPACE	OWHL
CRW	CONCRETE RETAINING WALL	OWHL
CS	CONCRETE STEPS	OWHL
CSP	CONCRETE SPLASH PAD	OWHL
CSW	CONCRETE SIDEWALK	OWHL
CVC	COVERED CONCRETE	OWHL
CW	CONCRETE WALL	OWHL
DCO	DOUBLE CLEANOUT	OWHL
DGP	DOUBLE PIPE GATE	OWHL
DUMP	CONCRETE DUMPSTER PAD	OWHL
DYS	PAINTED DOUBLE YELLOW STRIPE	OWHL
E/PM	ELECTRIC LINE BY PAINT MARK	OWHL
E/UNK	ELECTRIC LINE BY UNKNOWN SOURCE PAINT MARK	OWHL
EA	EDGE OF ASPHALT	OWHL
ECAB	ELECTRIC CABINET	OWHL
EM	ELECTRIC METER	OWHL
EP	ELECTRIC OUTLET	OWHL
EPB	ELECTRIC PULLBOX	OWHL
FH	FIRE HYDRANT	OWHL
FL	FLAG POLE	OWHL
FRD	FROM RECORD DRAWING	OWHL
G/PM	GAS LINE BY PAINT MARK	OWHL
GA	GUY WIRE ANCHOR	OWHL
GM	GAS METER	OWHL
GRM	GRATED RIM	OWHL
GRT	GREASE TRAP	OWHL
GS	GAS SERVICE	OWHL
GT	GATE	OWHL
GTS	GATE STOP POST	OWHL
HCP	HANDICAPPED PARKING SIGN	OWHL
HOP	PAINTED HOPSCOTCH	OWHL
HW	HOT WATER LINE	OWHL
HWR	HOT WATER RETURN LINE	OWHL
ICT	IRRIGATION CONTROL TIMER	OWHL
INV	PIPE INVERT	OWHL
IVB	IRRIGATION VALVE BOX	OWHL
KSW	KEYSTONE BLOCK WALL	OWHL
LSD	PLASTIC LANDSCAPE DIVIDER	OWHL
MBC	METAL BUILDING COLUMN	OWHL
MC/L	METER CAN WITH LINE	OWHL
MC/V	METER CAN WITH VALVE	OWHL
MH	MANHOLE	OWHL
MHR	METAL HAND RAIL	OWHL
MLN	METAL LANDING	OWHL
MLP	METAL LIGHT POLE ON CONCRETE BASE	OWHL
MNT	MOUNTABLE	OWHL
MR	METAL RAMP	OWHL
MS	METAL STEPS	OWHL
MTC	METAL TRASH CAN	OWHL
MTS	METAL STEPS	OWHL
OHC(1)	OVERHEAD COMMUNICATION (# OF LINES)	OWHL
OHE(1)	OVERHEAD ELECTRIC (# OF LINES)	OWHL
OHM	OVERHEAD UTILITY MAST	OWHL
OHV	OVERHEAD VALVE	OWHL
OWHL	OVERHEAD WATER LINE	OWHL
OWHL	CONCRETE WHEEL STOP	OWHL
OWHL	PLAYGROUND EQUIPMENT	OWHL
OWHL	UTILITY PAINT MARK	OWHL
OWHL	PAINTED PARKING STRIPE	OWHL
OWHL	PICNIC TABLE	OWHL
OWHL	POLYVINYL CHLORIDE PIPE	OWHL
OWHL	REINFORCED CONCRETE PIPE	OWHL
OWHL	ROOF DRAIN TO UNDERGROUND	OWHL
OWHL	REFUSE ENCLOSURE	OWHL
OWHL	ROW OF CONCRETE	OWHL
OWHL	WHEEL STOPS	OWHL
OWHL	RIP-RAP	OWHL
OWHL	LANDSCAPING RAILROAD TIES	OWHL
OWHL	SANITARY SEWER	OWHL
OWHL	SANITARY SEWER LINE	OWHL
OWHL	BY PAINT MARK	OWHL
OWHL	PAINTED STOP BAR	OWHL
OWHL	STEEL COVER	OWHL
OWHL	STORM DRAIN	OWHL
OWHL	STORM DRAIN/FRENCH DRAIN	OWHL
OWHL	STORM DRAIN LINE	OWHL
OWHL	BY PAINT MARK	OWHL
OWHL	STORM DRAIN INLET	OWHL
OWHL	SERVICE DROP POLE	OWHL
OWHL	ELECTRIC SWITCH GEAR	OWHL
OWHL	STEEL GUARD POST	OWHL
OWHL	TRAFFIC SIGNAL (FLASHING BEACONS)	OWHL
OWHL	STUCCO WALL	OWHL
OWHL	CONCRETE SIDEWALK	OWHL
OWHL	SIDEWALK CULVERT	OWHL
OWHL	PAINTED SOLID WHITE STRIPE	OWHL
OWHL	TOP OF ASPHALT	OWHL
OWHL	TOP OF CURB	OWHL
OWHL	TOP OF CONCRETE	OWHL
OWHL	CONCRETE TURNDOWN SIDEWALK	OWHL
OWHL	TOP OF GRATE	OWHL
OWHL	ELECTRIC TRANSFORMER	OWHL
OWHL	TRAFFIC SIGN	OWHL
OWHL	TOP OF WALL	OWHL
OWHL	TYPICAL	OWHL
OWHL	VITRIFIED CLAY PIPE	OWHL
OWHL	CONCRETE VALLEY GUTTER	OWHL
OWHL	VENT PIPE	OWHL
OWHL	W/PM	OWHL
OWHL	WATER LINE BY PAINT MARK	OWHL
OWHL	CONCRETE WHEELCHAIR RAMP	OWHL
OWHL	DRINKING FOUNTAIN	OWHL
OWHL	WATER HOT BOX	OWHL
OWHL	WATER LINE	OWHL
OWHL	WATER LINE FROM RECORD DRAWING	OWHL
OWHL	WATER LINE PAINT MARK FROM UNKNOWN SOURCE	OWHL
OWHL	WATER METER BOX	OWHL
OWHL	WOOD POLE	OWHL
OWHL	WOOD POWER POLE	OWHL
OWHL	WOOD POWER POLE WITH STREET LIGHT	OWHL
OWHL	WOOD SHED	OWHL
OWHL	WATER VALVE BOX	OWHL
OWHL	PAINTED CROSSWALK	OWHL
OWHL	PAINTED UTILITY MARKER	OWHL
OWHL	0.5"	OWHL
OWHL	TREE TRUNK DIAMETER	OWHL
OWHL	DECIDUOUS TREE	OWHL
OWHL	SMALL DECIDUOUS TREE	OWHL
OWHL	SMALL GROUP OF TREES	OWHL
OWHL	SMALL SHRUB	OWHL
OWHL	SHRUB	OWHL
OWHL	LANDSCAPING BOULDER	OWHL
OWHL	TREE STUMP	OWHL
OWHL	HANDICAPPED PARKING SPACE	OWHL

**SURVEY NOTE:**  
THIS IS PLAN IS BASED UPON A PRELIMINARY PROPERTY INVESTIGATION  
CONDUCTED BY HIGH MESA CONSULTING GROUP (NMPS 11184), OCTOBER  
2006. A TOPOGRAPHIC AND UTILITY SURVEY CONDUCTED BY HIGH MESA  
CONSULTING GROUP (NMPS 11184), DATED 11-7-2013. SCHOOL  
IMPROVEMENTS ENCROACH ONTO PROPERTIES NOT OWNED BY APS AND PUBLIC  
UTILITY, ROADWAY AND RELATED IMPROVEMENTS ENCROACH ONTO APS OWNED  
PROPERTIES AND GRAPHICALLY DEPICTED BY [Symbol]

**HIGH MESA Consulting Group**  
6010-B MIDWAY PARK BLVD. NE • ALBUQUERQUE, NEW MEXICO 87109  
PHONE: 505.345.4250 • FAX: 505.345.4254 • www.highmesacg.com

**OVERALL PLAN (FOR ORIENTATION ONLY)**  
**PORTABLE CLASSROOM RELOCATIONS**  
**REGINALD CHAVEZ ELEMENTARY SCHOOL**  
**2700 MOUNTAIN ROAD N.W.**

