

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

December 3, 2019

Åsa Nilsson-Weber, P.E.
Isaacson & Arfman, P.A.
128 Monroe St. N.E
Albuquerque, NM 87108

RE: **Bosque Antigua
Gabaldon Dr NW
Request for Pad Certification – Accepted
Lots 3-9
Grading Plan Stamp Date: 10/10/18
Drainage Report Stamp Date: 10/10/18
Certification Dated: 11/26/19
Hydrology File: J12D015**

PO Box 1293

Dear Ms. Nilsson-Weber:

Albuquerque

Based on the submittal received on 11/26/19 the above-referenced Pads are approved for Building Permit.

NM 87103

Prior to Release of Financial Guarantee (For Information):

1. Engineer's Certification (All Private Grading), per the DPM Chapter 22.7: *Engineer's Certification Checklist For Subdivision* is required.

www.cabq.gov

If you have any questions, please contact me at 924-3695 or dpeterson@cabq.gov.

Sincerely,

Dana Peterson, P.E.
Senior Engineer, Planning Dept.
Development Review Services



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

Project Title: Bosque Antigua **Building Permit #:** _____ **Hydrology File #:** J12D015
DRB#: PR-2018-001327 (1001228) **EPC#:** _____ **Work Order#:** _____
Legal Description: Bosque Antigua
City Address: _____

Applicant: Isaacson & Arfman, PA **Contact:** Åsa Nilsson-Weber
Address: 128 Monroe Street NE - Albuquerque, NM 87108
Phone#: (505) 268-8828 **Fax#:** _____ **E-mail:** asaw@iacivil.com
Owner: Las Ventanas NM, Inc. **Contact:** T. Scott Ashcraft
Address: 8330-A Washington Place NE - Albuquerque, NM 87113
Phone#: (505) 362-6824 **Fax#:** _____ **E-mail:** _____

TYPE OF SUBMITTAL: ☒ PLAT (7 # OF LOTS) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL?: _____ Yes ☒ No

DEPARTMENT: _____ TRAFFIC/ TRANSPORTATION ☒ HYDROLOGY/ DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

☒ ENGINEER/ARCHITECT CERTIFICATION
____ PAD CERTIFICATION
____ CONCEPTUAL G & D PLAN
____ GRADING PLAN
____ DRAINAGE MASTER PLAN
____ DRAINAGE REPORT
____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
____ ELEVATION CERTIFICATE
____ CLOMR/LOMR
____ TRAFFIC CIRCULATION LAYOUT (TCL)
____ TRAFFIC IMPACT STUDY (TIS)
____ OTHER (SPECIFY) _____
____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

