

CITY OF ALBUQUERQUE

Planning Department
David Campbell, Director



Mayor Timothy M. Keller

August 31, 2018

Åsa Nilsson-Weber, P.E.
Isaacson & Arfman, P.A.
128 Monroe St. N.E
Albuquerque, NM 87108

RE: **Bosque Antigua
Gabaldon Dr NW
Grading Plan Stamp Date: 8/27/18
Drainage Report Stamp Date: 8/27/18
Hydrology File: J12D015**

Dear Ms. Nilsson-Weber:

PO Box 1293
Albuquerque
NM 87103
www.cabq.gov

Based on the submittal received on 8/27/18 the above-referenced submittal is approved for Preliminary Plat Only. J12D015 is the correct file number for this project; the previous letter heading was incorrect.

Prior to Grading Permit:

1. Pond A WSE is shown as 4957.5', but described in the drainage report as 4957.0'. Pond B WSE is shown as 4957.0', but described in the drainage report as 4957.5'. Pond B capacity is shown as 865cy, but described in the drainage report as 876cy Please correct.
2. This project requires an ESC Plan, submitted to the Stormwater Quality Engineer (Curtis Cherne PE, ccherne@cabq.gov or 924-3420).

Prior to Work Order (For Information):

3. The easements for ponds D and E will need to be recorded.

Prior to Building Permit (For Information):

4. Engineer's Certification (Pad Certifications), per the DPM Chapter 22.7: *Engineer's Certification Checklist For Subdivision* is required.

Prior to Release of Financial Guarantee (For Information):

5. Engineer's Certification (All Private Grading), per the DPM Chapter 22.7: *Engineer's Certification Checklist For Subdivision* is required.
6. The (2) agreement and covenants for ponds D and E will need to be recorded.

CITY OF ALBUQUERQUE

Planning Department
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Mayor Timothy M. Keller

If you have any questions, please contact me at 924-3695 or dpeterson@cabq.gov.

Sincerely,

A handwritten signature in black ink, appearing to read 'D. Peterson'.

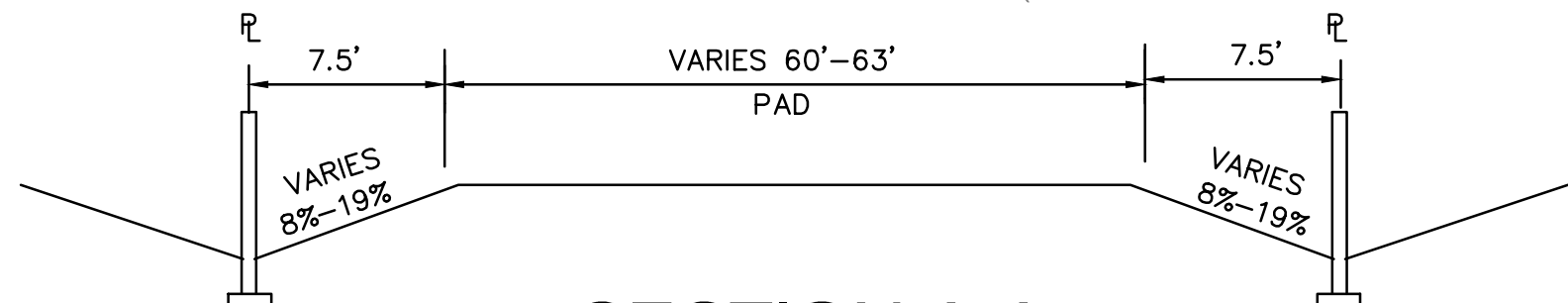
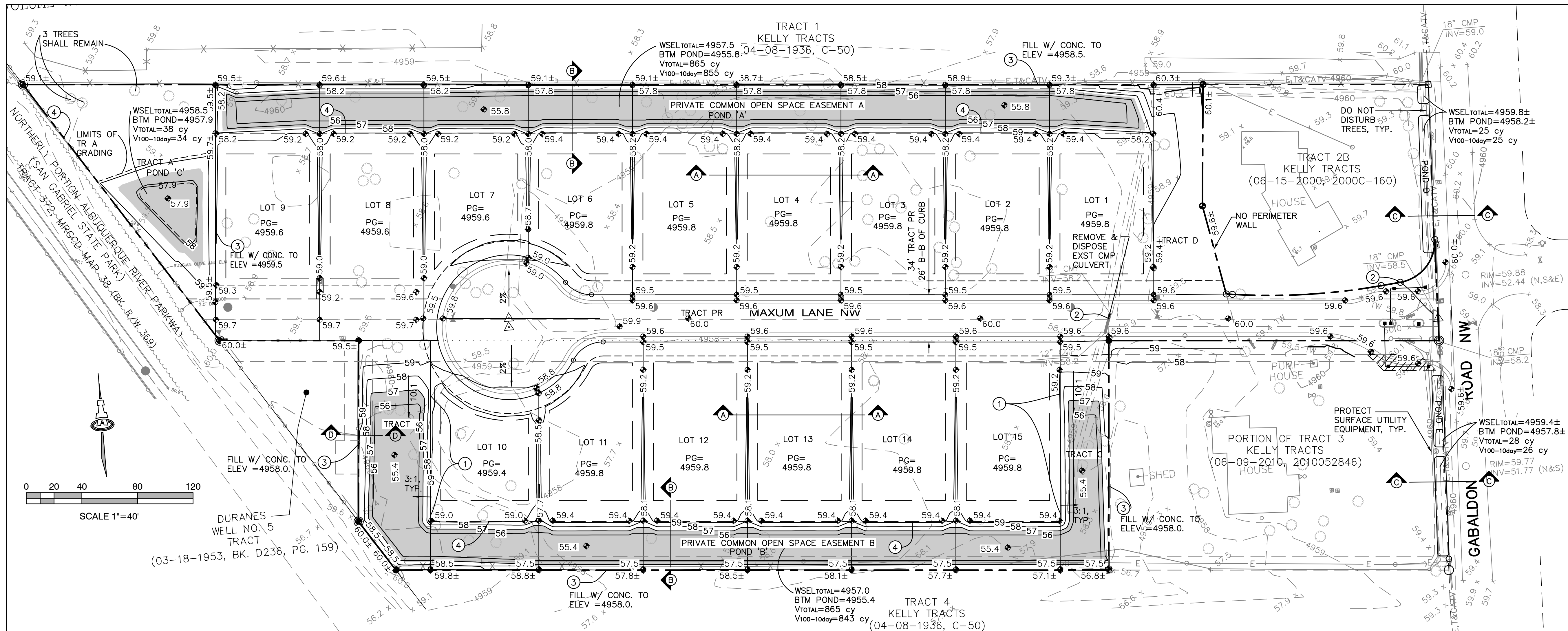
Dana Peterson, P.E.
Senior Engineer, Planning Dept.
Development Review Services