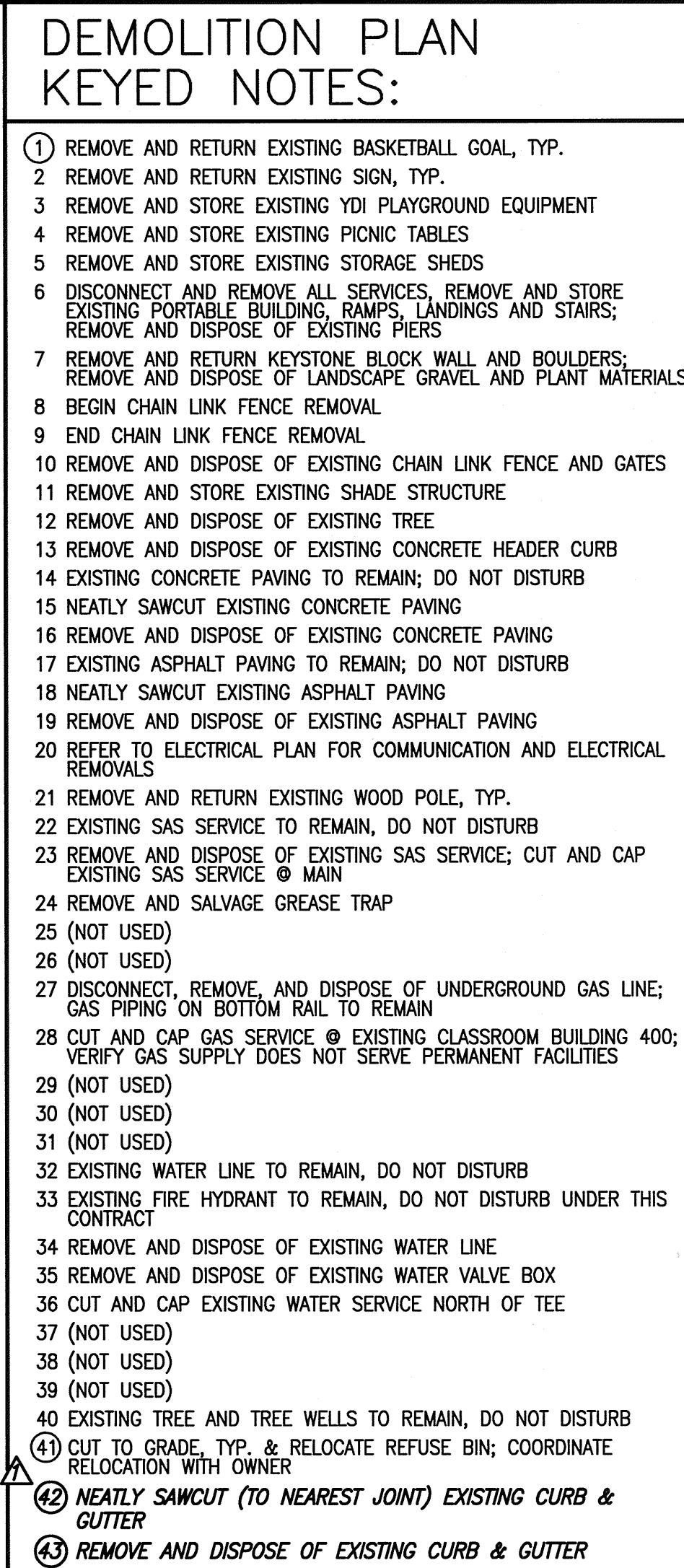
**RECORD DRAWING**







DESIGNED BY	J.G.M.	NO.	DATE	BY	REVISIONS	JOB NO.
			10/14	JGM	ADD FIRE TRUCK ACCESS AND POND	2013.184.8
DRAWN BY	J.Y.R.		04/15	JGM	RECORD DRAWING	DATE
APPROVED BY	J.G.M.					07-2014
						SHEET
						2
						OF
						1

File Path: P:\DATA\2013\184\184\RA\ Plot Date: 05-27-2015  
File Name: 131848\_S12-R4.DWG Plot Time: 09:22 am

10-23-2014  
JEFFREY G. MORTENSEN  
05-29-2015  
08-04-2014





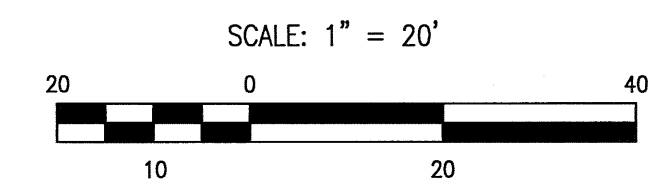
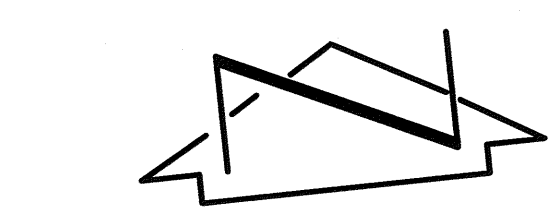
LEGEND			
4SQ	PAINTED FOUR SQUARE	OHE(1)	OVERHEAD ELECTRIC (# OF LINES)
AR	ASPHALT RAMP	OHW	OVERHEAD UTILITY MAST
ASPH	ASPHALT RUNDOWN	OHM	OVERHEAD WALK
ASPHD	ASPHALT	OHWH	OVERHEAD WATER LINE
ASV	ANTI-SIPHON VALVE	PB	CONCRETE WHEEL STOP
BBG	BASKETBALL GOAL	PE	PLAYGROUND EQUIPMENT
BCH	BUILDING OVERHANG	PM	PAINT MARK
BR	BICYCLE RACK	PS	PAINTED PARKING STRIPE
CB	ATHLETIC BACKSTOP	PVC	PICNIC TABLE
C&G	CURB AND GUTTER	PT	POLYVINYL CHLORIDE PIPE
C/PM	COMMUNICATION LINE BY PAINT MARK	RCP	REINFORCED CONCRETE PIPE
CCAB	COMMUNICATION CABINET	RD	ROAD
CMND	COMMUNICATION CONDUIT	RD/UG	ROOT DRAIN TO UNDERGROUND
CND	CONCRETE CONTAINMENT WALL	RE	REFUSE ENCLOSURE
CDP	CONCRETE DRIVE PAD	ROW	ROW OF CONCRETE WHEEL STOPS
CF	LANDSCAPING CRUSHER FINES	RR	RIP-RAP
CHC	CONCRETE HEADER CURB	RRT	LANDSCAPING RAILROAD TIES
CHW	CONCRETE HEAD WALL	SAS	SANITARY SEWER
CH	CURB IRON PIPE	SAS/PM	SANITARY SEWER LINE BY PAINT MARK
CLD	CENTERLINE DOOR	SB	PAINTED STOP BAR
CLDD	CENTERLINE DOUBLE DOOR	SC	STEEL COVER
CLF	CHAIN LINK FENCE	SD	STORM DRAIN
CMR	CONCRETE RISER	SD/DF	STORM DRAIN/FRENCH DRAIN
CMU	CONCRETE BLOCK WALL	SD/PM	STORM DRAIN LINE BY PAINT MARK
CND	ELECTRIC CONDUIT	SDI	STORM DRAIN INLET
CNC	CLEANOUT	SDP	SERVICE DROP POLE
CORC	CONCRETE CURB OPENING	SG	ELECTRIC SWITCH GEAR
CPB	CONCRETE PULLBOX	SGP	STEEL GUARD POST
CPN	COMMUNICATION PANEL	SIG	TRAFFIC SIGNAL (FLASHING BEACONS)
CPM	COMMUNICATION POLE	STD	STANDARD
CPW	CONCRETE PLANTER WALL	STW	STUCCO WALL
CR	CONCRETE RAMP	SW	CONCRETE SIDEWALK
CRS	BUILDING CRAWL SPACE	SWC	SIDEWALK CULVERT
CRW	CONCRETE RETAINING WALL	SWT	PAINTED SOLID WHITE STRIPE
CS	CONCRETE STEPS	TC	TOP OF ASPHALT
CSP	CONCRETE SPLASH PAD	TCO	TOP OF CURB
CSW	CONCRETE SIDEWALK	TCOW	TOP OF CONCRETE
CVC	COVERED CONCRETE	TD	TOP OF GRATE
CW	CONCRETE WALL	TDW	CONCRETE TURNDOWN SIDEWALK
DCB	DOUBLE CLEANOUT	TRN	ELECTRIC TRANSFORMER
DGP	DOUBLE PIPE GATE	TRN	TRAFFIC SIGN
DUMP	CONCRETE DUMPSTER PAD	TYP	TOP OF WALL
DYS	PAINTED DOUBLE YELLOW STRIPE	TYP	TYPICAL
E/PM	ELECTRIC LINE BY PAINT MARK	VCP	VITRIFIED CLAY PIPE
E/UNK	ELECTRIC LINE BY UNKNOWN SOURCE PAINT MARK	VCP	CONCRETE VALLEY GUTTER
EA	EDGE OF ASPHALT	V/P	VENT PIPE
ECAB	ELECTRIC CABINET	W/PM	WATER LINE BY PAINT MARK
EM	ELECTRIC METER	WCR	CONCRETE WHEELCHAIR RAMP
EO	ELECTRIC OUTLET	WFT	DRINKING FOUNTAIN
EP	ELECTRIC PANEL	WH	WATER HOT BOX
EPB	ELECTRIC PULLBOX	WL	WATER LINE
FB	FIRE HYDRANT	WL/FRD	WATER LINE FROM RECORD DRAWING
FL	FLOWLINE	WL/UNK	WATER LINE PAINT MARK FROM UNKNOWN SOURCE
FP	FLAG POLE	WMB	WATER METER BOX
FRD	FROM RECORD DRAWING	WP	WOOD POLE
C/PM	C/PM PAINT MARK	WPP	WOOD POWER POLE
GM	GAS METER	WPP/SL	WOOD POWER POLE WITH STREET LIGHT
GP	GUARD POST	WS	WOOD SHED
GRM	GRADED RAMP	WV	WATER VALVE BOX
GRT	GREASE TRAP	XW	PAINTED CROSSWALK
GS	GAS SERVICE	*	PAINTED UTILITY MARKER
GT	GATE		
GTS	GATE STOP POST		
HCP	HANDICAPPED PARKING SIGN	0.5'Ø	TREE TRUNK DIAMETER
HOP	PAINTED HOPSCOTCH		DECIDUOUS TREE
HW	HOT WATER LINE		SMALL DECIDUOUS TREE
HWR	HOT WATER RETURN LINE		SMALL SHRUB
ICV	IRRIGATION CONTROL TIMER		SHRUB
IBV	IRRIGATION VALVE BOX		TREE STUMP
KSW	KEYSTONE BLOCK WALL		HANDICAPPED PARKING SPACE
LSD	PLASTIC LANDSCAPE DIVIDER		
MBC	METAL BUILDING COLUMN		
MC	METER CAN WITH LINE		
MC/V	METER CAN WITH VALVE		
MH	MANHOLE		
MHR	METAL HAND RAIL		
MLN	METAL LANDING		
MLP	METAL LIGHT POLE ON CONCRETE BASE		
MNT	MOUNTABLE		
MR	METAL RAMP		
MS	METAL STEPS		
MTC	METAL TRASH CAN		
MTS	METAL STEPS		
OHC(1)	OVERHEAD COMMUNICATION (# OF LINES)		

