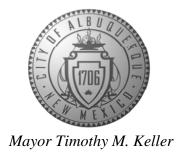
CITY OF ALBUQUERQUE

Planning Department Brennon Williams, Director



December 3, 2019

Åsa Nilsson-Weber, P.E. Isaacson & Arfman, P.A. 128 Monroe St. N.E Albuquerque, NM 87108

RE: Bosque Antigua

Gabaldon Dr NW

Request for Pad Certification - Accepted

Lots 3-9

Grading Plan Stamp Date: 10/10/18 Drainage Report Stamp Date: 10/10/18

Certification Dated: 11/26/19 Hydrology File: J12D015

PO Box 1293

Dear Ms. Nilsson-Weber:

Albuquerque

Based on the submittal received on 11/26/19 the above-referenced Pads are approved for Building Permit.

Prior to Release of Financial Guarantee (For Information):

NM 87103

1. Engineer's Certification (All Private Grading), per the DPM Chapter 22.7: *Engineer's Certification Checklist For Subdivision* is required.

www.cabq.gov

If you have any questions, please contact me at 924-3695 or dpeterson@cabq.gov.

Sincerely,

Dana Peterson, P.E.

Senior Engineer, Planning Dept. Development Review Services



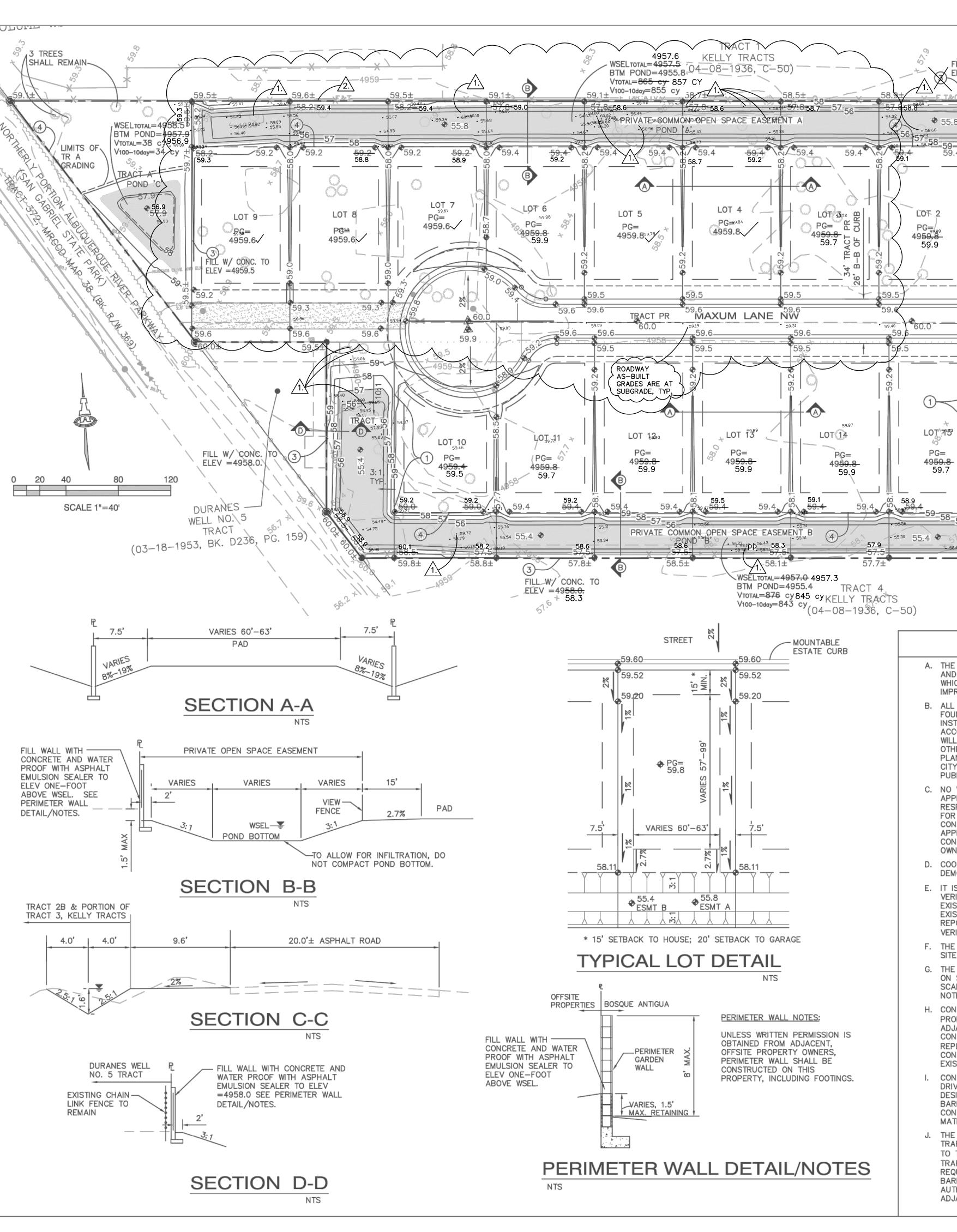
City of Albuquerque

Planning Department Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

Project Title: Bosque Antigua DRB#: PR-2018-001327 (1001228)		
Legal Description: Bosque Antigua City Address:		
Applicant: Isaacson & Arfman, PA		Contact: <u>Åsa Nilsson-Weber</u>
Address: 128 Monroe Street NE - Albuc	uerque, NM 87108	
Phone#: (505) 268-8828	Fax#:	E-mail: <u>asaw@iacivil.com</u>
Owner: Las Ventanas NM, Inc.		Contact: T. Scott Ashcraft
Address: 8330-A Washington Place NE	- Albuquerque, NM 87113	
Phone#: (505) 362-6824	Fax#:	_E-mail:
TYPE OF SUBMITTAL: X PLAT (_7_# OF) IS THIS A RESUBMITTAL?: YE DEPARTMENT: TRAFFIC/ TRANSPOR	es X No	
TYPE OF SUBMITTAL: X ENGINEER ARCHITECT CERTIFICATION PAD CERTIFICATION CONCEPTUAL G & D PLAN GRADING PLAN DRAINAGE MASTER PLAN DRAINAGE REPORT FLOODPLAIN DEVELOPMENT PERMIT A ELEVATION CERTIFICATE CLOMR/LOMR TRAFFIC CIRCULATION LAYOUT (TCL) TRAFFIC IMPACT STUDY (TIS) OTHER (SPECIFY) PRE-DESIGN MEETING?	X_ BUILDING PER	PLAT APPROVAL R SUB'D APPROVAL R BLDG. PERMIT APPROVAL APPROVAL OF FINANCIAL GUARANTEE PERMIT APPROVAL RMIT APPROVAL VAL IIT APPROVAL O CERTIFICATION APPROVAL
DATE SUBMITTED: November 26, 2019		
	ELECTRONIC SUBMITTAL RECEIVED:	

FEE PAID:_



A. THE CONTRACTOR SHALL ABIDE B AND FEDERAL LAWS, CODES, RULI WHICH APPLY TO THE CONSTRUCT

B. ALL SITE PREPARATION, GRADING PUBLIC WORKS CONSTRUCTION.

Åsa Nilsson-Weber, NMPE 17631 C. NO WORK SHALL BE PERFORMED APPROPRIATE PERMITS, THE CONTI... RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION, OR PRIOR TO OCCUPANCY, AS APPROPRIATE. IF PERMITS ARE DELAYED OR ISSUED WITH CONDITIONS, THE CONTRACTOR SHALL NOTIFY THE OWNER AND ARCHITECT IMMEDIATELY.

D. COORDINATE WORK WITH SITE PLAN, UTILITY PLAN, DEMOLITION PLAN, AND LANDSCAPE PLAN.

E. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING OBSTRUCTIONS, AND CONDITION OF ALL EXISTING INFRASTRUCTURE PRIOR TO CONSTRUCTION. REPORT ALL DISCREPANCIES TO THE ENGINEER AND VERIFY THE ENGINEER'S INTENT BEFORE PROCEEDING.

SITE SAFETY.

G. THE CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS ON SITE AT ALL TIMES. THE CONTRACTOR SHALL NOT SCALE DRAWINGS. ONLY WRITTEN DIMENSIONS OR KEYED NOTES SHALL BE USED.

H. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT STRUCTURES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE. CONTRACTOR SHALL BE RESPONSIBLE FOR DOCUMENTING EXISTING CONDITIONS PRIOR TO CONSTRUCTION.

CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS. EQUIPMENT SHALL ONLY OBSTRUCT DESIGNATED TRAFFIC LANES IF APPROPRIATE BARRICADING PERMITS HAVE BEEN OBTAINED. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL IN THE RIGHT-OF-WAY.

J. THE CONTRACTOR SHALL PROVIDE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN THAT CONFORMS TO THE LATEST EDITION OF THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD) AND LOCAL REQUIREMENTS. THE CONTRACTOR SHALL OBTAIN BARRICADING PERMITS FROM THE APPROPRIATE

The record information edited onto the original design document has been obtained by Timothy Aldrich, NMRPS 7719, of the firm Aldrich Land Surveying. I further certify that I or someone under my direct supervision visited the project site on November 26, 2019, and have determined by visual inspection that the survey data provided is representative of actual site conditions and

TILL W/ CONC. TO

ELEV = 4958.0.

4959:87 59.9

REMOVE &/ DISPOSE

EXST CMP. - GULVERT

IMPROVEMENTS, INCLUDING EPA A is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Building Permit for Lots 3—9. FOUNDATION CONSTRUCTION, AND The record information presented hereon is not necessarily complete and intended only to verify INSTALLATION WORK SHALL BE CC substantial compliance of the grading and drainage aspects of this project. Those relying on ACCORDANCE WITH THE GEOTECHN this record document are advised to obtain independent verification of its accuracy before using WILL BE PROVIDED BY THE OWNER it for any other purpose. OTHER WORK SHALL, UNLESS OTH 6 CITY OF ALBUQUERQUE STANDARD Chen Chilsson-Weber

F. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR

AUTHORITIES PRIOR TO ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.





TRACT 2A AND A PORTION OF TRACT 3, KELLY TRACTS

SITE AREA: 5.4812 ACRES

WSELTOTAL=4959.8±

VTOTAL=25 cy V100-10day=25 cy

BTM POND=4958.2±

INV=52.44 (N,S&E)

→ WSELTOTAL=4959.4±

V100-10day=26 cy

RIM=59.77

AB

VTOTAL=28 cy

BTM POND=4957.8±

DISTURB 49

KELLY TRACTS (06-15-2000;⁹ 2000C-160)

-NO PERIMETER

PORTION OF TRACT 3

(06-09-2010, 2010052846)

KELLY TRACTS

Timothy Aldrich, NMRPS 7719.

WALL

TREES, TYP.

SURFACE UTILITY

EQUIPMENT, TYP.

Åsa Nilsson-Weber. NMPE 17631 of the firm Isaacson & Arfman, P.A., hereby certify that the site have been graded and will drain in substantial compliance with and in accordance with the

power poles along south property line. Ponds were graded deeper and with steeper side

slopes in certain areas to compensate for volume. As—built pond volumes and water surface elevations were calculated from a Civil 3D surface based on surface provided by

1. No grading was done around trees that were saved in the ponds and around existing

 $\cancel{2}$ Existing pipe fence along north boundary will remain. No new perimeter wall will be

UNDERGROUND UTILITY

IN-PLACE UTILITIES.

DRY UTILITY ADJUSTMENTS.

REGISTERED LAND SURVEYOR.

BE RESPONSIBLE FOR COORDINATION OF NECESSARY

M. ALL TRASH, DEBRIS, & SURFACE VEGETATION SHALL BE

CLEARED AND LEGALLY DISPOSED OF OFFSITE.

N. VIBRATORY COMPACTION SHALL NOT BE USED OVER

O. SOIL TESTING AND INSPECTION SERVICES DURING SITE

SUBGRADES, BACKFILL, AND FILL LAYERS BEFORE

FURTHER CONSTRUCTION WORK IS DONE. SHOULD

P. CONTRACTOR SHALL LOCATE AND PRESERVE ALL

COMPACTION TESTS INDICATE INADEQUATE DENSITY,

BOUNDARY CORNERS AND REPLACE ANY LOST OR

PROPERTY CORNERS SHALL ONLY BE RESET BY A

Q. CONTRACTOR SHALL PROVIDE CONSTRUCTION STAKING.

TO FACILITATE ACCURACY IN CONSTRUCTION STAKING.