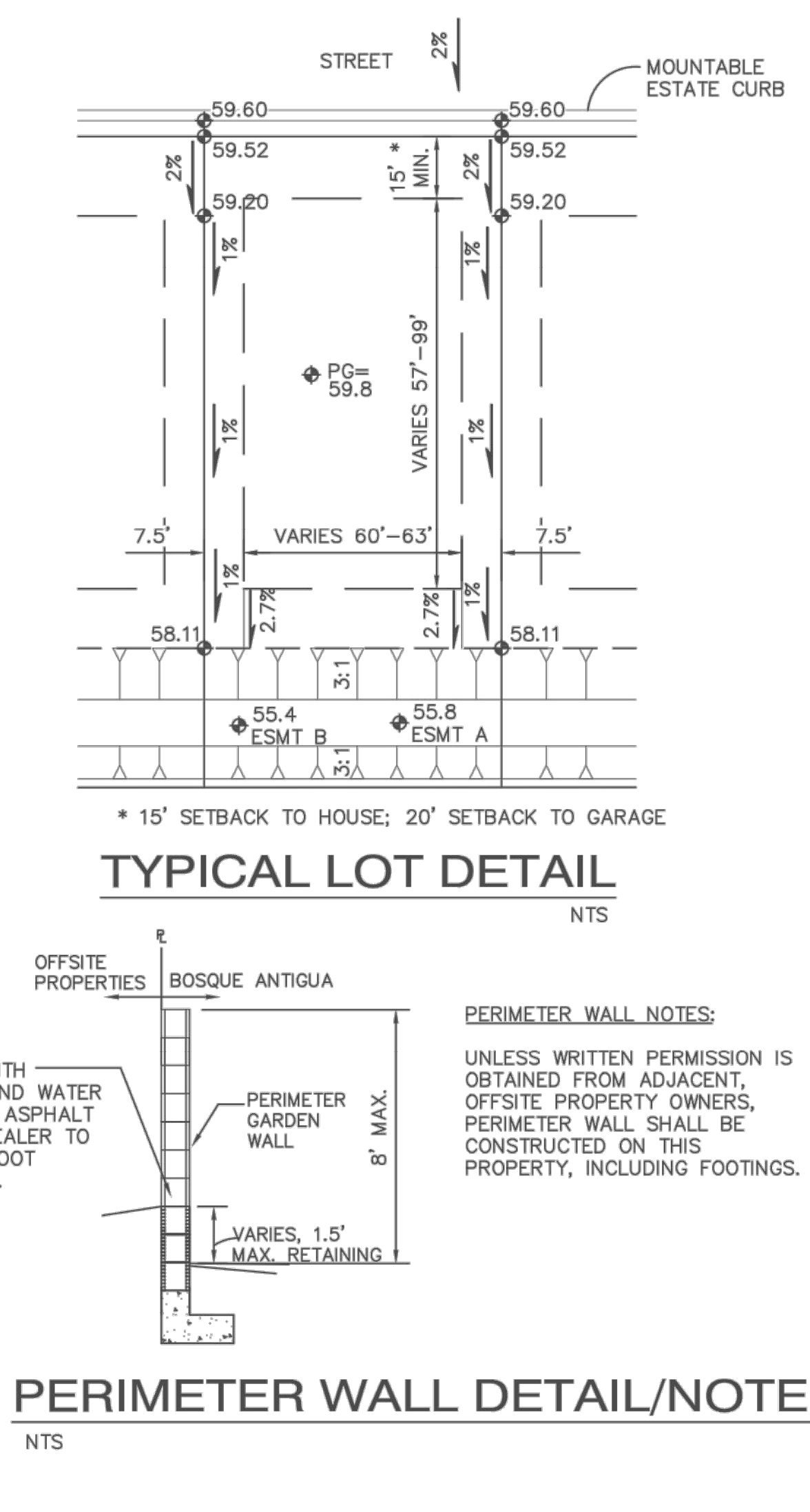
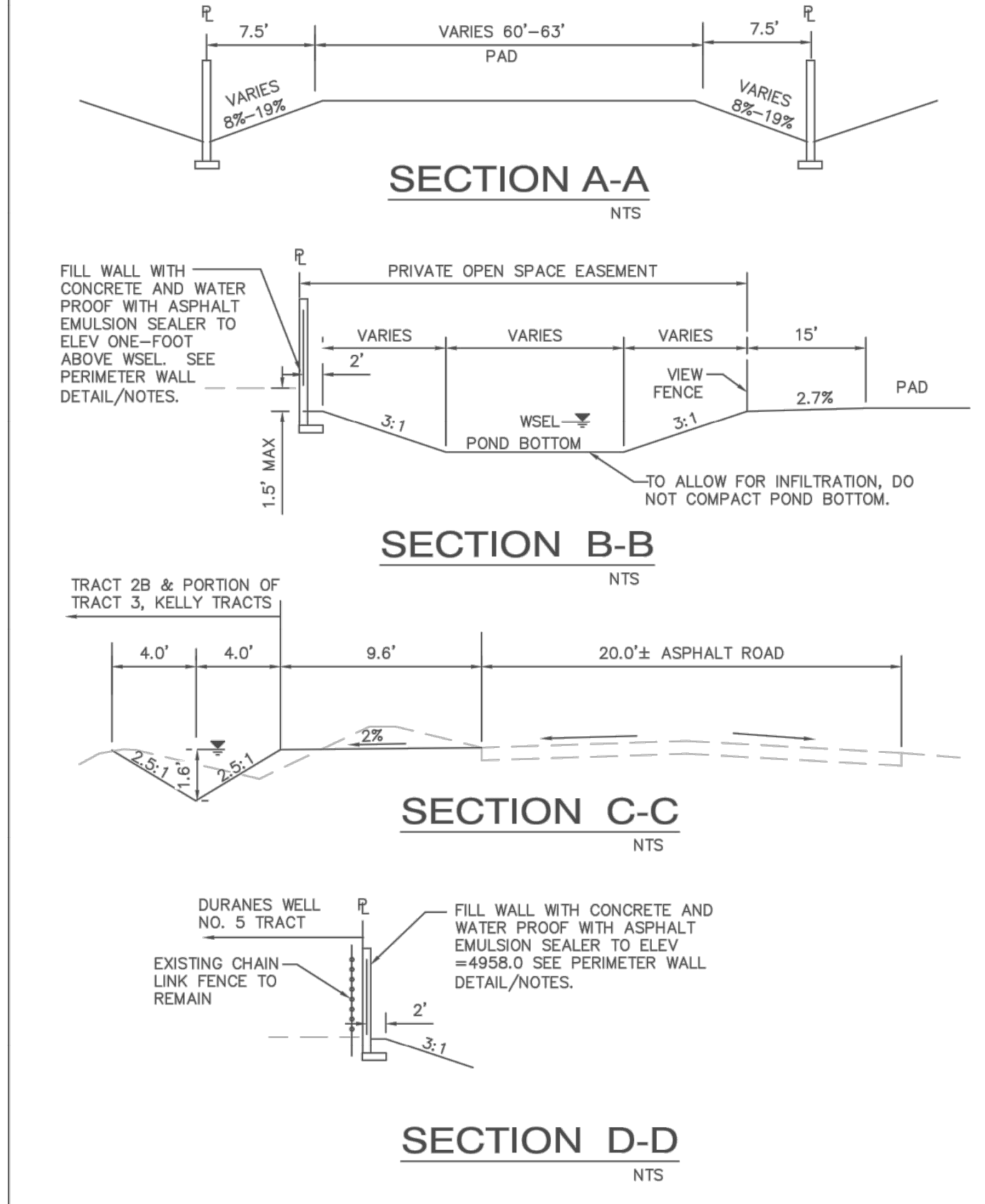
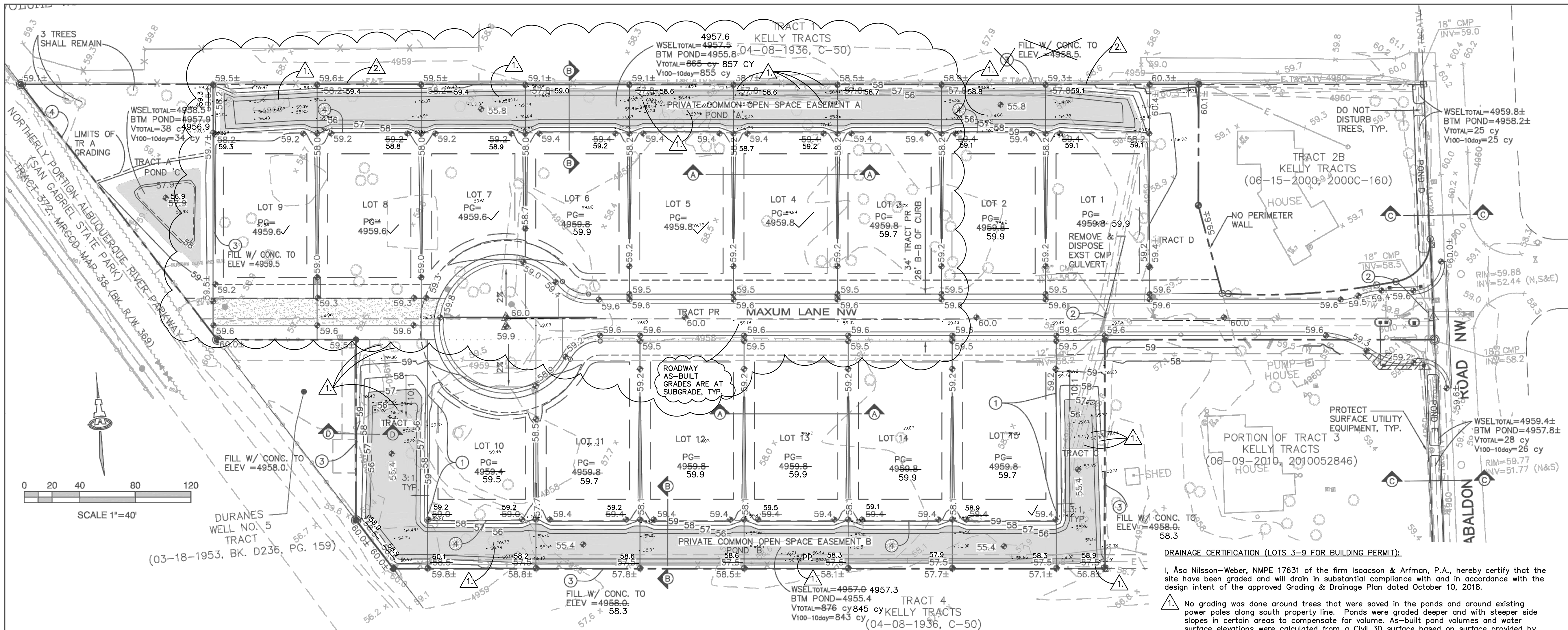
☒ BUILDING PERMIT APPROVAL **LOTS 3 THRU 9**
____ CERTIFICATE OF OCCUPANCY
____ PRELIMINARY PLAT APPROVAL
____ SITE PLAN FOR SUB'D APPROVAL
____ SITE PLAN FOR BLDG. PERMIT APPROVAL
____ FINAL PLAT APPROVAL
____ SIA/ RELEASE OF FINANCIAL GUARANTEE
____ FOUNDATION PERMIT APPROVAL
____ GRADING PERMIT APPROVAL
____ SO-19 APPROVAL
____ PAVING PERMIT APPROVAL
____ GRADING/ PAD CERTIFICATION
____ WORK ORDER APPROVAL
____ CLOMR/LOMR
____ FLOODPLAIN DEVELOPMENT PERMIT
____ OTHER (SPECIFY) _____

