

DRAINAGE INFORMATION SHEET

WP + 1018

J12/D13

J-13/1018

PROJECT TITLE: TOTAL PETROLEUM, INC.
VICKERS GASOLINE ZONE ATLAS/DRNG. FILE #: J-13/1018
LEGAL DESCRIPTION: CONVENIENCE STORE & CARWASH
LOT 5-A-1, TRACTION PARK ADDITION
CITY ADDRESS: 2309 CENTRAL, NW, ALBUQUERQUE, NEW MEXICO

ENGINEERING FIRM: C.D. GALLOWAY CONTACT: BRIAN JASCOT
1010 1/2 P. BOX 5201 ADDRESS: 999 18TH ST. SUITE 2201 PHONE: 1-800-525-9091 OR
DENVER, COLORADO 80201-0500 1-303-291-2004

OWNER: TOTAL PETROLEUM, INC. CONTACT: DAN BRUBAKER
DENVER PLACE NORTH TOWER ADDRESS: 999 18TH ST. SUITE 2201 PHONE: 1-800-525-9091 OR
DENVER, COLORADO 80201-0500 1-303-291-2004

ARCHITECT: LAURENCE A. WICKHAM & CONTACT: LAURENCE WICKHAM
2310 E. PROSPECT ST. & ASSOC. ADDRESS: FORT COLLINS, COLORADO PHONE: 1-303-493-2025
80521

SURVEYOR: WILSON & COMPANY ENGINEERS CONTACT: BILL BREWSTER
6611 GULTON CT. NE ADDRESS: ALBUQUERQUE, NEW MEXICO PHONE: 345-5345

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____

LOCAL OWNER & ARCHITECT AGENT:
ROBERT P. BECKER, ARCHITECT; 40 G.W. WALKER & CO.
150 LOUISIANA BLVD, NE
ALBUQ., N.M. 87108 PH 268-4551

PRE-DESIGN MEETING:

☐ YES
☐ NO
☐ COPY OF CONFERENCE RECAP
SHEET PROVIDED

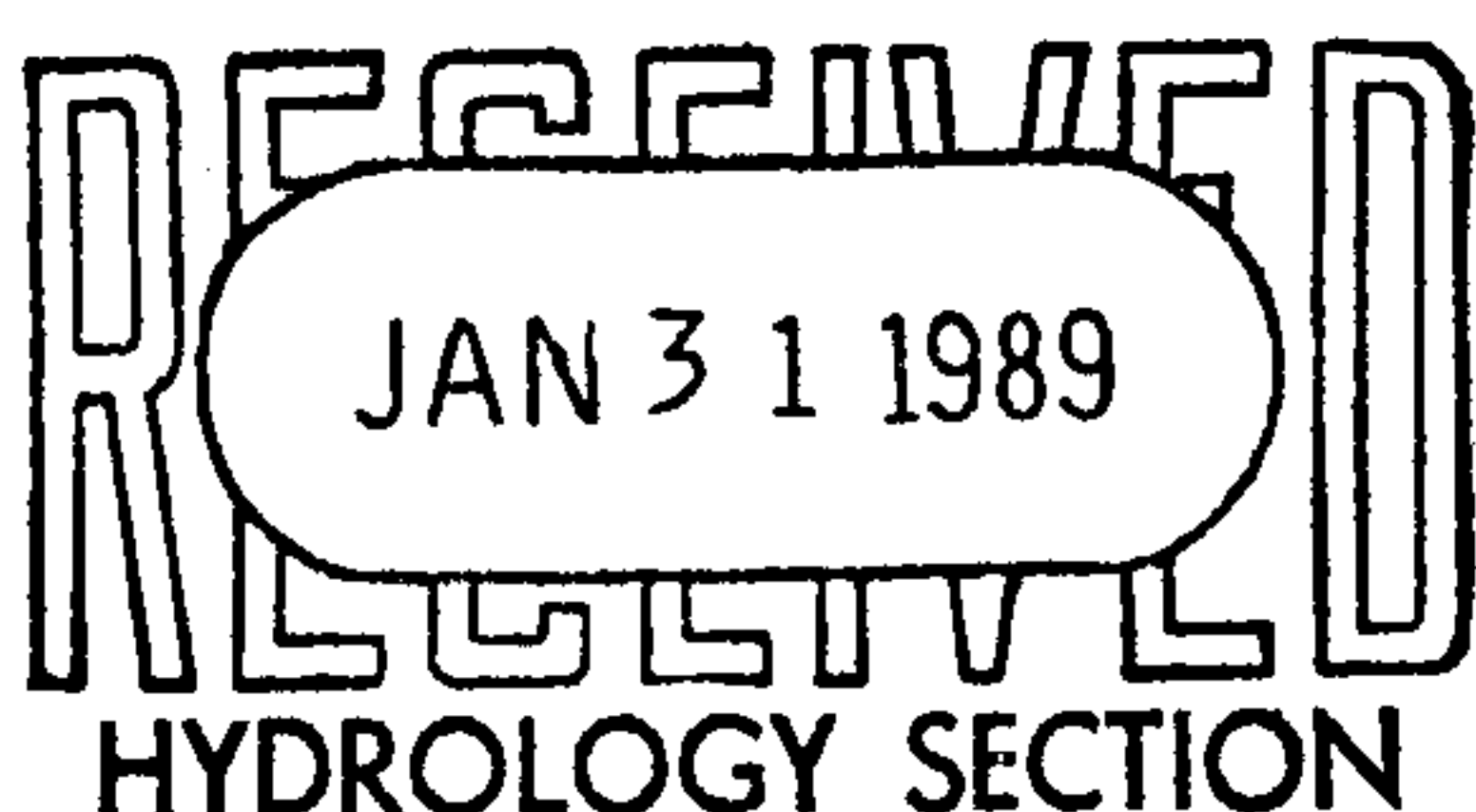
DRB NO. _____
EPC NO. _____
PROJ. NO. _____