PO Box 1293

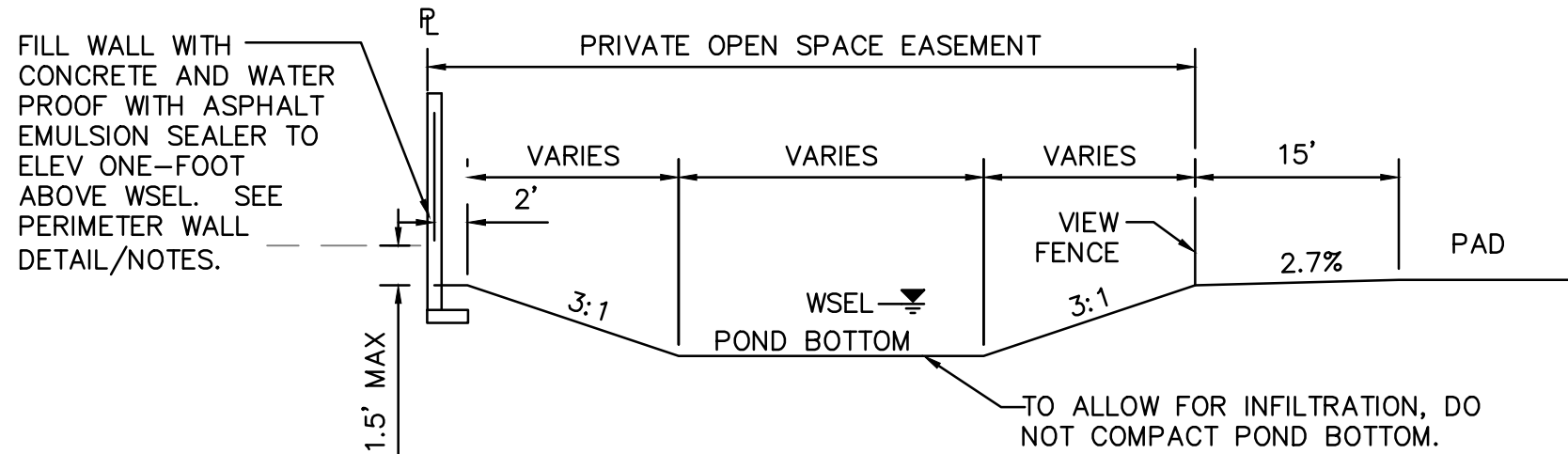
Albuquerque

NM 87103

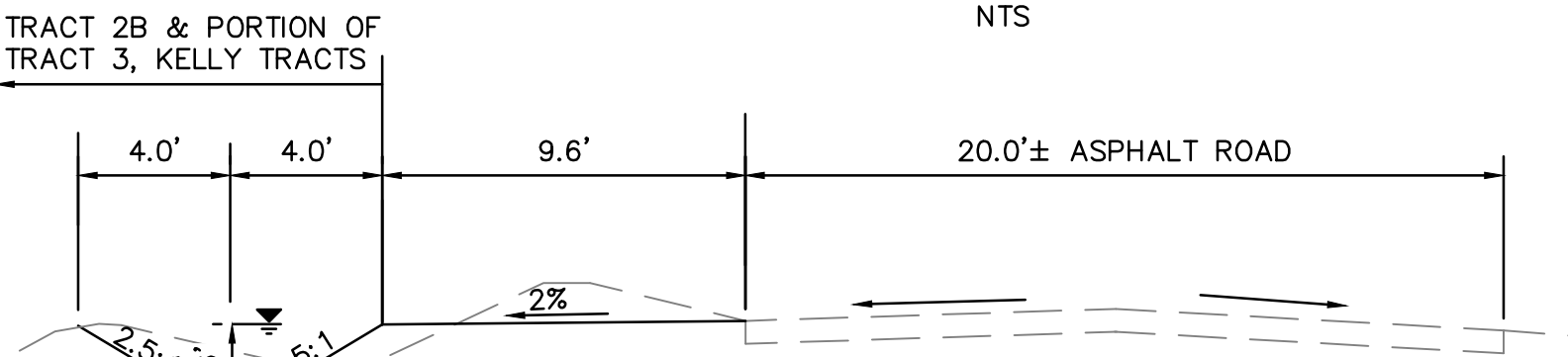
www.cabq.gov



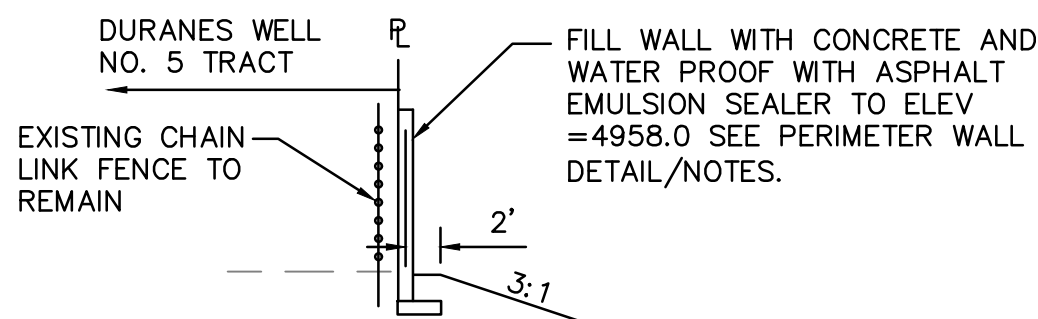
SECTION A-A
NTS



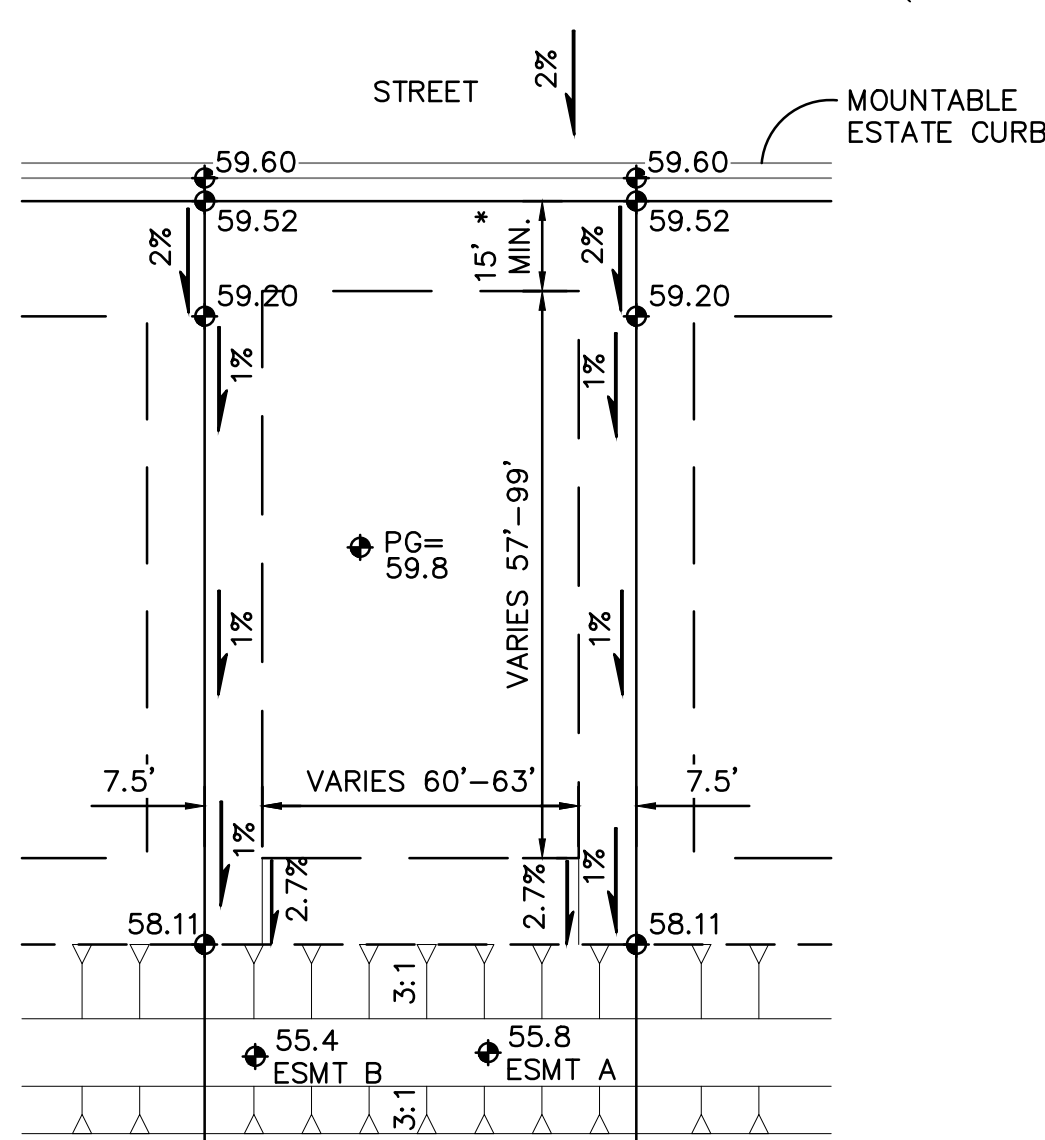
SECTION B-B
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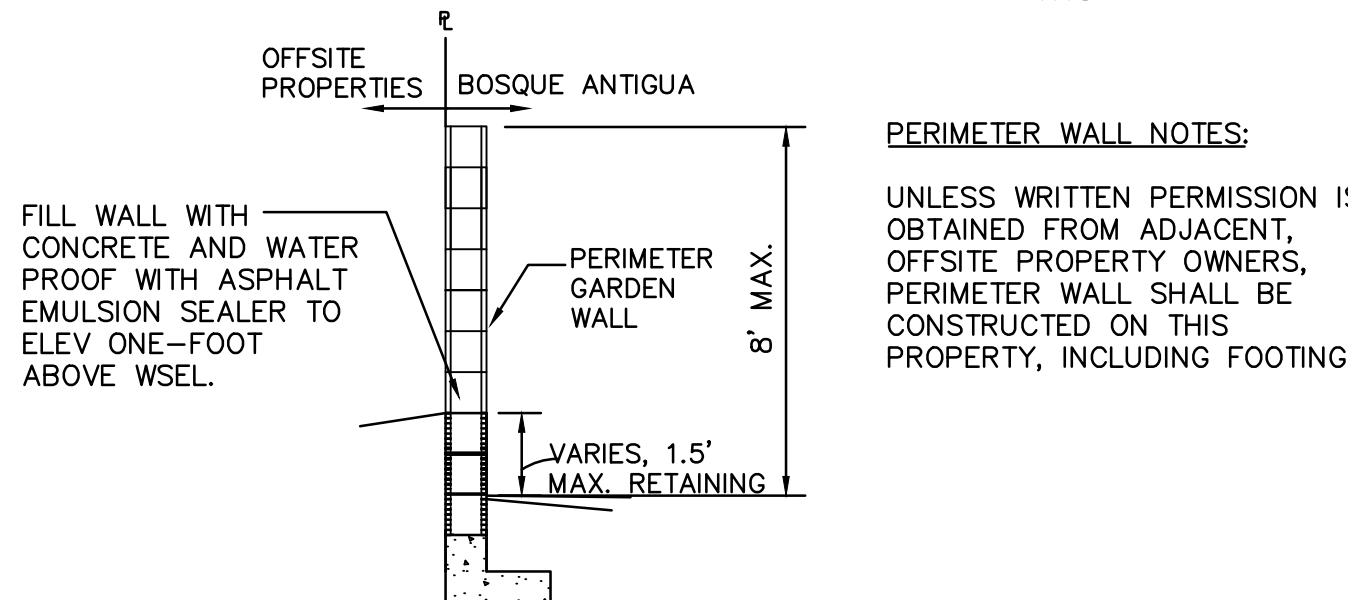
SECTION C-C
NTS