**NOTES:**

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1. EXISTING PLAYGROUND EQUIPMENT MUST BE AUDITED AND EVALUATED BY APS PLAYGROUND OVERSIGHT.
2. ALL PLAYGROUND EQUIPMENT SUITABLE FOR REMOVAL AND RE-INSTALLATION TO BE REMOVED BY APS APPROVED CERTIFIED PLAYGROUND EQUIPMENT INSTALLER
3. ALL PLAYGROUND EQUIPMENT NOT SUITABLE FOR REMOVAL AND RE-INSTALLATION SHALL BE REMOVED AND DISPOSED OF BY CONTRACTOR

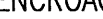
RECORD DRAWING



05-29-2015  
09-16-2014



JEFFREY G. MONTANSEN  
REGISTERED PROFESSIONAL ENGINEER  
NEW MEXICO  
8547

00-04-2014

**DESIGN SURVEY NOTE:**  
THIS IS NOT A BOUNDARY SURVEY; DATA IS SHOWN FOR ORIENTATION ONLY. THE BOUNDARY INFORMATION DEPICTED BY THIS PLAN IS BASED UPON A PRELIMINARY PROPERTY INVESTIGATION CONDUCTED BY HIGH MESA CONSULTING GROUP (NMP5 11184), OCTOBER 2006. A TOPOGRAPHIC AND UTILITY SURVEY CONDUCTED BY HIGH MESA CONSULTING GROUP (NMP5 11184), DATED 11-7-2013, SCHOOL IMPROVEMENTS ENCROACH ONTO PROPERTIES NOT OWNED BY APS AND PUBLIC UTILITY, ROADWAY AND RELATED IMPROVEMENTS ENCROACH ONTO APS OWNED PROPERTIES AND GRAPHICALLY DEPICTED BY 

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PHONE: 505.345.4250 • FAX: 505.345.4254 • [www.highmesacg.com](http://www.highmesacg.com)

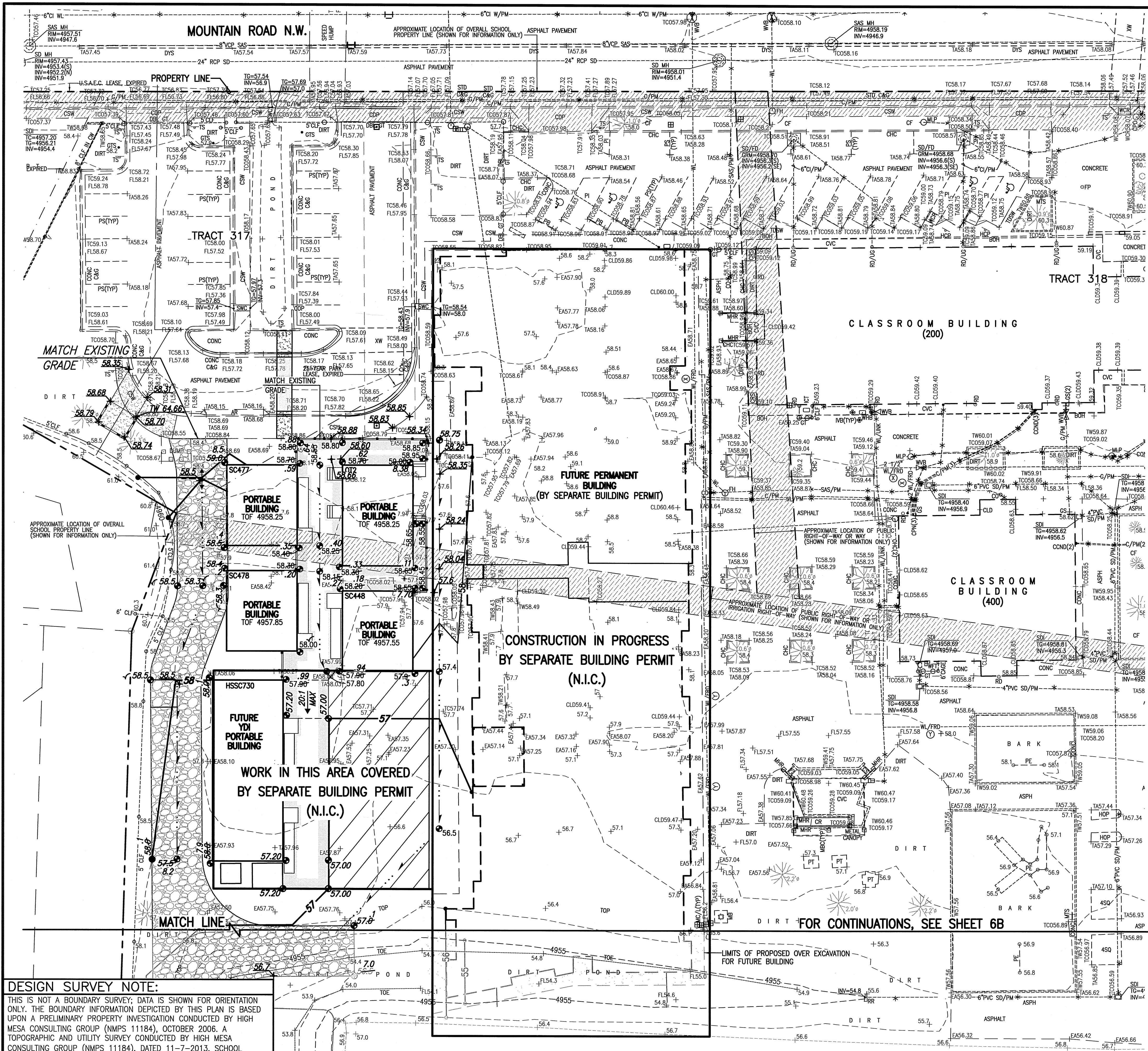
**DEMOLITION PLAN  
PORTABLE CLASSROOM RELOCATIONS  
REGINALD CHAVEZ ELEMENTARY SCHOOL  
2700 MOUNTAIN ROAD N.W.**

DESIGNED BY	J.G.M.	NO.	DATE	BY	REVISIONS	JOB NO.	2013.184.8
			9/14	J.G.M.	REVISE LIMITS FOR NEW GAS SERVICE	DATE	07-2014
DRAWN BY	J.Y.R.		04/15	JGM	RECORD DRAWING	SHEET	3 OF 14
APPROVED BY	J.G.M.						









CONSTRUCTION NOTES:

1. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM, 811 FOR DESIGNATION (LINE-SPOTTING) OF EXISTING PUBLIC UTILITIES AND EXISTING UTILITIES OWNED AND OPERATED BY ALBUQUERQUE PUBLIC SCHOOLS.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INTERPRETATIONS IT MAKES WITHOUT FIRST CONTACTING THE ENGINEER AS REQUIRED ABOVE.
3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
4. ALL CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.
5. IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS CONDUCTED ONLY A PRELIMINARY INVESTIGATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THIS INVESTIGATION IS NOT CONCLUSIVE, AND MAY NOT BE COMPLETE, THEREFORE, MAKES NO REPRESENTATION, HEREIN, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.