TYPE OF SUBMITTAL:

☒ DRAINAGE REPORT
☐ DRAINAGE PLAN
☒ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ SITE DEVELOPMENT PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY APPROVAL
☐ ROUGH GRADING PERMIT APPROVAL
☐ GRADING/PAVING PERMIT APPROVAL
☐ OTHER _____ (SPECIFY)



DATE SUBMITTED: 1/26/89
BY: Bob Becker

FILE COPY



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

KEN SCHULTZ
MAYOR

CLARENCE V. LITHGOW
CHIEF
ADMINISTRATIVE OFFICER

DAN WEAKS
DEPUTY CAO
PUBLIC SERVICES

FRED E. MONDRAGON
DEPUTY CAO
DEVELOPMENT & ENTERPRISE SERVICES

February 9, 1989

C.D. Galloway, P.E.
Total Petroleum, Inc.
Denver Place North Tower
999 18th Street, Suite 2201
Denver, Colorado 80201-0500

RE: DRAINAGE PLAN FOR THE VICKERS GASOLINE, CONVENIENCE STORE, &
CARWASH FACILITY, SUBMITTED JANUARY 31, 1989, FOR BUILDING
PERMIT (J-12/D13)

Dear Mr. Galloway:

Based on the information provided on your submittal of January 31, 1989, listed are a few additional items of concern that will need to be addressed prior to your updated submittal.

1. Finish floor elevations must be shown to full mean sea level designation.
2. Your existing and proposed spot elevations indicate that you will be draining developed runoff onto the 40' access easement. In order to allow cross lot line drainage, the easement must also indicate drainage easement. Please address.

All other stipulations included in Mr. Reeder's letter dated February 1, 1989 still apply.

If I can be of further assistance, please feel free to call me at 768-2650.