SECTION D-D
NTS



TYPICAL LOT DETAIL
NTS

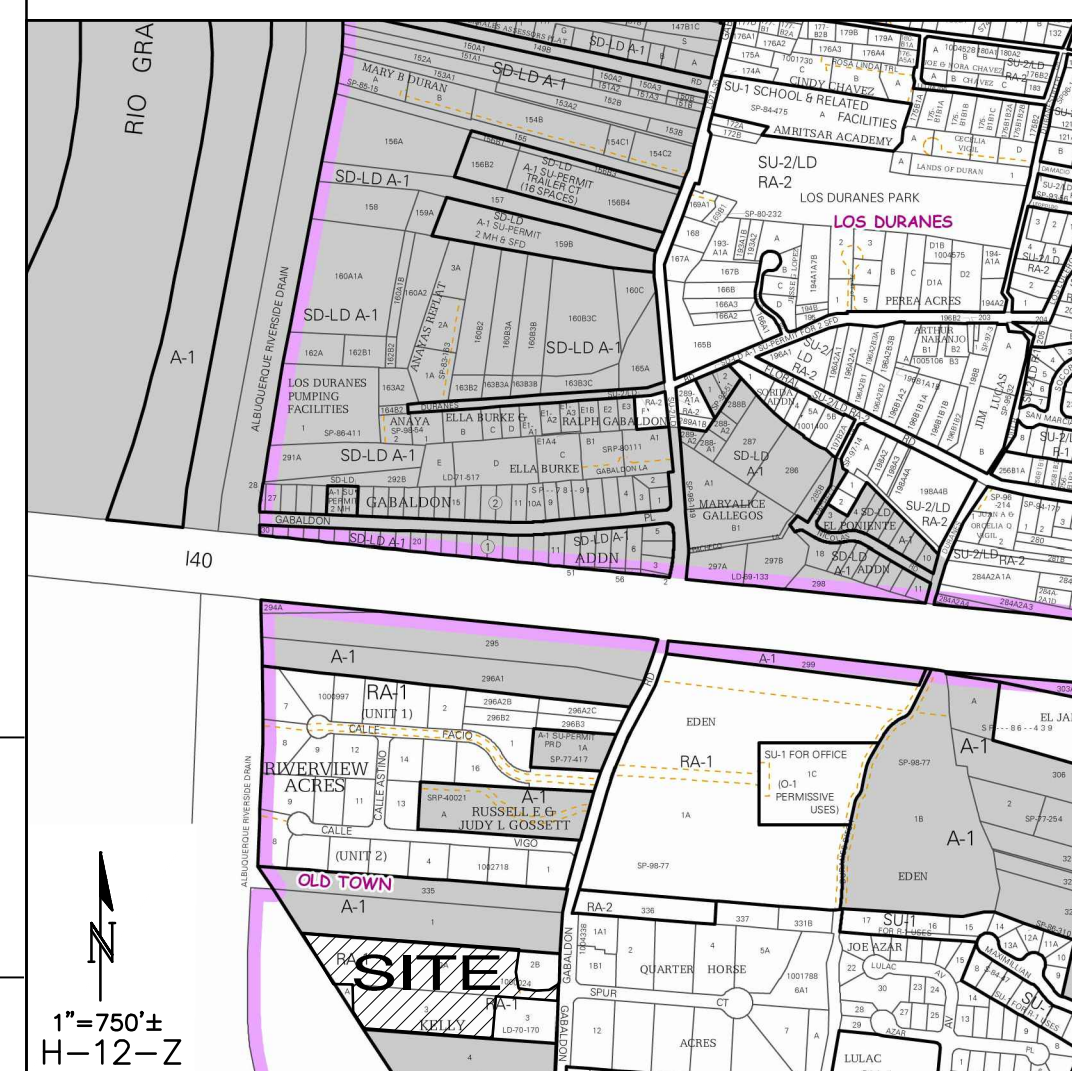


PERIMETER WALL DETAIL/NOTES
NTS

GENERAL NOTES

- THE CONTRACTOR SHALL ABIDE BY ALL STATE, LOCAL, AND FEDERAL LAWS, CODES, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA AND ADA REQUIREMENTS.
- ALL SITE PREPARATION, GRADING OPERATIONS, FOUNDATION CONSTRUCTION, AND PAVEMENT INSTALLATION WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT, WHICH WILL BE PROVIDED BY THE OWNER OR ARCHITECT. ALL OTHER WORK SHALL, UNLESS OTHERWISE NOTED IN THE PLANS, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- NO WORK SHALL BE PERFORMED WITHOUT THE APPROPRIATE PERMITS. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION, OR PRIOR TO OCCUPANCY, AS APPROPRIATE. IF PERMITS ARE DELAYED OR ISSUED WITH CONDITIONS, THE CONTRACTOR SHALL NOTIFY THE OWNER AND ARCHITECT IMMEDIATELY.
- COORDINATE WORK WITH SITE PLAN, UTILITY PLAN, DEMOLITION PLAN, AND LANDSCAPE PLAN.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING OBSTRUCTIONS, AND CONDITION OF ALL EXISTING INFRASTRUCTURE PRIOR TO CONSTRUCTION. REPORT ALL DISCREPANCIES TO THE ENGINEER AND VERIFY THE ENGINEER'S INTENT BEFORE PROCEEDING.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SITE SAFETY.
- THE CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS ON SITE AT ALL TIMES. THE CONTRACTOR SHALL NOT SCALE DRAWINGS. ONLY WRITTEN DIMENSIONS OR KEYED NOTES SHALL BE USED.
- CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT STRUCTURES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE. CONTRACTOR SHALL BE RESPONSIBLE FOR DOCUMENTING EXISTING CONDITIONS PRIOR TO CONSTRUCTION.
- CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS. EQUIPMENT SHALL ONLY OBSTRUCT DESIGNATED TRAFFIC LANES IF APPROPRIATE BARRICADING PERMITS HAVE BEEN OBTAINED. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL IN THE RIGHT-OF-WAY.
- THE CONTRACTOR SHALL PROVIDE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN THAT CONFORMS TO THE LATEST EDITION OF THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD) AND LOCAL REQUIREMENTS. THE CONTRACTOR SHALL OBTAIN BARRICADING PERMITS FROM THE APPROPRIATE AUTHORITIES PRIOR TO ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
- THE CONTRACTOR SHALL MAINTAIN ALL BARRICADING AND CONSTRUCTION SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADING AT THE END AND BEGINNING OF EACH DAY.
- EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. CONTRACTOR SHALL CONTACT NM-811 FOR UTILITY LINE SPOTS FIVE WORKING DAYS PRIOR TO CONDUCTING SITE FIELD WORK. CONTRACTOR SHALL FIELD VERIFY AND LOCATE ALL UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF NECESSARY DRY UTILITY ADJUSTMENTS.
- ALL TRASH, DEBRIS, & SURFACE VEGETATION SHALL BE CLEARED AND LEGALLY DISPOSED OF OFFSITE.
- VIBRATORY COMPACTION SHALL NOT BE USED OVER IN-PLACE UTILITIES.
- SOIL TESTING AND INSPECTION SERVICES DURING SITE OPERATIONS ARE REQUIRED. CONTRACTOR SHALL ALLOW TESTING LABS TO INSPECT AND APPROVE COMPACTED SUBGRADES, BACKFILL, AND FILL LAYERS BEFORE FURTHER CONSTRUCTION WORK IS DONE. SHOULD COMPACTION TESTS INDICATE INADEQUATE DENSITY, CONTRACTOR SHALL PROVIDE ADDITIONAL COMPACTION AND TESTING AT THE CONTRACTOR'S SOLE EXPENSE.
- CONTRACTOR SHALL LOCATE AND PRESERVE ALL BOUNDARY CORNERS AND REPLACE ANY LOST OR DISTURBED CORNERS AT CONTRACTOR'S SOLE EXPENSE. PROPERTY CORNERS SHALL ONLY BE RESET BY A REGISTERED LAND SURVEYOR.
- CONTRACTOR SHALL PROVIDE CONSTRUCTION STAKING TO FACILITATE ACCURACY IN CONSTRUCTION STAKING. UPON WRITTEN REQUEST FROM THE CONTRACTOR, A FILE CONTAINING THE ELECTRONIC DATA COMPRISING THE SITE CIVIL DRAWINGS WILL BE FORWARDED TO THE LICENSED LAND SURVEYOR TO PERFORM CONSTRUCTION STAKING. ALL SITE CONSTRUCTION LAYOUT MUST BE PERFORMED BY A LICENSED SURVEYOR USING ELECTRONIC DATA PROVIDED IN AUTOCAD *.DWG (CURRENT VERSION) BY ISAACSON & ARFMAN, P.A. CONTACT PROJECT CIVIL ENGINEER, ASA NILSSON-WEBER, PE AT (505)-266-1688.
- ADJUST ANY RIMS OF EXISTING UTILITY FEATURES AS NECESSARY TO MATCH NEW GRADES. UTILITIES IN PAVED AREAS SHALL BE HS-25 TRAFFIC RATED.
- CONTRACTOR SHALL COMPLY WITH LOCAL REGULATIONS FOR RESEEDING OF DISTURBED AREAS.