CONTAINING THE ELECTRONIC DATA COMPRISING THE

STAKING. ALL SITE CONSTRUCTION LAYOUT MUST BE

SITE CIVIL DRAWINGS WILL BE FORWARDED TO THE

PERFORMED BY A LICENSED SURVEYOR USING

CONTACT PROJECT CIVIL ENGINEER, ASA

AREAS SHALL BE HS-25 TRAFFIC RATED.

FOR RESEEDING OF DISTURBED AREAS.

NILSSON-WEBER, PE AT (505)-266-1688.

ELECTRONIC DATA PROVIDED IN AUTOCAD *.DWG

R. ADJUST ANY RIMS OF EXISTING UTILITY FEATURES AS

S. CONTRACTOR SHALL COMPLY WITH LOCAL REGULATIONS

NECESSARY TO MATCH NEW GRADES. UTILITIES IN PAVED

(CURRENT VERSION) BY ISAACSON & ARFMAN, P.A.

UPON WRITTEN REQUEST FROM THE CONTRACTOR, A FILE

LICENSED LAND SURVEYOR TO PERFORM CONSTRUCTION

OPERATIONS ARE REQUIRED. CONTRACTOR SHALL ALLOW

TESTING LABS TO INSPECT AND APPROVE COMPACTED

CONTRACTOR SHALL PROVIDE ADDITIONAL COMPACTION

DISTURBED CORNERS AT CONTRACTOR'S SOLE EXPENSE.

AND TESTING AT THE CONTRACTOR'S SOLE EXPENSE.

design intent of the approved Grading & Drainage Plan dated October 10, 2018.

FLOOD ZONE: SHADED ZONE X. FIRM MAPS 35001C03271 DATED 11/4/16 AND AND 35001C0331H,

DATED 8/16/12

ÅSA NILSSON-WEBER ISAACSON & ARFMAN, P.A. 128 MONROE ST NE, ABQ. NM 87108

PHONE: (505) 268-8828

SURVEYOR: TIMOTHY ALDRICH ALDRICH LAND SURVEYING

P.O. BOX 30701, ALBQ., N.M. 87190 PHONE: (505) 884-1990

BENCHMARK:

AGRS Aluminum Cap stamped "20-J11 1989" N.M. State Plane Coordinates (Central Zone) N=1491770.982, E=1506437.513, G-G=0.999680825 $DA=-00^{\circ}15'27.22''$ Elevation, in feet (NAVD88) = 5094.032

KEYED NOTES

- 1. TURN EVERY OTHER BLOCK TO PROVIDE OPENINGS FOR
- 2. REMOVE & DISPOSE EXISTING CMP CULVERT.

DRAINAGE INTO OPEN SPACE PONDING AREA.

- 3. PERIMETER WALL. FILL WITH CONCRETE AND WATER PROOF TO 1' ABOVE WATER SURFACE ELEVATION.
- 4. VIEW FENCE.

LEGEND

- - EXISTING CONTOUR

EXISTING SPOT ELEVATION

EXISTING TREE PROPOSED CONTOUR

4 59.20

PROPOSED SPOT ELEVATION

ISAACSON & ARFMAN, P.A Consulting Engineering Associates 128 Monroe Street N.E. Albuquerque, New Mexico 87108 Ph. 505-268-8828 www.iacivil.com

2273 CG-101.dwg Oct 09,2018 his design, calculations, and concepts are owned by and remain the property of Isaacson &

Arfman, P.A. and no part thereof shall be utilized by any person, firm or corporation for any purpose whatsoever except with the written permission of Isaacson & Arfman, P.A. ©

BOSQUE ANTIGUA SUBDIVISION

GRADING & DRAINAGE PLAN

20				
Date:	No.	Revision:	Date:	Job No.
08/26/18				2273
Drawn By:	<u> </u>			00 101
JTS				CG-101
Ckd By:				SH. OF
ÅNW				