Cordially,

Bernie J. Montoya
Bernie J. Montoya, C.E.
Engineering Assistant

xc: Robert Becker

BJM/bsj
(WP+1018)

FILE COPY



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

KEN SCHULTZ
MAYOR

CLARENCE V. LITHGOW
CHIEF
ADMINISTRATIVE OFFICER

DAN WEAKS
DEPUTY CAO
PUBLIC SERVICES

FRED E. MONDRAGON
DEPUTY CAO
DEVELOPMENT & ENTERPRISE SERVICES

February 1, 1989

C.D. Galloway, P.E.
Total Petroleum, Inc.
Denver Place North Tower
999 18th Street, Suite 2201
Denver, Colorado 80201-0500

RE: GRADING & DRAINAGE PLAN FOR THE VICKERS GASOLINE, CONVENIENCE STORE,
AND CARWASH FACILITY, SUBMITTED JANUARY 31, 1989, FOR BUILDING
PERMIT (J-12/D13)

Dear Mr. Galloway:

Your submittal, referred to above, is approved for Building Permit sign-off by
the Hydrology Section with the following stipulations:

1. The plans sheets which are approved are drawings no. 2493-B, dated 11/30/88, and 2493-B1, dated 11/21/88, and as revised by Mr. Robert P. Becker, architect, on February 2, 1989, in our office, and at his request.
2. The mylars for these drawings must be revised to show the changes made by Mr. Becker, a revision date added, and your professional stamp signed and dated. Signed reproductions are not acceptable.
3. A minimum of three copies of the revised drawings should be sent to Albuquerque: one for the plans set with Building Permit, one for the contractor, and one for our files.
4. I have signed the Building Permit for Mr. Becker before receiving a set of drawings which meet the standards of the Albuquerque Drainage Ordinance, because he explained

C.D. Galloway
February 1, 1989
Page 2

that your client must have a Building Permit as a condition of purchase by Friday, February 3. We will not release the Certificate of Occupancy until we have the sets of drawings with the changes described above.

If you have any questions, or if I can be of any help, please call me at (505) 768-2650.

Cordially,

A handwritten signature in cursive script that reads "Stuart Reeder".