VICINITY MAP



PROJECT DATA

LEGAL DESCRIPTION: TRACT 2A AND A PORTION OF TRACT 3, KELLY TRACTS

SITE AREA: 5.4812 ACRES

FLOOD ZONE: SHADED ZONE X. FIRM MAPS 35001C03271 DATED 11/4/16 AND AND 35001C0331H, DATED 8/16/12

ENGINEER: ASA NILSSON-WEBER
ISAACSON & ARFMAN, P.A.
128 MONROE ST NE, ALBQ. NM 87108
PHONE: (505) 268-8828

SURVEYOR: TIMOTHY ALDRICH
ALDRICH LAND SURVEYING
P.O. BOX 30701, ALBQ., N.M. 87190
PHONE: (505) 884-1990

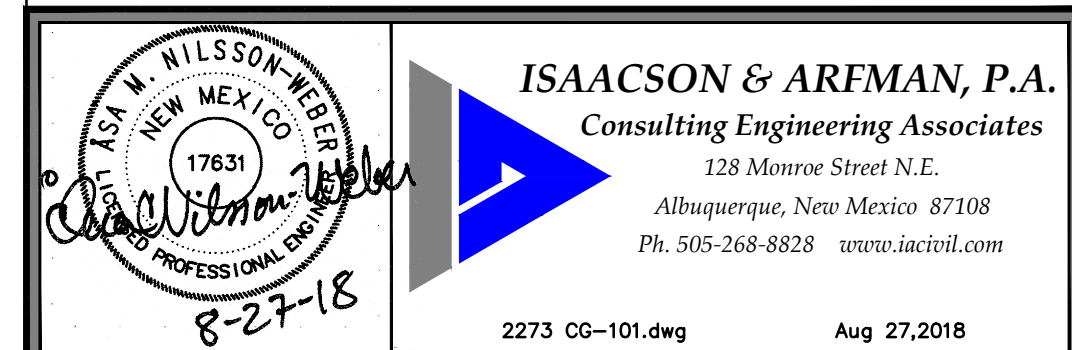
BENCHMARK:
AGRS Aluminum Cap stamped "20-J11 1989" N.M. State Plane Coordinates (Central Zone)
N=1491770.982, E=1506437.513, G-C=0.999680825,
DA=-0015'27.22" Elevation, in feet (NAVD88) = 5094.032

KEYED NOTES

- TURN EVERY OTHER BLOCK TO PROVIDE OPENINGS FOR DRAINAGE INTO OPEN SPACE PONDING AREA.
- REMOVE & DISPOSE EXISTING CMP CULVERT.
- PERIMETER WALL. FILL WITH CONCRETE AND WATER PROOF TO 1' ABOVE WATER SURFACE ELEVATION.
- VIEW FENCE.

LEGEND

- EXISTING CONTOUR
- EXISTING SPOT ELEVATION
- EXISTING TREE
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION



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BOSQUE ANTIGUA SUBDIVISION

GRADING & DRAINAGE PLAN

Date:	No. Revision:	Date:	Job No.
08/26/18			2273
Drawn By:	JTS		CG-101
Ckd By:	ANW		SH OF



VICINITY MAP

PROPERTY CORNERS

- FOUND 5/8" REBAR WITH CAP "LS 3516"
- ⊙ FOUND 1" or 1 1/2" PIPE WITH TAG "LS 3516"
- FOUND 1/2" REBAR WITH CAP "LS 6446"
- FOUND 5/8" REBAR WITH CAP "LS 7719"

LINE TABLE

LINE	DIRECTION	DISTANCE
L1	N32°52'36"W (N32°53'13"W)	43.99' (44.08')
L2	N04°38'43"E (N04°39'29"E)	130.22' (130.14')
L3	N85°21'17"W (N85°39'00"W)	100.08' (100.00')

CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	CHORD DIRECTION	CHORD LENGTH	TANGENT
C1	21.52'	24.00'	51°22'37"	S 59°39'58" E	20.81'	11.54'
C2	267.12'	52.00'	294°19'40"	S 1°08'29" E	56.39'	33.56'
C3	26.37'	24.00'	62°57'03"	S 63°10'12" W	25.06'	14.69'

EXISTING EASEMENTS

- EXISTING 10' UNDERGROUND PNM & M.S.T.&T EASEMENT (10-30-1989, 1989093670)
- EXISTING 10' OVERHEAD PNM & M.S.T.&T EASEMENT (05-07-1993, 1993046988)
- EXISTING 10' OVERHEAD PNM & M.S.T.&T EASEMENT (05-07-1993, 1993046989)
- EXISTING 10' PRIVATE ACCESS, PRIVATE UTILITY AND PUBLIC UTILITY EASEMENT (01-24-1991, 1991005396)
- EXISTING 15' ABCWUA CONSTRUCTION, OPERATION, MAINTENANCE, PIPE LINE AND PUBLIC UTILITY EASEMENT (03-18-1953, BK. D236, PG. 160)
- EXISTING 15' ABCWUA INGRESS AND EGRESS EASEMENT (03-18-1953, BK. D236, PG. 161)
- EXISTING 20' ABCWUA WATERLINE EASEMENT (06-15-2000, 2000C-160)
- EXISTING COA PRIVATE FACILITY DRAINAGE COVENANT (01-12-2000, 2000003389) (TRACT 2)
- EXISTING PRIVATE ACCESS EASEMENT FOR USE OF AND TO BE MAINTAINED BY TRACT 2A & 2B (06-15-2000, 2000C-160) (HATCHED AREA)

NOTES:

EXISTING EASEMENTS 2, 4-7 & 9 LOCATED WITHIN THE SUBDIVISION BOUNDARY SHALL BE VACATED BY FINAL PLAT AND REPLACED WITH NEW EASEMENTS AS NOTED ON THIS SHEET.

PROPOSED EASEMENTS

- PRIVATE COMMON OPEN SPACE AND DRAINAGE EASEMENTS, INCLUDING CROSS LOT DRAINAGE, 'A' AND 'B' (HATCHED AREAS) GRANTED FOR THE BENEFIT OF LOTS 1-15, BOSQUE ANTIGUA, TRACT 2B, KELLY TRACTS AND PORTION OF TRACT 3 KELLY TRACTS. EASEMENTS SHALL BE MAINTAINED BY THE HOMEOWNERS' ASSOCIATION. SEE SHEET 2 FOR DRAINAGE EASEMENT NOTE.
- PRIVATE ACCESS AND PUBLIC EMERGENCY ACCESS EASEMENT OVER ALL OF TRACT PR GRANTED FOR THE BENEFIT OF LOTS 1-15, BOSQUE ANTIGUA, TRACT 2B, KELLY TRACTS, PORTION OF TRACT 3 KELLY TRACTS AND DURANES WELL NO. 5 TRACT; PUBLIC WATER AND SANITARY SEWER LINE EASEMENT OVER ALL OF TRACT PR SHALL BE GRANTED TO ABCWUA. EASEMENT SHALL BE MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.
- PRIVATE ACCESS EASEMENT GRANTED FOR THE BENEFIT OF LOTS 8 & 9 AND DURANES WELL NO. 5; PUBLIC WATER AND SANITARY SEWER AND ACCESS EASEMENT GRANTED TO ABCWUA. EASEMENT SHALL BE MAINTAINED BY THE HOMEOWNERS' ASSOCIATION.
- PUBLIC WATER METER EASEMENT SHALL BE GRANTED TO ABCWUA.
- 10' PUE.

LEGAL DESCRIPTION

A tract of land situate, within the Town of Albuquerque Grant, projected Section 13, Township 10 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, within MRGCD Map No. 38, being all of TRACT 2A, KELLY TRACTS, as the same is shown and designated on said plot, filed for record in the office of the County Clerk of Bernalillo County, New Mexico on June 15, 2000, in Plat Book 2000C, Page 160, together with a PORTION OF TRACT 3, KELLY TRACTS, as the same is shown and designated on said plot, filed for record in the office of the County Clerk of Bernalillo County, New Mexico, on April 8, 1936, in Volume C, Folio 50, and containing 5.4812 acres more or less.

PRELIMINARY PLAT FOR

BOSQUE ANTIGUA

BEING A REPLAT OF TRACT 2A AND A PORTION OF TRACT 3, KELLY TRACTS

WITHIN THE TOWN OF ALBUQUERQUE GRANT PROJECTED SECTION 13, T. 10 N. R. 2 E, NMPM, MRGCD MAP 38

CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO

JULY, 2018

SITE DATA

- TOTAL LAND AREA = 5.4812 ACRES.
- NUMBER OF EXISTING TRACTS IS 2.
- NUMBER OF PROPOSED RESIDENTIAL LOTS IS 15.
- NUMBER OF PROPOSED TRACTS IS 5.
- CURRENT ZONING: R-A - CLUSTER DEVELOPMENT
- PRIVATE COMMON OPEN SPACE EASEMENTS A & B; AREA=1.6448 AC. (>30% OF TOTAL).
- THE STREET (TRACT PR) WILL BE PRIVATE BY PLAT DEDICATION AND MAINTAINED BY THE HOMEOWNERS' ASSOCIATION OF BOSQUE ANTIGUA. NO LOT SHALL HAVE DIRECT ACCESS TO GABALDON ROAD NW.
- WATER AND SANITARY SEWER SERVICES TO THIS DEVELOPMENT WILL BE VERIFIED AND COORDINATED WITH ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY (ABCWUA).
- THERE IS A DRB SITE PLAN WHICH MUST BE APPROVED PRIOR TO OR CONCURRENTLY WITH THE PRELIMINARY PLAT.