DATE SUBMITTED: November 26, 2019 **By:** Åsa Nilsson-Weber

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



- A. THE CONTRACTOR SHALL ABIDE BY ALL APPLICABLE STATE AND FEDERAL LAWS, CODES, RULES, ORDINANCES, AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THE PROJECT, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
- B. ALL SITE PREPARATION, GRADING, FOUNDATION CONSTRUCTION, AND INSTALLATION WORK SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT PROVIDED BY THE OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION, OR PRIOR TO OCCUPANCY, AS APPROPRIATE. IF PERMITS ARE DELAYED OR ISSUED WITH CONDITIONS, THE CONTRACTOR SHALL NOTIFY THE OWNER AND ARCHITECT IMMEDIATELY.
- C. NO WORK SHALL BE PERFORMED WITHOUT THE NECESSARY PERMITS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION, OR PRIOR TO OCCUPANCY, AS APPROPRIATE. IF PERMITS ARE DELAYED OR ISSUED WITH CONDITIONS, THE CONTRACTOR SHALL NOTIFY THE OWNER AND ARCHITECT IMMEDIATELY.
- D. COORDINATE WORK WITH SITE PLAN, UTILITY PLAN, DEMOLITION PLAN, AND LANDSCAPE PLAN.
- E. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING OBSTRUCTIONS, AND CONDITION OF ALL EXISTING INFRASTRUCTURE PRIOR TO CONSTRUCTION. REPORT ALL DISCREPANCIES TO THE ENGINEER AND VERIFY THE ENGINEER'S INTENT BEFORE PROCEEDING.
- F. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SITE SAFETY.
- G. THE CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS ON SITE AT ALL TIMES. THE CONTRACTOR SHALL NOT SCALE DRAWINGS. ONLY WRITTEN DIMENSIONS OR KEYED NOTES SHALL BE USED.
- H. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT STRUCTURES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DOCUMENTING EXISTING CONDITIONS PRIOR TO CONSTRUCTION.
- I. CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS. EQUIPMENT SHALL ONLY OBSTRUCT DESIGNATED TRAFFIC LANES IF APPROPRIATE. BARRICADING PERMITS HAVE BEEN OBTAINED. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL IN THE RIGHT-OF-WAY.
- J. THE CONTRACTOR SHALL PROVIDE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN THAT CONFORMS TO THE LATEST EDITION OF THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD) AND LOCAL REQUIREMENTS. THE CONTRACTOR SHALL OBTAIN BARRICADING PERMITS FROM THE APPROPRIATE AUTHORITIES PRIOR TO ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.

VICINITY MAP

PROJECT DATA

LEGAL DESCRIPTION: TRACT 2A AND A PORTION OF TRACT 3, KELLY TRACTS

SITE AREA: 5.4812 ACRES

FLOOD ZONE: SHADED ZONE X. FIRM MAPS 35001C03271 DATED 11/4/16 AND AND 35001C0331H, DATED 8/16/12

ENGINEER: ASA NILSSON-WEBER
ISAACSON & ARFMAN, P.A.
128 MONROE ST NE, ALBU. NM 87108
PHONE: (505) 268-8828

SURVEYOR: TIMOTHY ALDRICH
ALDRICH LAND SURVEYING
P.O. BOX 30701, ALBU., N.M. 87190
PHONE: (505) 884-1990

KEYED NOTES

- TURN EVERY OTHER BLOCK TO PROVIDE OPENINGS FOR DRAINAGE INTO OPEN SPACE PONDING AREA.
- REMOVE & DISPOSE EXISTING CMP CULVERT.
- PERIMETER WALL. FILL WITH CONCRETE AND WATER PROOF TO 1' ABOVE WATER SURFACE ELEVATION.
- VIEW FENCE.

LEGEND

---	EXISTING CONTOUR
●	EXISTING SPOT ELEVATION
○	EXISTING TREE
---	PROPOSED CONTOUR
●	PROPOSED SPOT ELEVATION

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 www.isaacson.com

This design, calculations, and concepts are owned by and remain the property of Isaacson & Arfman, P.A. and no part thereof shall be utilized by any person, firm or corporation for any purpose whatsoever except with the written permission of Isaacson & Arfman, P.A. ©

BOSQUE ANTIGUA SUBDIVISION

GRADING & DRAINAGE PLAN

Date:	No. Revision:	Date:	Job No.
08/26/18			2273
Drawn By:			CG-101
JTS			
Ckd By:			SH. OF
ANW			