G. Stuart Reeder, P.E.
C.E./Hydrology Section

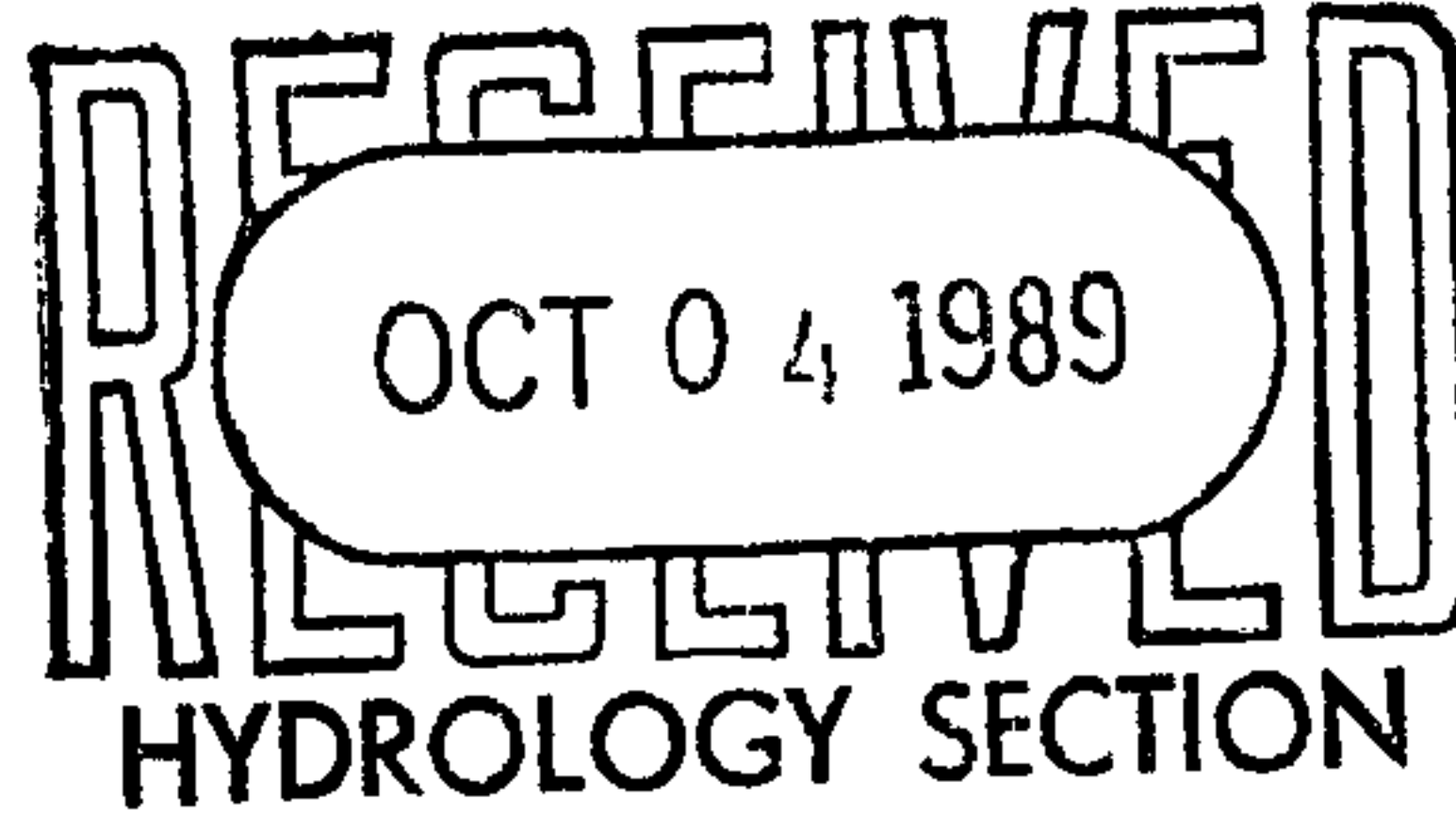
xc: owner
architect
Robert Becker

GSR
(WP+1018)

Brian J. Jascott, P.E.
Consulting Engineer
15371 E. Ford Pl., Unit C1
Aurora, Colorado 80017
(303) 755-6944

September 28, 1989

Mr. G. Stuart Reeder, P.E.
Hydrology Section
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103



RE: Grading and Drainage Plan
Vicker's Gasoline, Convenience Store and Carwash Facility
W. Central Ave.
Building Permit J-12/D13

Dear Mr. Reeder:

Per our telephone conversation of September 28, 1989, I have stamped, signed and dated the original mylars for plan sheets 2493-B and 2493-B1 for the above project. Enclosed are one print of each for your files. Please destroy the prints previously forwarded to you on Sept. 15.

Sincerely,


Brian J. Jascott, P.E.