NOTES

- FIELD SURVEY PERFORMED IN AUGUST 1998 AND JUNE 2018 BY ALDRICH LAND SURVEYING
- BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS (CENTRAL ZONE).
- ALL DISTANCES ARE GROUND DISTANCES: U.S. SURVEY FOOT.
- BASIS OF BOUNDARY ARE THE FOLLOWING PLATS AND DOCUMENTS OF RECORD ENTITLED: "TRACT 2A AND 2B, KELLY TRACTS", (06-15-2000, 2000C-160) "KELLY TRACTS", (04-08-1936, C-50) "ALBUQUERQUE RIVER PARKWAY", (R/W 369) ALL BEING RECORDS OF BERNALILLO COUNTY, NEW MEXICO.
- BOUNDARY WILL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
- LOT AREAS LISTED IN PARENTHESES ARE NET AREAS (GROSS AREA LESS ACCESS EASEMENT AND PRIVATE OPEN SPACE EASEMENT).
- MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY, STREET INTERSECTIONS AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION.
- SEE SHEET 2 FOR SETBACK INFORMATION AND ROADWAY SECTIONS.

FLOOD NOTES

BASED UPON SCALING, THIS PROPERTY LIES WITHIN SHADED FLOOD ZONE X WHICH IS DEFINED AS AREAS OF 0.2% ANNUAL CHANCE; AREA OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREA WITH REDUCED FLOOD RISK DUE TO LEVEE AS DETERMINED BY F.E.M.A. AND SHOWN ON FLOOD INSURANCE RATE MAP NO. 35001C03271, DATE 11/4/2016 AND MAP NO. 35001C0331H, DATE 8/16/12.

ACS BENCHMARK

AGRS Aluminum Cap stamped "20-J11 1989" N.M. State Plane Coordinates (Central Zone)
N=1491770.982, E=1506437.513, G-G=0.999680825, DA=-00°15'27.22"
Elevation, in feet (NAVD88) = 5094.032

LEGEND

- N 85°21'32" W 848.89' BEARING AND DISTANCE
(N 85°39'00" W) (848.81') RECORD BEARING AND DISTANCE
△ CENTERLINE MONUMENT - 4" ALUMINUM DISK "LS 7719"

APPROVED FOR MONUMENTATION AND STREET NAMES

CITY SURVEYOR DATE

OWNERSHIP

T. Scott Ashcraft, President
LAS VENTANAS, INC. 7/9/18
DATE

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 Fax. 505-268-2632
2273 C-701-PRELIM PLAT.dwg Aug 27, 2018

PRELIMINARY PLAT
FOR
BOSQUE ANTIGUA

BEING A REPLAT OF
TRACT 2A AND A PORTION OF TRACT 3,
KELLY TRACTS

WITHIN THE TOWN OF ALBUQUERQUE GRANT
PROJECTED SECTION 13, T. 10 N, R. 2 E, NMPM,
MRGCD MAP 38

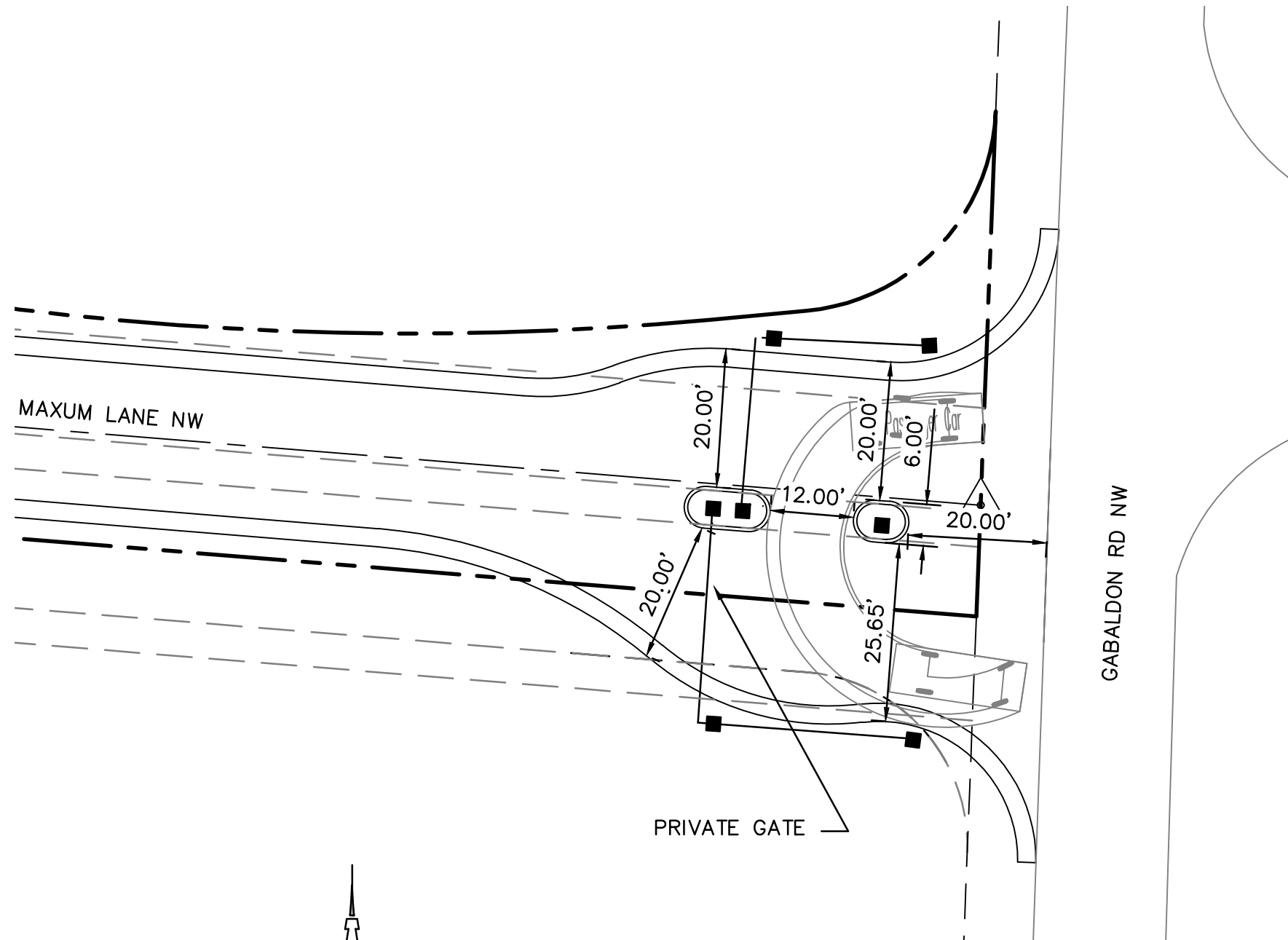
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

JULY, 2018

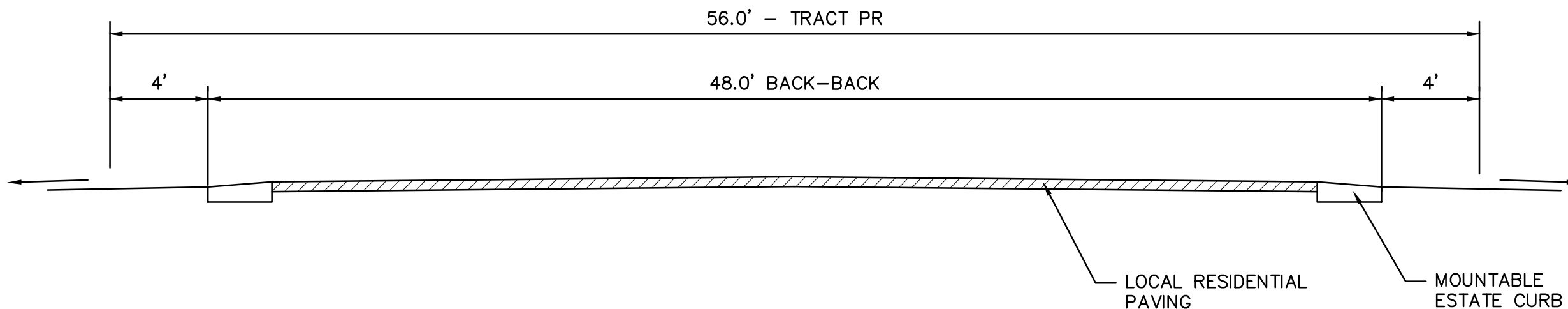
Drainage Facilities Maintained by the Homeowners' Association

Areas designated on the accompanying plat as "drainage easements" for storm water ponding are hereby dedicated by the owner as a perpetual easement for the common use and benefit of the various lots within the subdivisions for the purpose of permitting the conveyance of storm water runoff and the constructing and maintaining of drainage facilities for storm water ponding in accordance with standards prescribed by the City of Albuquerque. No fence, wall, planting, building or other obstruction may be placed or maintained in easement area without approval of the City Engineer of the City of Albuquerque. There also shall be no alteration of the grades or contours in said easement area without the approval of the City Engineer. It shall be the duty of the Homeowners' Association of this subdivision to maintain said drainage easement and facilities at their cost in accordance with standards prescribed by the City of Albuquerque. The City shall have the right to enter periodically to inspect the facilities. In the event said lot owners fail to adequately and properly maintain drainage easement and facilities, at any time following fifteen (15) days written notice to said lot owners, the City may enter upon said area, perform said maintenance, and the cost of performing said maintenance shall be paid by the Homeowners' Association. In the event the Homeowners' Association fail to pay the cost of maintenance within thirty (30) days after demand for payment made by the City, the City may file a lien against all lots in the subdivision for which proportionate payment has not been made. The obligations imposed herein shall be binding upon the owner, his heirs, and assigns and shall run with all lots within this subdivision.