DESIGN GRADING LEGEND:

INV	INVERT
TA	TOP OF ASPHALT PAVEMENT
TC	TOP OF CURB
TG	TOP OF GRATE
+ 58.59	EXISTING SPOT ELEVATION
57.20	PROPOSED SPOT ELEVATION
---	EXISTING FLOWLINE
---	PROPOSED FLOWLINE
-4955-	EXISTING CONTOUR
55	PROPOSED CONTOUR
---	EXISTING DIRECTION OF FLOW
---	PROPOSED DIRECTION OF FLOW
---	RIGHT OF WAY LINE
---	PUBLIC EASEMENT LINE
---	HIGH POINT / DIVIDE
---	PROPOSED CONCRETE
---	PROPOSED ASPHALT PAVING

RECORD DRAWING LEGEND

CONSTRUCT	RECORD INFORMATION (VERIFIED BY ENGINEER)
✓	AS-CONSTRUCTED = AS-DESIGNED (VERIFIED BY ENGINEER)
3/8" 42"	RECORD INFORMATION (VERIFIED BY ENGINEER)
+25.2	RECORD INFORMATION (VERIFIED BY ENGINEER)
28.98/92	RECORD INFORMATION (VERIFIED BY ENGINEER)
✓	AS-CONSTRUCTED = AS-DESIGNED (VERIFIED BY AS-BUILT SURVEY)
21.8	RECORD INFORMATION FROM AS-BUILT SURVEY
+26.9	RECORD INFORMATION FROM AS-BUILT SURVEY
31.25/22	RECORD INFORMATION FROM AS-BUILT SURVEY

RECORD DRAWING  
FOR CERTIFICATIONS, SEE SHEETS 1 AND 7

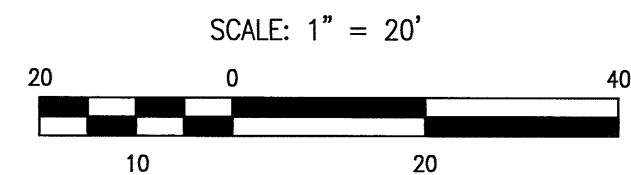
DESIGN SURVEY NOTE:

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GRADING PLAN - NORTH  
PORTABLE CLASSROOM RELOCATIONS  
REGINALD CHAVEZ ELEMENTARY SCHOOL  
2700 MOUNTAIN ROAD N.W.



DESIGNED BY	NO.	DATE	BY	REVISIONS	JOB NO.
J.G.M.	10/14	10/14	J.G.M.	ADD FIRE TRUCK ACCESS	2013.184.8
J.Y.R.	04/15	04/15	J.G.M.	RECORD DRAWING AND CERTIFICATION	DATE 07-2014
J.G.M.					SHEET 64 OF 14



CONSTRUCTION NOTES:

1. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM 260-1990 FOR DESIGNATION (LINE-SPOTTING) OF EXISTING PUBLIC UTILITIES AND EXISTING UTILITIES OWNED AND OPERATED BY ALBUQUERQUE PUBLIC SCHOOLS.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INTERPRETATIONS IT MAKES WITHOUT FIRST CONTACTING THE ENGINEER AS REQUIRED ABOVE.
3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
4. ALL CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.
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6. THE DESIGN OF PLANTERS AND LANDSCAPED AREAS IS NOT PART OF THIS PLAN. ALL PLANTERS AND LANDSCAPED AREAS ADJACENT TO THE BUILDING(S) SHALL BE PROVIDED WITH POSITIVE DRAINAGE TO AVOID ANY PONDING ADJACENT TO THE STRUCTURE. FOR CONSTRUCTION DETAILS, REFER TO LANDSCAPING PLAN.

EROSION CONTROL MEASURES:

1. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY.
2. THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
3. WHEN APPLICABLE, CONTRACTOR SHALL SECURE "TOPSOIL DISTURBANCE PERMIT" FROM THE CITY AND/OR FILE A NOTICE OF INTENT (N.O.I.) WITH THE EPA PRIOR TO BEGINNING CONSTRUCTION.