Send

68M

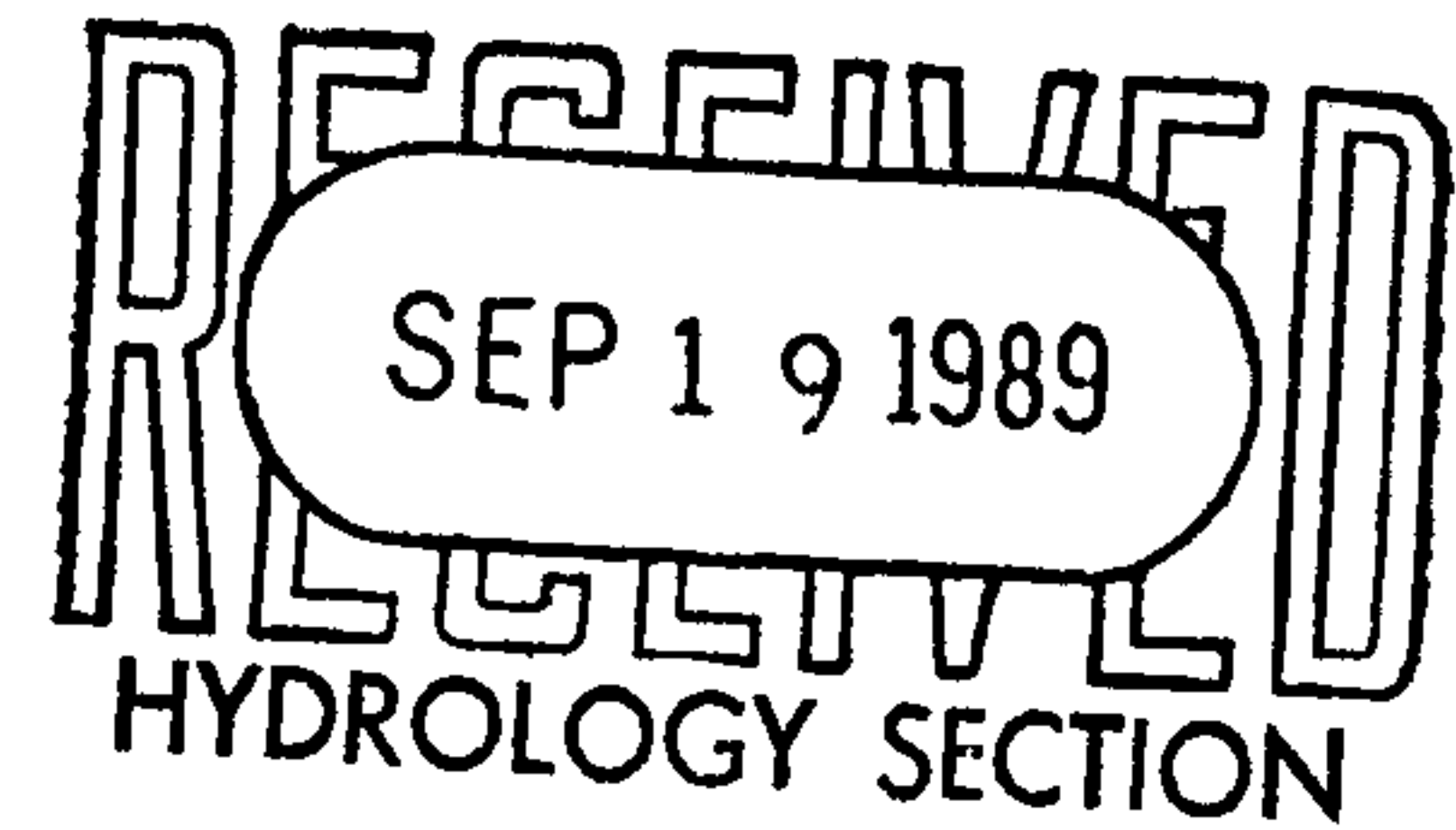
Thursday 10/05/89 12:26

To: Alan D. Martinez
Subject: CO for Vicker's Gas Sta.

The engineer has sent me the signed, stamped, and dated plans that were holding up our release of the CO, so you can turn them loose.

FILE J12/D13

Brian J. Jascott, P.E.
Consulting Engineer
15371 E. Ford Pl., Unit C1
Aurora, Colorado 80017
(303) 755-6944



September 15, 1989

Mr. G. Stuart Reeder, P.E.
Hydrology Section
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

RE: Grading and Drainage Plan
Vicker's Gasoline, Convenience Store and Carwash Facility
W. Central Ave.
Building Permit J-12/D13

Dear Mr. Reeder:

Per your letter of February 1, 1989 to C. D. Galloway and subsequent telephone requests, enclosed are stamped plan sheets 2493-B and 2493-B1 incorporating all of the redlines made by Robert Becker, architect, on February 2, 1989 and tentatively approved by your office. We apologize for the delay in getting these revised drawings to you but we thought Mr. Becker has forwarded the drawings in February. Please release the Certificate of Occupancy upon receipt of these drawings.

Please note that I have signed the drawings instead of Mr. Galloway. I previously had prepared the drawings under the direction and review of Mr. Galloway but had not yet received my New Mexico registration when the plans were originally submitted.

Sincerely,


Brian J. Jascott, P.E.