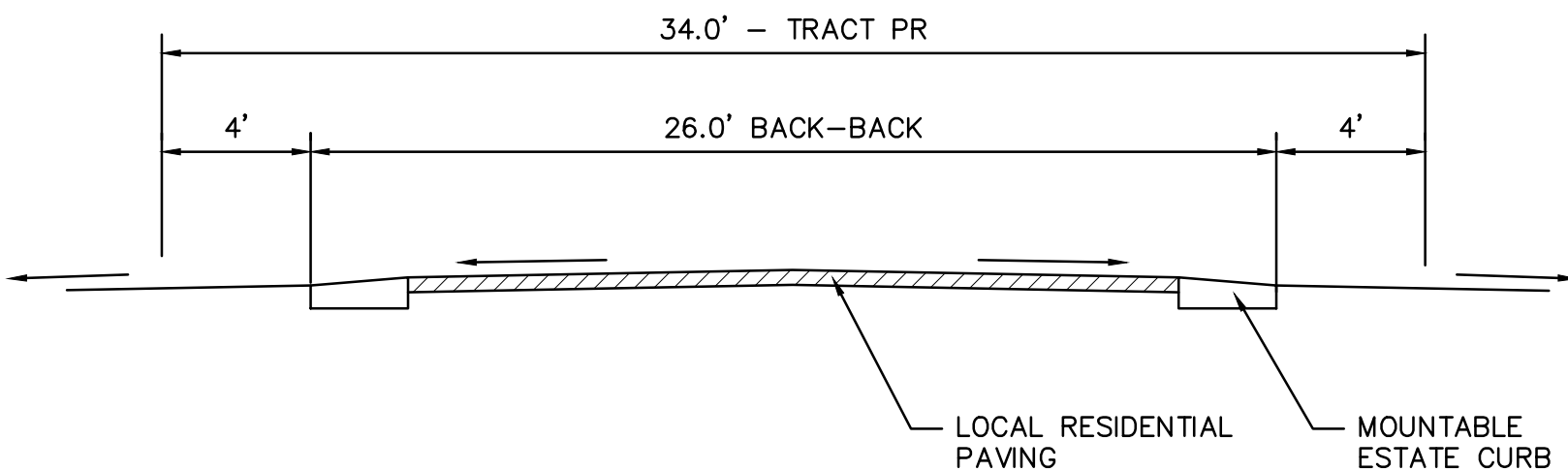
The Grantor agrees to defend, indemnify, and hold harmless, the City, its officials, agents and employees from and against any and all claims, actions, suits, or proceedings of any kind brought against said parties for or on account of any matter arising from the drainage facility provided for herein or the Grantor's failure to construct, maintain, or modify said drainage facility.



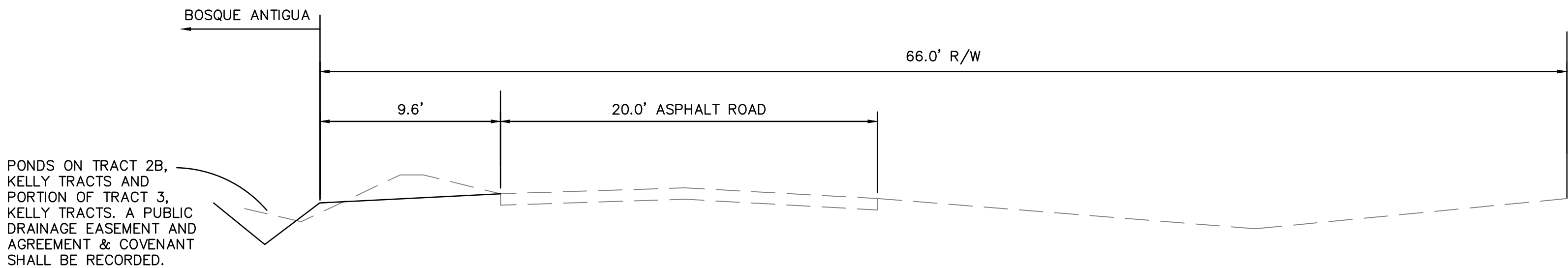
GATED ENTRANCE DETAIL
SCALE: 1"=20'



MAXUM LANE CUL-DE-SAC
SCALE: 1"=5'



MAXUM LANE
SCALE: 1"=5'