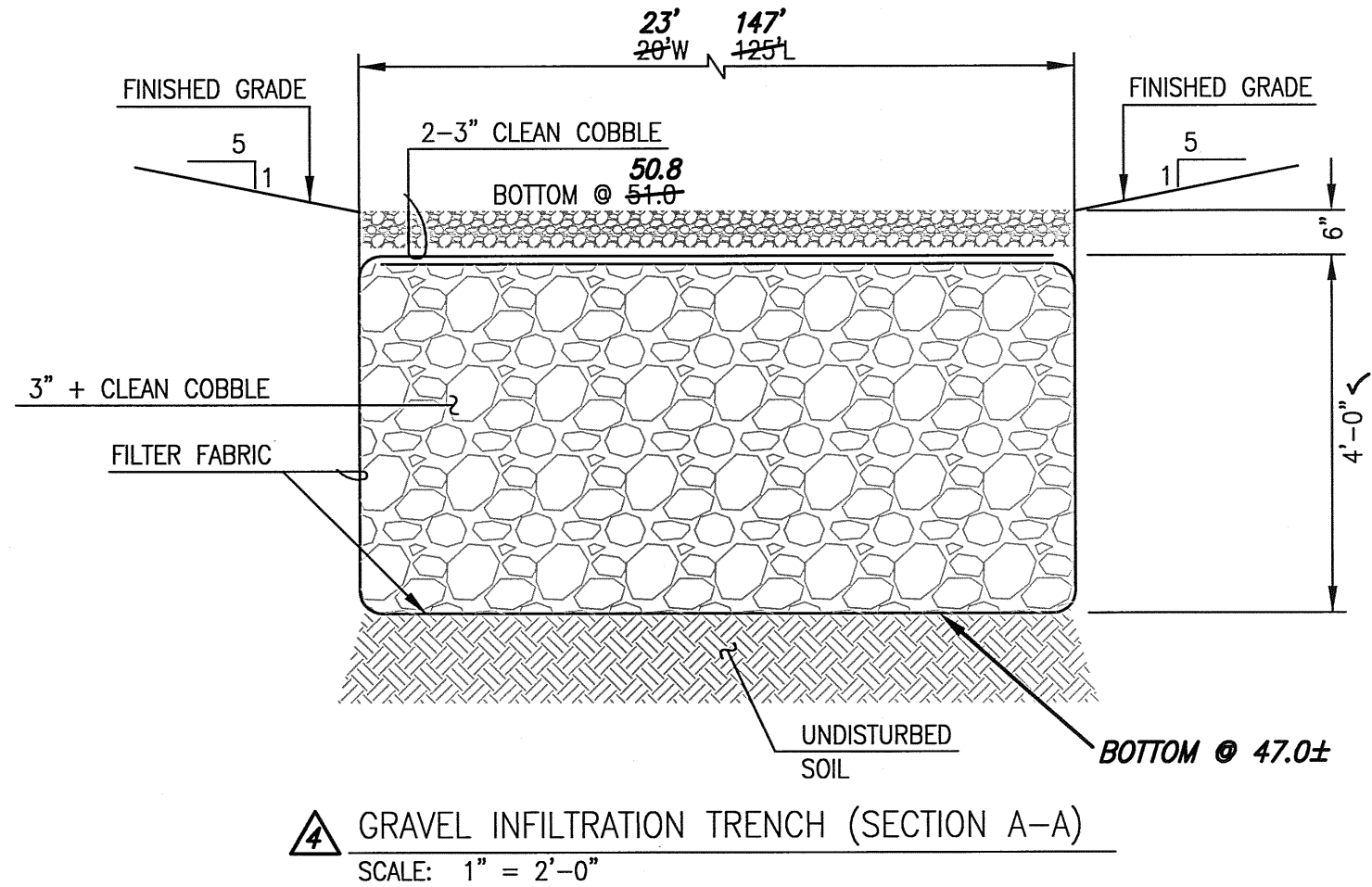
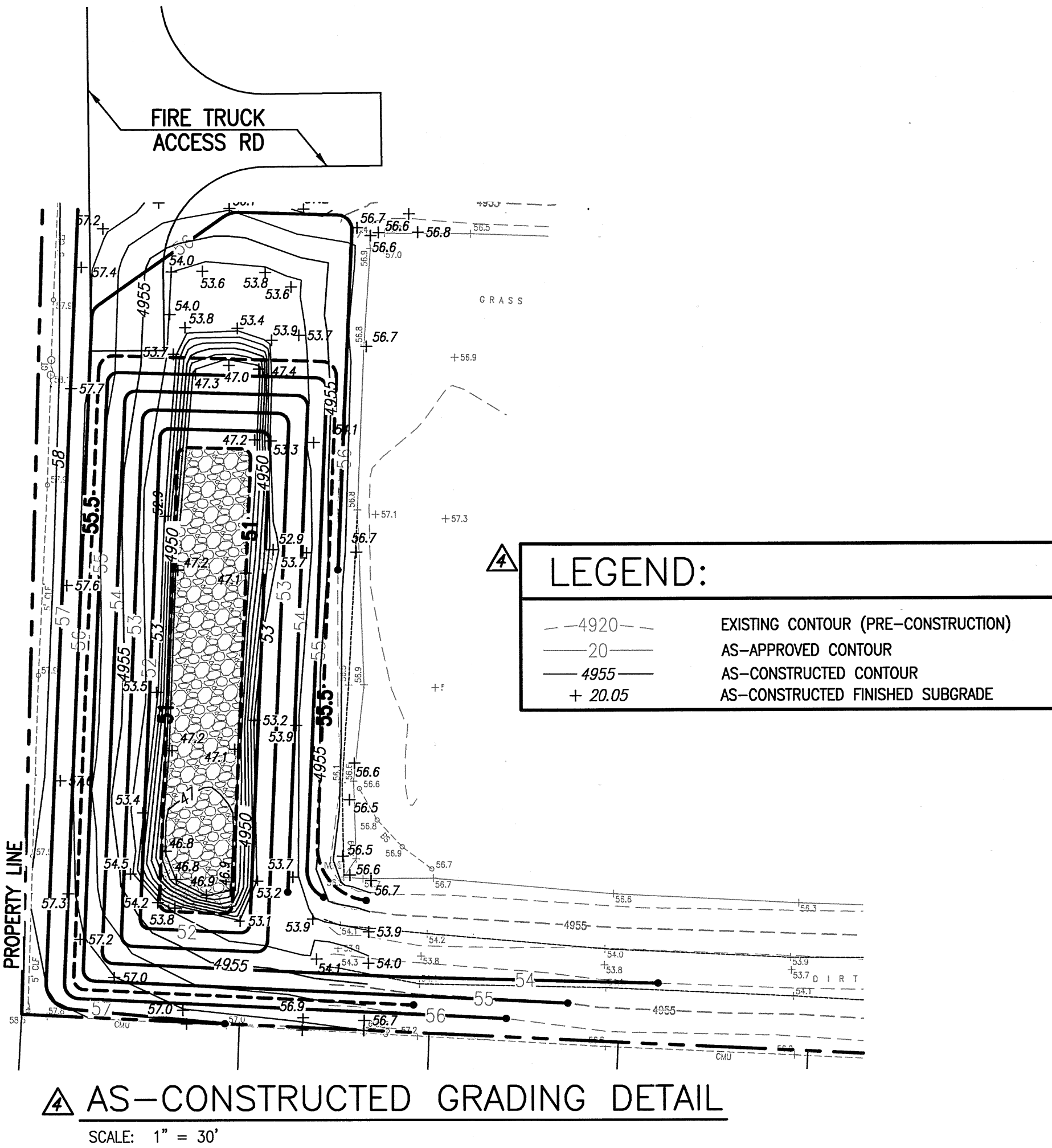
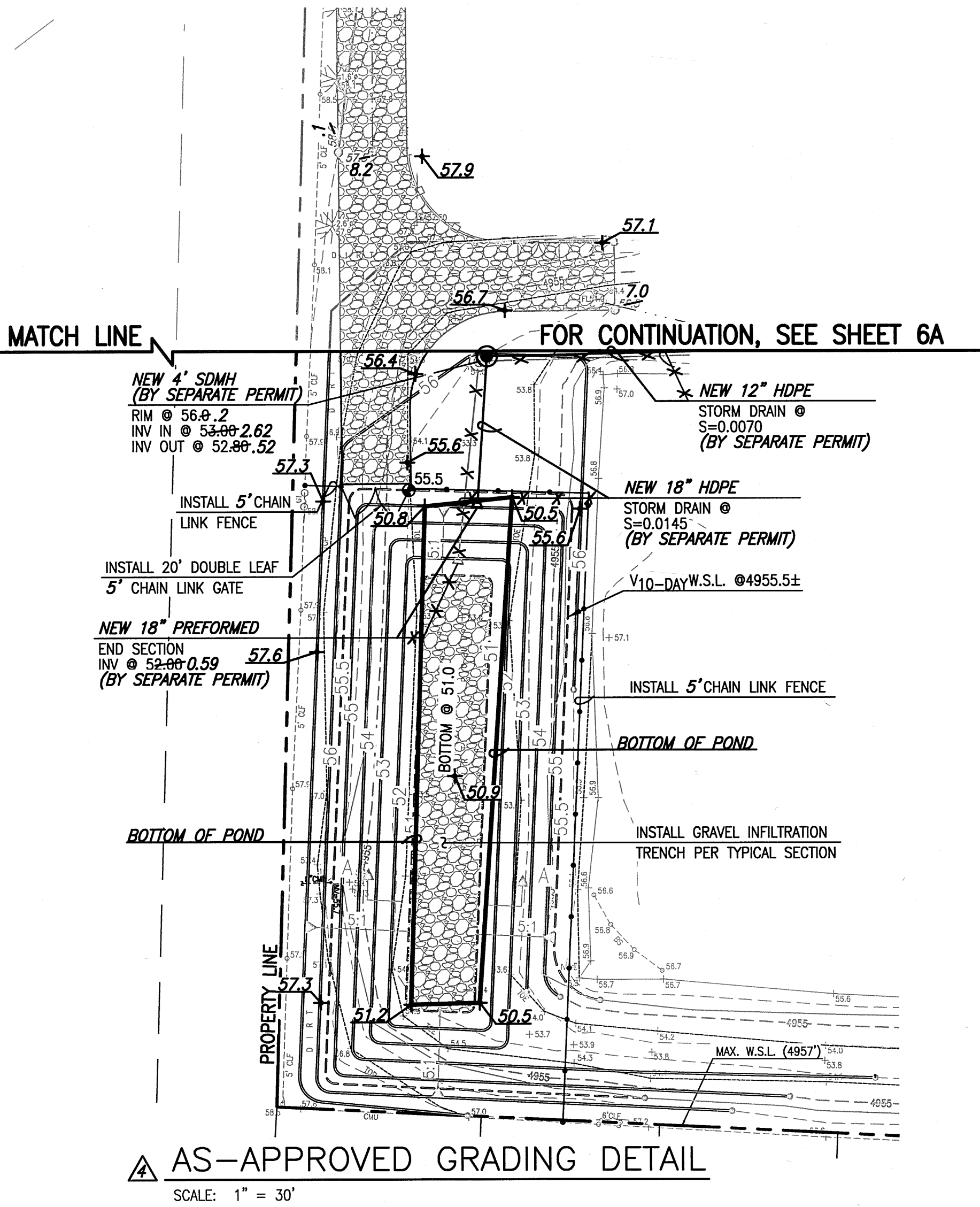
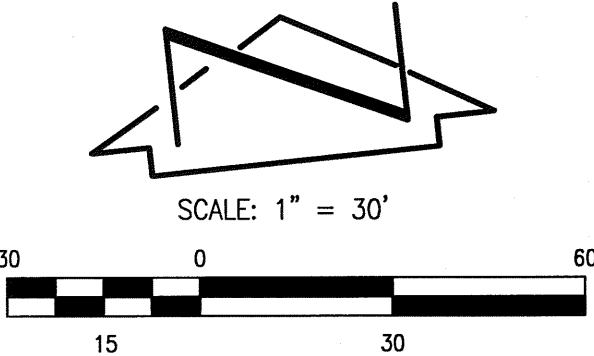
DESIGN GRADING LEGEND:

INV	INVERT
TA	TOP OF ASPHALT PAVEMENT
TC	TOP OF CURB
TG	TOP OF GRATE
+ 20.05	EXISTING SPOT ELEVATION
14.00	PROPOSED SPOT ELEVATION
...	EXISTING FLOWLINE
...	PROPOSED FLOWLINE
...	EXISTING CONTOUR
...	PROPOSED CONTOUR
...	EXISTING DIRECTION OF FLOW
...	PROPOSED DIRECTION OF FLOW
...	RIGHT OF WAY LINE
...	EXISTING BASIN BOUNDARY
...	HIGH POINT / DIVIDE
...	PROPOSED CONCRETE
...	PROPOSED ASPHALT PAVING

CONSTRUCT	RECORD INFORMATION (VERIFIED BY ENGINEER)
✓	AS-CONSTRUCTED = AS-DESIGNED (VERIFIED BY ENGINEER)
38' 42"	RECORD INFORMATION (VERIFIED BY ENGINEER)
+25.2	RECORD INFORMATION (VERIFIED BY ENGINEER)
28.98.92	RECORD INFORMATION (VERIFIED BY ENGINEER)
✓	AS-CONSTRUCTED = AS-DESIGNED (VERIFIED BY AS-BUILT SURVEY)
31.8	RECORD INFORMATION FROM AS-BUILT SURVEY
+26.9	RECORD INFORMATION FROM AS-BUILT SURVEY
31.25.22	RECORD INFORMATION FROM AS-BUILT SURVEY

FIRE TRUCK ACCESS SECTION

SCALE: 1" = 0' - 6"



SURVEY NOTE:

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NOTE: THE DETAIL ABOVE DOCUMENTS ROUGH GRADING OF POND AND GRAVEL INFILTRATION TRENCH AS OF 12-21-2014.