**GABALDON ROAD
LOOKING NORTH**
SCALE: 1"=5'

AUGUST 27, 2018

DRAINAGE REPORT

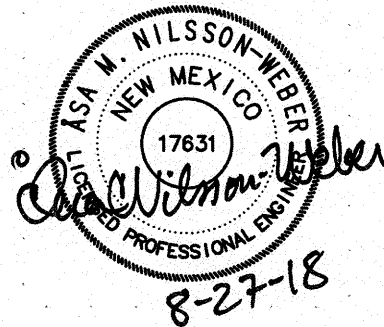
FOR

BOSQUE ANTIGUA

A 15-DWELLING UNIT
SINGLE-DETACHED RESIDENTIAL
PRIVATE COMMONS DEVELOPMENT

ALBUQUERQUE, NEW MEXICO

BY



ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates

*Thomas O. Isaacson, PE & LS
Fred C. Arfman, PE
Åsa Nilsson-Weber, PE*

I&A Project No. 2273

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VICINITY MAP

FIRM MAP

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IV. PROPOSED CONDITIONS

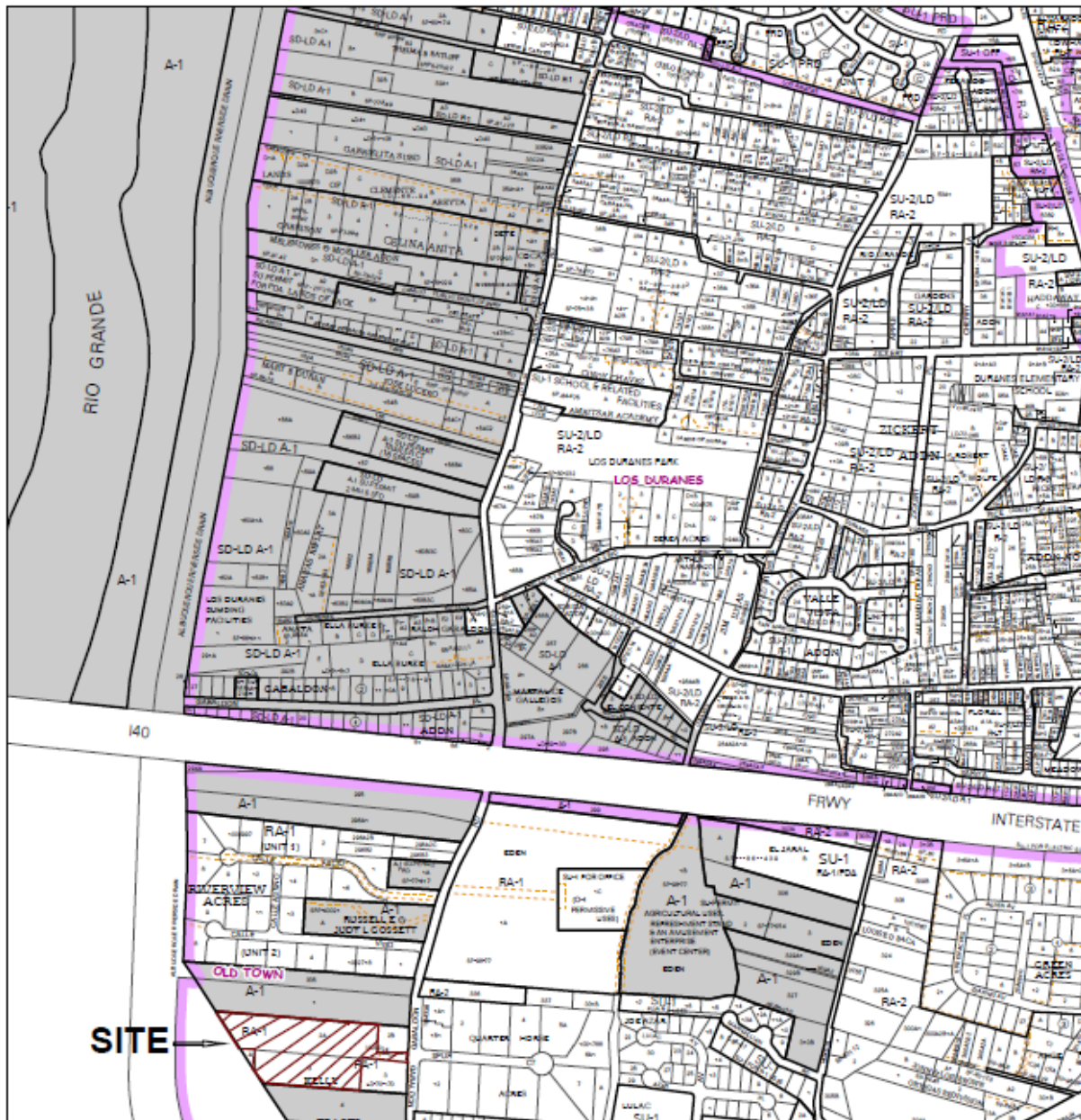
V. SUMMARY & CONCLUSIONS

APPENDICES

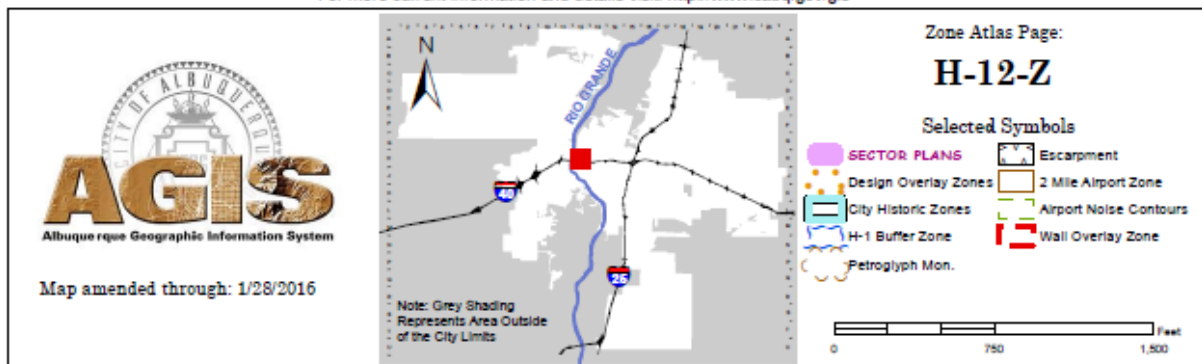
APPENDIX A:	Basin Area and Land Treatment Table
	Drainage Basin Map
	Drainage Calculations
	Pond Volume Exhibit

POCKET

Grading Plan



For more current information and details visit: <http://www.cabq.gov/gis>



VICINITY MAP H-12-Z

National Flood Hazard Layer FIRMette



Legend

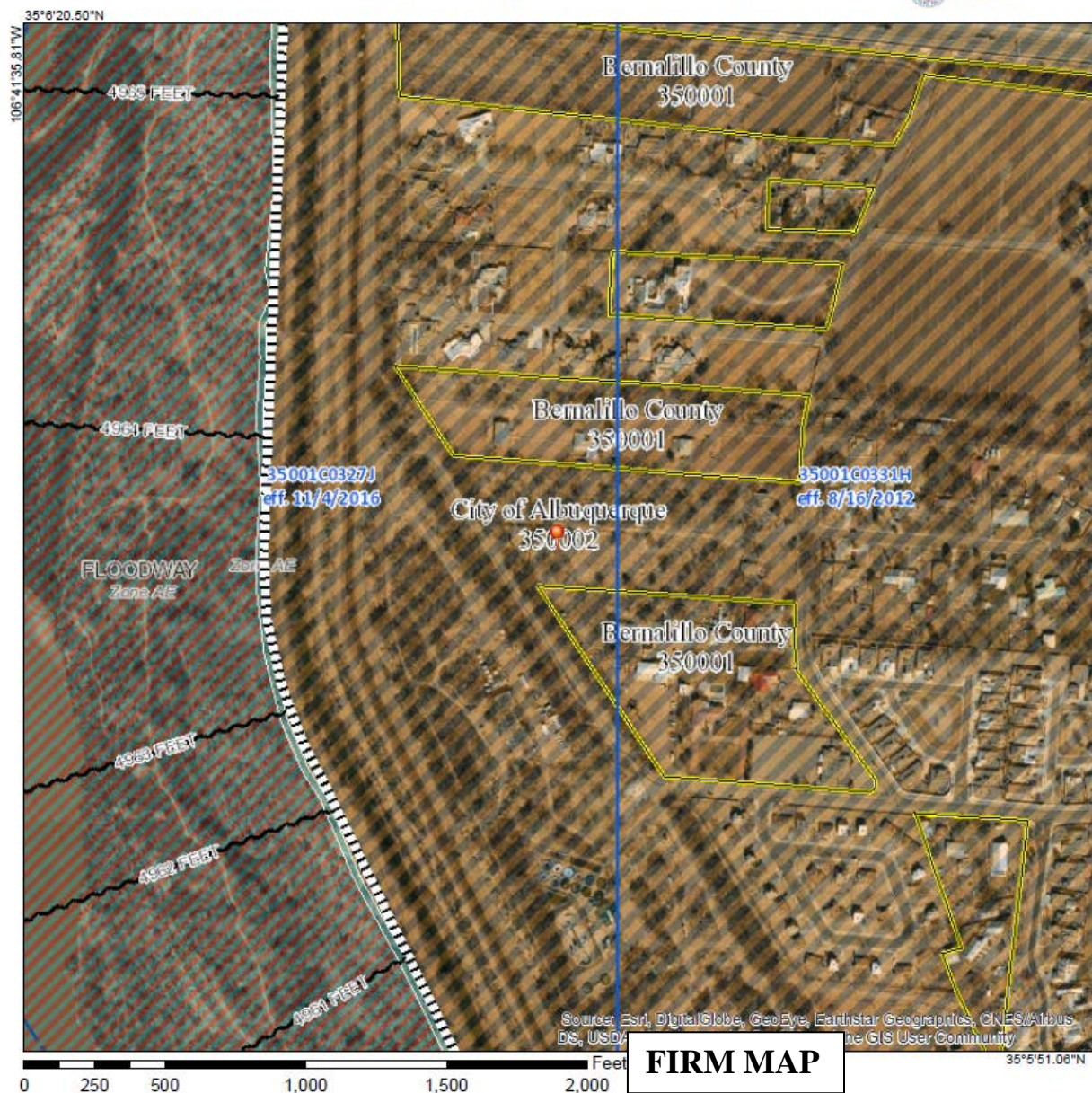
SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS		Without Base Flood Elevation (BFE) Zone A, V, A99
		With BFE or Depth
		Regulatory Floodway Zone AE, AO, AH, VE, AR
OTHER AREAS OF FLOOD HAZARD		0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
		Future Conditions 1% Annual Chance Flood Hazard Zone X
		Area with Reduced Flood Risk due to Levee. See Notes, Zone X
		Area with Flood Risk due to Levee Zone D
OTHER AREAS		Area of Minimal Flood Hazard Zone X
		Effective LOMRs
GENERAL STRUCTURES		Channel, Culvert, or Storm Sewer
		Levee, Dike, or Floodwall
OTHER FEATURES		Cross Sections with 1% Annual Chance Water Surface Elevation
		Coastal Transect
		Base Flood Elevation Line (BFE)
		Limit of Study
		Jurisdiction Boundary
		Coastal Transect Baseline
MAP PANELS		Digital Data Available
		No Digital Data Available
		Unmapped

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The base map shown complies with FEMA's base map accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 6/12/2018 at 6:45:20 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: base map imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.



I. PROJECT INFORMATION

PROPOSED LEGAL DESCRIPTION:

Bosque Antigua

EXISTING LEGAL DESCRIPTION:

Tract 2A and a Portion of Tract 3, Kelly Tracts

ENGINEER: Isaacson & Arfman, P.A.
128 Monroe Street NE
Albuquerque, NM 87108
(505) 268-8828
Attn: Åsa Nilsson-Weber

SURVEYOR: Aldrich Land Surveying
(505) 884-1990
Attn: Timothy Aldrich., NMPLS No. 7719

DEVELOPER: Las Ventanas, NM, Inc.
(505) 362-6824
Attn: Scott Ashcraft

NUMBER OF PROPOSED DWELLING UNITS: 15

TOTAL AREA: 5.4812 Ac.

FLOOD PLAIN: This property lies within shaded flood Zone X which is defined as areas of 0.2% annual chance; area of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and area with reduced flood risk due to levee as determined by FEMA and shown on flood insurance rate map no. 35001C03271, date 11/4/2016 and map no. 35001C0331H, date 8/16/12.

II. INTRODUCTION

This site is comprised of two vacant lots located west of Gabaldon Rd. NW and south of I-40 and is bound on the west by the Bio Park (San Gabriel State Park), on the east by two private residences and on the north and south by private residences, and at the southwest corner by a Water Authority well site. The site is zoned R-A and will be re-developed as a cluster development with 15 detached residential homes with two open space area easements that will be utilized for drainage ponds .

III. EXISTING CONDITIONS

The site is undeveloped. The site is flat and drainage ponds on the property. Gabaldon Rd. is a rural-type road with no curb and gutter or sidewalks. There is a roadside ditch at the east end of the property and an existing 18-inch culvert under the existing drive to the two existing residences and a secondary culvert south of the existing drive. The residence northeast of the site utilizes water in this ditch for irrigation. This existing culvert has been plugged at the south end.

IV. PROPOSED CONDITIONS

The site will be developed as a gated residential cluster development. The two existing residences will be included in the gated community. Easements A and B will be granted as open space (private commons areas) that will be used for ponding the 100-year, 10-day volumes. Maxum Ln. (Tract PR) will be crowned and slope to the north and to the south directing the flows to the retention ponds in the private commons open space easements. The road will have mountable estate curb and no sidewalks. There will be a view fence along the open space easements in the back yards to allow drainage to pass to the ponds. The elevation of the road was set to approximately existing grade to maintain cover over an existing 16-inch waterline in the road that will remain.