RECORD DRAWING  
FOR CERTIFICATIONS, SEE SHEETS 1 AND 7

**HIGH MESA Consulting Group**

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**GRADING PLAN - SOUTH**  
**PORTABLE CLASSROOM RELOCATIONS**  
**REGINALD CHAVEZ ELEMENTARY SCHOOL**  
**2700 MOUNTAIN ROAD N.W.**

		NO.	DATE	BY	REVISIONS	JOB NO.
DESIGNED BY	J.G.M.		10/14	JGM	ADD THIS SHEET	2013.184.8
DRAWN BY	J.Y.R.		04/15	JGM	RECORD DRAWING AND CERTIFICATION	DATE 07-2014
APPROVED BY	J.G.M.					SHEET  6B OF 14





**I. INTRODUCTION AND EXECUTIVE SUMMARY**

THIS PROJECT, LOCATED WITHIN THE OLD TOWN AREA OF ALBUQUERQUE, REPRESENTS A MODIFICATION TO AN EXISTING APS ELEMENTARY SCHOOL SITE WITHIN AN INFILL AREA. THE PROPOSED DEVELOPMENT CONSISTS OF THE RELOCATION OF EXISTING PORTABLE CLASSROOM BUILDINGS TO ACCOMMODATE THE CONSTRUCTION OF A NEW PERMANENT CLASSROOM BUILDING ON THE SITE. THE EXISTING PORTABLE CLASSROOM BUILDINGS WILL BE LOCATED WITHIN BASIN B, AS DEFINED BY THE APPROVED MASTER DRAINAGE PLAN (MDP) FOR THE REGINALD CHAVEZ ELEMENTARY SCHOOL SITE. THE RELOCATED PORTABLE BUILDINGS WILL BE TEMPORARY IN NATURE, TO BE REMOVED UPON OCCUPATION OF THE NEW PERMANENT CLASSROOM BUILDING.

THE DRAINAGE CONTROL PLAN FOR THIS PROJECT WILL BE CONSISTENT WITH THE APPROVED MASTER DRAINAGE PLAN (N12/0008) DATED 09-29-2007 WHEREBY RUNOFF FROM BASIN B WILL CONTINUE TO DRAIN TO THE EXISTING ONSITE PRIVATE RETENTION POND.

THIS SUBMITTAL IS MADE IN SUPPORT OF BUILDING PERMIT APPROVAL WITHIN THE JURISDICTION OF THE CITY OF ALBUQUERQUE.

AS SHOWN BY THE VICINITY MAP, THE SCHOOL SITE IS LOCATED AT THE SOUTHWEST CORNER OF THE INTERSECTION OF MOUNTAIN AND MONTAYA ROADS NW. THE SITE IS DEVELOPED AS AN APS ELEMENTARY SCHOOL. THE SURROUNDING AREA IS ALSO DEVELOPED, MAINLY SINGLE FAMILY RESIDENTIAL. THIS IS A TEMPORARY MODIFICATION TO AN EXISTING SITE WITHIN AN INFILL AREA. THE CURRENT LEGAL DESCRIPTION IS UNPLATTED LANDS OF THE ALBUQUERQUE PUBLIC SCHOOLS KNOWN AS REGINALD CHAVEZ ELEMENTARY SCHOOL. AS SHOWN BY PANEL 531 OF 525 OF THE NATIONAL FLOOD INSURANCE FLOOD DAMAGE PREVENTION MAP, THE SITE IS FURNISHED BY FEDERAL BERNALDO COUNTY, NEW MEXICO, REVISED AUGUST 16, 2012. THIS SITE DOES NOT LIE WITHIN A DESIGNATED FLOOD HAZARD ZONE. FURTHER REVIEW OF THESE MAPS INDICATES THAT THIS SITE DOES NOT CONTRIBUTE RUNOFF TO A DOWNSTREAM DESIGNATED FLOOD HAZARD ZONE. THE PANEL 531 OF 525 OF THE NATIONAL FLOOD INSURANCE CHANCE OR GREATER FLOOD HAZARD BY A LEVEE SYSTEM OVERTOPPING OR FAILURE OF A LEVEE SYSTEM IS POSSIBLE."

1. THE PREPARATION OF THIS PLAN RELIED UPON THE FOLLOWING DOCUMENTS AND ACTIVITIES:
  1. PREDESIGN CONFERENCE RECAP DATED 03-04-2014 CONDUCTED WITH HIGH MESA CONSULTING GROUP. THE RECAP ALLOWED FOR THE CONTINUATION OF FREE DISCHARGE OF DEVELOPED RUNOFF FROM BASIN 'A' TO THE PUBLIC RIGHT-OF-WAY AND MODIFICATIONS TO THE BASIN 'B' POND SHALL MAINTAIN EXISTING VOLUME (V<sub>1</sub>—10 DAY) PLUS ANY INCREASE IN RUNOFF ASSOCIATED WITH THE PROPOSED PERMANENT BUILDING IMPROVEMENTS.
  2. TOPOGRAPHIC SURVEY PREPARED BY HIGH MESA CONSULTING GROUP (NMP5 11184) DATED 11-07-2013. THIS REFERENCED SURVEY PROVIDES THE BASIS FOR THE EXISTING CONDITIONS OF THE PROJECT SITE.
  3. MASTER DRAINAGE PLAN FOR REGINALD CHAVEZ ELEMENTARY SCHOOL PREPARED BY HIGH MESA CONSULTING GROUP (NMP5 8547) DATED 09-28-2007. THE MDP ESTABLISHED THE CONCEPT OF FREE DISCHARGE FROM BASIN 'A' TO THE ADJACENT CITY STREETS COMBINED WITH THE ONSITE RETENTION OF RUNOFF FOR BASIN 'B'.
  4. MASTER DRAINAGE PLAN FOR REGINALD CHAVEZ ELEMENTARY SCHOOL PREPARED BY HIGH MESA CONSULTING GROUP (NMP5 8547) DATED 09-28-2007; CONSTRUCTION OF DRAINAGE IMPROVEMENTS (TASKS 1 TO 4). CONSTRUCTION CONSISTED OF PLAYGROUND IMPROVEMENTS, COURTYARD AND DRAINAGE IMPROVEMENTS, AND A PARENT DROP-OFF AND VISITOR PARKING LOT. THE REMAINING PORTABLE DRAINAGE IMPROVEMENT (TASK 3) WAS NOT CONSTRUCTED; HOWEVER, THIS WILL NO LONGER BE NECESSARY IN VIEW OF THE PROPOSED PERMANENT CLASSROOM BUILDING. THERE ARE NO OUTSTANDING DRAINAGE REQUIREMENTS ASSOCIATED WITH THIS SITE.

THIS SITE IS DEVELOPED AS AN ELEMENTARY SCHOOL OWNED, OPERATED, AND MAINTAINED BY A.P.S. THE SCHOOL SITE CONSISTS OF PERMANENT AND PORTABLE CLASSROOM BUILDINGS, PAVED PARKING AREAS AND WALKWAYS, LANDSCAPING, TURF GRASS FIELD AND OTHER SITE IMPROVEMENTS APPLICABLE TO AN ELEMENTARY SCHOOL. THE SITE IS SERVED BY TWO DRAINAGE BASINS, BASIN A AND B. BASIN A DRAINS NORTH TO MOUNTAIN ROAD NW AND EAST TO MONTAJO ROAD NW WHILE BASIN B DRAINS SOUTH AND WEST TO AN ONSITE PRIVATE RETENTION POND AT THE SOUTHWEST CORNER OF THE SITE.

- BASIN A GENERALLY CONSISTS OF THE NORTH PORTION OF THE MAIN OFFICE AND CLASSROOM BUILDING (NO. 100 & 200), NORTHWEST AND NORTHEAST PAVED PARKING LOTS, PAVED BASIN DROPPED IN THE NORTH AREA OF THE SITE. THE RUNOFF GENERATED BY THIS BASIN FREELY DISCHARGES NORTH TO MOUNTAIN ROAD NW AND EAST TO MONTAJO ROAD NW, BOTH FULLY DEVELOPED PUBLIC STREETS WITH CURB AND GUTTER AND PERMANENT PAVING. MOUNTAIN ROAD NW DRAINS TO THE EAST AND WEST DUE TO AN EXISTING HIGHPOINT IN THE STREET PROFILE. MOUNTAIN ROAD NW IS SERVED BY A PUBLIC STORM DRAIN SYSTEM THAT STORM RUNOFF COLLECTED VIA CURB INLETS. MONTAJO ROAD NW DRAINS TO THE NORTH, WHERE RUNOFF IS ALSO COLLECTED VIA CURB INLETS INTO THE PUBLIC STORM DRAIN SYSTEM.
- BASIN B IS COMPRISED OF THE CENTRAL AND SOUTH HALF OF THE SITE CONSISTING OF THE SOUTH PORTION OF THE MAIN OFFICE AND CLASSROOM BUILDINGS (NO. 200, 300, & 400), ALL PORTABLE BUILDINGS, PAVED WALKWAYS, LANDSCAPING, PLAY AREAS, BARE SOIL PLAY AREA AND A TURF GRASS FIELD. THE SOUTH HALF OF THE SITE DRAINS FROM THIS PORTION OF THE SITE GENERALLY DRAINS TO THE SOUTH AND WEST WHERE RUNOFF IS CAPTURED WITHIN AN EXISTING ONSITE PRIVATE RETENTION POND AT THE SOUTHWEST CORNER OF THE SITE. THE EXISTING POND RETAINS IN EXCESS OF THE V-10 DAY RUNOFF VOLUME. CURRENTLY, THE PORTABLE CLASSROOM BUILDINGS TO BE RELOCATED SOLELY LIE WITHIN THE SOUTH HALF OF BASIN B.

AS ESTABLISHED BY THE 2007 MDP, THERE ARE NEGLIGIBLE OFFSITE FLOWS DISCHARGING ONTO THE SITE FROM THE ADJACENT RESIDENTIAL LOTS TO THE SOUTH AND EAST OF THE SCHOOL SITE.

THE PROPOSED CONSTRUCTION CONSISTS OF THE RELOCATION OF FIVE (5) EXISTING PORTABLE BUILDINGS AT THE NORTHWEST CORNER OF THE REGINALD CHAVEZ SCHOOL SITE. THE TEMPORARY RELOCATION IS NECESSARY TO MOVE THE PORTABLE BUILDINGS FROM THE PERMANENT CLASSROOM BUILDING FOOTPRINT. ONE (1) PORTABLE BUILDING, YDI, WILL REMAIN FOLLOWING THE COMPLETION OF THE PERMANENT CLASSROOM BUILDING CONSTRUCTION. THE OTHERS WILL BE RELOCATED OFFSITE. THE PROPOSED PHASING IS AS FOLLOWS:

- RELOCATE PORTABLE CLASSROOM BUILDINGS
- CONSTRUCT PERMANENT CLASSROOM BUILDING
- OCCUPY PERMANENT CLASSROOM BUILDING
- REMOVE PORTABLE BUILDINGS, EXCEPT YDI
- CONSTRUCT PLAYGROUND WITHIN TEMPORARY PORTABLE CLASSROOM BUILDING SITE

THE PROPOSED DEVELOPMENTS WILL CONSIST OF MINIMAL PAVING IMPROVEMENTS. AS A RESULT, RUNOFF GENERATED BY THESE INTERIM IMPROVEMENTS WILL NOT RESULT IN A SIGNIFICANT CHANGE IN THE AMOUNT OF RUNOFF GENERATED WITHIN BASIN B AND DRAINING TO THE ONSITE PRIVATE RETENTION POND. BASIN A IS UNAFFECTED BY THIS PROJECT.

THE NEGLIGIBLE OFFSITE FLOWS ENTERING THE SITE FROM THE ADJACENT RESIDENTIAL PROPERTIES WILL NOT BE BLOCKED AND WILL CONTINUE TO BE ACCEPTED AND CONVEYED  
THE NEGLIGIBLE OFFSITE FLOWS ENTERING THE SITE FROM THE ADJACENT RESIDENTIAL PROPERTIES WILL NOT BE BLOCKED AND WILL CONTINUE TO BE ACCEPTED AND CONVEYED  
THROUGH THE SITE AS IN THE EXISTING CONDITION.

THE GRADING PLAN SHOWS THE 1.) EXISTING AND PROPOSED GRADES INDICATED BY SPOT ELEVATIONS AND CONTOURS AT 1'-0" INTERVALS, 2.) THE LIMIT OF THE EXISTING AND PROPOSED IMPROVEMENTS, AND 3.) CONTINUITY BETWEEN EXISTING AND PROPOSED GRADES. AS SHOWN BY THIS PLAN, GRADING TO SERVE THESE TEMPORARY PORTABLE BUILDINGS, WHICH SOLELY LIE WITHIN BASIN B, WILL MIMIC THE EXISTING GRADING PLAN AS ESTABLISHED BY THE MASTER DRAINAGE PLAN, DATED 09-28-2007. THE DEVELOPED RUNOFF FOR THESE TEMPORARY FACILITIES WILL CONTINUE TO DRAIN TO AND BE CONTAINED WITHIN THE EXISTING ONSITE PRIVATE RETENTION POND AT THE SOUTHWEST CORNER OF THE SITE.

DURING THE RELOCATION OF THE PORTABLE CLASSROOM BUILDINGS, BEST MANAGEMENT PRACTICES (BMPs) WILL BE IMPLEMENTED AND MAINTAINED. PERIMETER BMPs WILL BE INSTALLED AT THE LIMITS OF THE PORTABLE BUILDING RELOCATION PROJECT. PERIMETER BMPs WILL BE MODIFIED AS NECESSARY TO ACCOMMODATE THE CONSTRUCTION OF THE PERMANENT CLASSROOM BUILDING. PREVENTION OF SEDIMENTATION AND EROSION TO THE PAVING RIGHT OF WAY AND/OR DOWNSTREAM INTO THE EXISTING STORM DRAIN SYSTEM WILL BE ADDRESSED BY A STABILIZED CONSTRUCTION ENTRANCE. IN ADDITION, THE EXISTING ONSITE SEDIMENT DETENTION POND WILL SERVE AS A TEMPORARY SEDIMENT DETENTION BASIN DURING CONSTRUCTION. UPON COMPLETION OF CONSTRUCTION, IT WILL BECOME A PERMANENT BMP FOR BASIN B. THE PERMANENT CLASSROOM BUILDING, UNDER PERIMETER BMPs, WILL BE CONSTRUCTED WITH CURB, GUTTER, CERAMIC AND IMPERVIOUS PAVING, PERMANENT CLASSROOM BUILDING CONSTRUCTION, PLAYGROUND IMPROVEMENTS, AND LANDSCAPING.

**VIII. CALCULATIONS**

CALCULATIONS ARE NOT PROVIDED WITH THIS SUBMITTAL BASED UPON THE TEMPORARY NATURE OF THE PROJECT AND RECOGNIZING THAT ALL REUNOFF GENERATED BY BASIN B WILL CONTINUE TO DRAIN TO AND BE CONTAINED WITHIN THE ONSITE PRIVATE RETENTION POND. CALCULATIONS WILL BE PROVIDED BY SEPARATE DRAINAGE SUBMITTAL FOR BUILDING PERMIT APPROVAL FOR THE PERMANENT BUILDING CONSTRUCTION.

**IX. CONCLUSIONS**

THE FOLLOWING CONCLUSIONS HAVE BEEN ESTABLISHED AS A RESULT OF THE EVALUATIONS CONTAINED HEREIN:

- 1 THE RELOCATED PORTABLE CLASSROOM BUILDINGS AND LIMITED SITE WORK REPRESENT THE MODIFICATION OF AN EXISTING SITE WITHIN AN INFILL AREA.
- 2 THE RELOCATED PORTABLE CLASSROOM BUILDINGS WILL BE TEMPORARY FOR A PERIOD OF ABOUT ONE-YEAR AFTER WHICH THEY WILL BE REMOVED FROM THE SITE.
- 3 A SEPARATE DRAINAGE SUBMITTAL IS REQUIRED FOR THE PERMANENT CLASSROOM BUILDING THAT WILL ALLOW FOR THE REMOVAL OF THE PORTABLE CLASSROOM BUILDINGS FROM THE SITE.
- 4 THE RELOCATED PORTABLE CLASSROOM BUILDINGS WILL LIE ENTIRELY WITHIN EXISTING DRAINAGE BASIN B.
- 5 THE PROPOSED TEMPORARY IMPROVEMENTS WILL NOT ALTER THE EXISTING DRAINAGE PATTERNS OF THE SITE AND HENCE BE CONSISTENT WITH THE APPROVED MASTER DRAINAGE PLAN.
- 6 THE PROPOSED TEMPORARY IMPROVEMENTS WILL NOT ADVERSELY IMPACT DOWNSTREAM PROPERTIES OR DOWNSTREAM DRAINAGE CONDITIONS.
- 7 THIS PROJECT WILL DISTURB GREATER THAN ONE-ACRE THEREFORE WILL REQUIRE AND EROSION AND SEDIMENT CONTROL PERMIT.
- 8 THE PERMANENT CLASSROOM BUILDING AND ASSOCIATED PERMANENT SITE IMPROVEMENTS, A FUTURE PHASE, WILL BE ADDRESSED BY SEPARATE DRAINAGE SUBMITTAL FOR BUILDING PERMIT APPROVAL.
- 9 THE PROPOSED IMPROVEMENTS WILL NOT BLOCK OFFSITE FLOWS.

A. RETENTION POND (AVERAGE END AREA METHOD)			
ELEV	AREA (SF)	VOL (CF)	IVOL (CF)
4951	<del>3380</del> 3380	<del>2,380</del> 2,380	<del>3,380</del> 4015
4952	<del>4140</del> 4650	<del>5,690</del> 5525	<del>8,280</del> 9540
4953	<del>5,020</del> 6400	<del>7,910</del> 8150	<del>16,290</del> 17,690
4954	9,900	13,125	<del>29,415</del> 30,815
4955	16,350	27,825	<del>57,240</del> 58,640
4956	39,300		

$V_{@4956} = 57,240 \text{ CF} \gg V_{10\text{-DAY}} = 46,730 \text{ CF} \therefore \text{OK}$   
**58,640**

**B. FIRST FLUSH (INCREASED IMPERVIOUS AREA)**  
 $E_W = (E_{FF} A_0) / A_D$   
 $E_{FF} = 0.44 \text{ IN}$   
 $A_D = A_0, \text{DEV} = A_D, \text{EXIST} = 2.45 \text{ AC} - 1.90 \text{ AC}$   
 $A_0 = 0.55 \text{ AC} = \text{INCREASE IN IMPERVIOUS AREA}$   
 $E_W = (0.44 \times 0.55) / 0.55 =$   
 $V_{FF} = (E_W / 12) A_T = (0.44 / 12) (0.55) =$   
 $V_{FF} = 880 \text{ CF} < V_{@4956} = 57,240 \text{ CF} \therefore \text{OK}$   
**58,640**

0.0202 AC-FT = 880 CF

I, JEFFREY G. MORTENSEN, NMPE 8547, OF THE FIRM HIGH MESA CONSULTING GROUP, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND DRAINED IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN AND CONSTRUCTION OF THE PROJECT AS SHOWN ON THE PLANS AND NOTES BELOW. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS EITHER BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AS SUPPLEMENTAL SITE DATA COMBINED WITH RECORD INFORMATION OBTAINED FROM THE RECORD INFORMATION PROVIDED BY THE DESIGNER. I HAVE BEEN WORKING UNDER THE DIRECT SUPERVISION OF CHARLES G. CALA, JR., NMPS 11184, OF THE FIRM HIGH MESA CONSULTING GROUP, AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANCY.

THE FOLLOWING EXCEPTIONS ARE NOTED AS THE RESULT OF CAREFUL REVIEW OF AS-BUILT SURVEY DATA:

1. THE STORMWATER RETENTION/SEDIMENT DETENTION POND HAS BEEN GRADED LARGER THAN THE APPROVED DESIGN AND THEREFORE EXCEEDS THE APPROVED DESIGN CAPACITY. NO CORRECTIONS REQUIRED.
2. THE FINISHED GRADING OF THE PAVEMENT PROVIDING ACCESS TO THE RELOCATED APS PORTABLE CLASSROOMS IS NOT IN SUBSTANTIAL COMPLIANCE WITH THE APPROVED GRADES AT VARIOUS LOCATIONS. RECOGNIZING THAT THE PORTABLE CLASSROOMS ARE A TEMPORARY CONDITION, CORRECTION OF THE DEVIATING SPOT ELEVATIONS CAN BE WAIVED WITHOUT COMPROMISING THE DRAINAGE CONCEPT. THE GENERAL CONCEPT OF GRADING AND DRAINAGE HAS BEEN ACHIEVED, BUT NOT THE DETAILED GRADING DEPICTED BY THE APPROVED DESIGN.
3. THE STORM DRAIN INSTALLED UNDER THE BUILDING PERMIT FOR THE PERMANENT BUILDING HAS BEEN INSTALLED TOO LOW AT THE POINT OF OUTFALL AND REQUIRES ADJUSTMENTS IN GRADE PRIOR TO ACCEPTANCE. THIS REQUIRED CORRECTION DOES NOT ADVERSELY IMPACT THE ACCEPTANCE OF THE APS PORTABLE CLASSROOM PROJECT, BUT WILL IMPACT THE ABILITY TO ACCEPT THE PERMANENT CLASSROOM BUILDING PROJECT.
4. THE YDI CLASSROOM AREA, CONSTRUCTED UNDER SEPARATE PERMIT, APPEARS TO HAVE BEEN CONSTRUCTED TOPOGRAPHICALLY HIGHER THAN INTENDED. CORRECTIONS WILL BE REQUIRED TO BE COMPATIBLE WITH THE PERMANENT CLASSROOM BUILDING CONSTRUCTION. REQUIRES ADJUSTMENTS. GRADING IS PENDING REMOVAL AND RELOCATION OF THE EXISTING UTILITIES WITHIN THAT PORTION OF THE PROJECT SITE.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THIS CERTIFICATION DOES NOT ADDRESS ADA COMPLIANCE WHICH IS BEYOND THE SCOPE OF GRADING AND DRAINAGE. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE. SEPARATE CERTIFICATIONS ARE REQUIRED TO SUPPORT A REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANCY FOR THE YDI PORTABLE BUILDING AND THE PERMANENT CLASSROOM BUILDING.

DATE 05-29-2015

DATE \_\_\_\_\_

CONSTRUCT	RECORD INFORMATION (VERIFIED BY ENGINEER)
✓	AS-CONSTRUCTED = AS-DESIGNED (VERIFIED BY ENGINEER)
38° 42"	RECORD INFORMATION (VERIFIED BY ENGINEER)
+25.2	RECORD INFORMATION (VERIFIED BY ENGINEER)
⊕ 28.98±92	RECORD INFORMATION (VERIFIED BY ENGINEER)
✓	AS-CONSTRUCTED = AS-DESIGNED (VERIFIED BY AS-BUILT SURVEY)
31.1±8	RECORD INFORMATION FROM AS-BUILT SURVEY
+26.9	RECORD INFORMATION FROM AS-BUILT SURVEY
⊕ 31.25±22	RECORD INFORMATION FROM AS-BUILT SURVEY

1. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM, 811 FOR DESIGNATION (LINE-SPOTTING) OF EXISTING PUBLIC UTILITIES AND EXISTING UTILITIES OWNED AND OPERATED BY ALBUQUERQUE PUBLIC SCHOOLS.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL VERTICAL LINE POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INTERFERENCES IT MAKES WITHOUT FIRST CONTACTING THE ENGINEER AS REQUIRED ABOVE.
3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
4. ALL CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.
5. IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE OLD OR MAY BE OBSOLETE OR MAY BE INCORRECT. WHEN THE CONSTRUCTION COMMENCES, THE ENGINEER HAS CONDUCTED ONLY PRELIMINARY INVESTIGATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THIS INVESTIGATION IS NOT CONCLUSIVE, AND MAY NOT BE THE COMPLETE TRUTH. THE CONTRACTOR HAS NO LIABILITY PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE EXCAVATION, AND DURING THE EXCAVATION, THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.

1. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY.
2. THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
3. WHEN APPLICABLE, CONTRACTOR SHALL SECURE "TOPSOIL DISTURBANCE PERMIT" FROM THE CITY AND/OR FILE A NOTICE OF INTENT (N.O.I.) WITH THE EPA PRIOR TO BEGINNING CONSTRUCTION.



TRACTS 317, 318, 319, 320A, AND 321, M.R.G.C.D. PROPERTY MAP NO. 38,  
ALBUQUERQUE, NEW MEXICO, ALSO KNOWN AS REGINALD CHAVEZ ELEMENTARY SCHOOL.

## PROJECT BENCHMARK

ACS 3 1/4" ALUMINUM CAP STAMPED, "13-J12, 1989", RIVETED TO A PIPE 0.2' ABOVE GROUND, IN THE NORTHEAST QUADRANT OF THE INTERSECTION OF NEW YORK AVENUE N.W. AND CENTRAL AVENUE.  
ELEVATION = 4955.431 FEET (NAVD 88)


A MAG NAIL W/WASHER IN THE CONCRETE SIDEWALK ON THE NORTH SIDE OF MOUNTAIN ROAD N.W., AS SHOWN ON THIS SHEET.  
ELEVATION = 4957.53 FEET (NAVD 88)

A MAG NAIL W/WASHER IN THE CONCRETE SIDEWALK AT THE NORTHEAST QUADRANT OF THE INTERSECTION OF MOUNTAIN ROAD AND MONTOYA ROAD N.W., AS SHOWN ON THIS SHEET.  
ELEVATION = 4957.17 FEET (NAVD 88)

A #5 REBAR W/CAP STAMPED "HMCB CONTROL NMPS 11184" AT THE EASTERN EDGE OF A GRASS FIELD, AS SHOWN ON THIS SHEET.  
ELEVATION = 4957.44 FEET (NAVD 88)

# RECORD DRAWING AND CERTIFICATION



DESIGNED BY	J.G.M.	NO.	DATE	BY	REVISIONS	JOB NO.
			04/15	JGM	RECORD DRAWING AND CERTIFICATION	2013.184.8
DRAWN BY	J.Y.R.					DATE
						07-2014
APPROVED BY	J.G.M.					SHEET
						7 OF 14