Gabaldon Rd. will remain as a rural-type road with no curb and gutter or sidewalks. An existing culvert under the existing drive and to the south will be removed.

The grading & drainage plan is included in the back pocket of this report.

LAND TREATMENTS & BASIN AREAS

Land treatment percent D was calculated for the developed area based on the building pad, driveway and roadway areas, and the remaining area was split between land treatments B and C. See Appendix A for land treatment calculations and basin area table.

HYDROLOGY

Appendix A includes a Drainage Basin Exhibit and the 100-year, 10-day pond volume calculations using the equations from the Drainage Design Criteria for City of Albuquerque Section 22.2, DPM, Vol 2, dated Jan., 1993.

PONDING IN OPEN SPACE EASEMENTS A & B

Pond A in easement A has a capacity of 865 cy at a water surface elevation of 4957, which exceeds the required 10-day storm volume of 855 cy; Pond B in easement B has a capacity of 876 cy at a water surface elevation of 4957.5, which exceeds the required volume of 843 cy; Pond C in Tract A has a capacity of 38 cy at a water surface elevation of 4958.5, which exceeds the required volume of 36 cy. The ponding capacity was calculated using AutoCAD Civil 3D by creating a composite comparison surface with the proposed ground surface and a top-of-pond surface at the water surface elevation (see Appendix A for a pond volume exhibit).

PONDING ON TRACT 2B, KELLY TRACTS AND PORTION OF TRACT 3, KELLY TRACTS

A v-ditch shall be graded on the two offsite properties to store the 100-yr., 10-day volume from Gabaldon Rd. Tract 2B uses water in the ditch for irrigation, but the existing culvert under the drive has been plugged since many years back so that no flows enter the ditch on Portion of Tract 3. Therefore, the culvert shall be removed. The pond volumes were calculated by the cross-sectional area of the ditch and the length (see pond volume exhibit in Appendix A). A public drainage easement and agreement & covenant shall be recorded. The easements shall be maintained by the Homeowners' Association.

FIRST FLUSH REQUIREMENTS

The first flush requirement will be met by directing flows to the pond areas in the private common open space easements.

V. SUMMARY & CONCLUSIONS

The site will be developed with 15 detached residential homes and a private, gated road. Open space easements A & B will be designated as a private commons area with private ponding areas for flows from the subdivision.

Based on this report, it is recommended that the following improvements be constructed:

- Paved street with crown and mountable estate curb.
- Retention ponds in easements A & B.
- Retention ponds on offsite Tract 2B, Kelly Tracts and Portion of Tract 3, Kelly Tracts with public drainage easement and agreement & covenant.
- Perimeter walls that are concrete filled and water proofed to one foot above the water surface elevation, where applicable.

APPENDIX A

Basin Area and Land Treatment Table

Drainage Basin Exhibit

Drainage Calculations

Pond Volume Calcs Exhibit

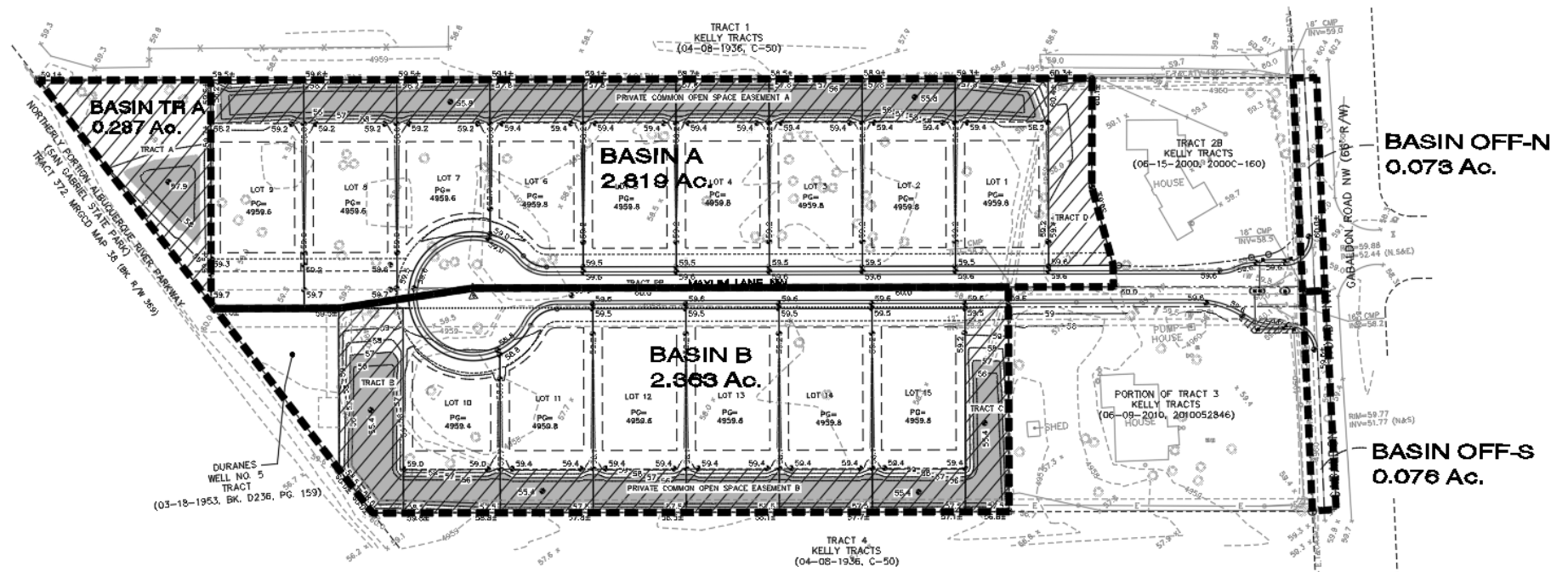
BOSQUE ANTIGUA

**BASIN AREA AND LAND TREATMENT TABLE--
PROPOSED CONDITIONS**

BASIN	AREA		LAND TREATMENT (%)				Required V100-10 day	Required V100-10 day	Provided V100-10 day
	SF	AC.	A	B	C	D	CF	CY	CY
A	122,810	2.819	0	24	29	47	23,086	855	865
B	102,911	2.363	0	18	21	61	22,764	843	876
TR A	12,489	0.287	0	70	30	0	921	34	38
TOTAL	238,210	5.469					46,771	1,732	1,779
OFF-N	3,188	0.073	0	22	22	56	672	25	25
OFF-S	3,308	0.076	0	18	21	61	705	26	28

IMPERVIOUS AREA CALCULATION						
BASIN	TOT. AREA	ROAD	PAD	DRIVEWAY	TOTAL IMP	%D
A	122,810	9,315	44,226	3,600	57,141	47%
B	102,911	28,486	32,376	2,400	63,262	61%
OFF-N	3,188	1,813			1,813	57%
OFF-S	3,308	1,929			1,929	58%

DRAINAGE BASIN EXHIBIT



Job Name:	Bosque Antigua
Client:	Las Ventanas NM
Date Prepared:	6/26/2018
Date Modified:	8/26/2018
Precipitation Zone:	2

For Zone 2

EA =	0.53	QpA =	1.56
EB =	0.78	QpB =	2.28
EC =	1.13	QpC =	3.14
ED =	2.12	QpD =	4.70

BASIN NO.	A	DESCRIPTION
Area of basin flows =	122810	SF = 2.8 Ac.
The following calculations are based on Treatment areas as shown in table to the right		
Sub-basin Weighted Excess Precipitation (see formula above)		LAND TREATMENT
Weighted E = 1.51 in		A = 0%
Sub-basin Volume of Runoff (see formula above)		B = 24%
V ₃₆₀ = 15467 CF		C = 29%
Sub-basin Peak Discharge Rate: (see formula above)		D = 47%
Q _P = 10.3 cfs		
BASIN NO.	B	DESCRIPTION
Area of basin flows =	102911	SF = 2.4 Ac.
The following calculations are based on Treatment areas as shown in table to the right		
Sub-basin Weighted Excess Precipitation (see formula above)		LAND TREATMENT
Weighted E = 1.67 in		A = 0%
Sub-basin Volume of Runoff (see formula above)		B = 18%
V ₃₆₀ = 14329 CF		C = 21%
Sub-basin Peak Discharge Rate: (see formula above)		D = 61%
Q _P = 9.3 cfs		
BASIN NO.	TR A	DESCRIPTION
Area of basin flows =	12489	SF = 0.3 Ac.
The following calculations are based on Treatment areas as shown in table to the right		
Sub-basin Weighted Excess Precipitation (see formula above)		LAND TREATMENT
Weighted E = 0.89 in		A = 0%
Sub-basin Volume of Runoff (see formula above)		B = 70%
V ₃₆₀ = 921 CF		C = 30%
Sub-basin Peak Discharge Rate: (see formula above)		D = 0%
Q _P = 0.7 cfs		
BASIN	OFF-N	DESCRIPTION
Area of basin flows =	3188	SF = 0.073 Ac.
The following calculations are based on Treatment areas as shown in table to the right		
Sub-basin Weighted Excess Precipitation (see formula above)		LAND TREATMENT
Weighted E = 1.62 in		A = 0%
Sub-basin Volume of Runoff (see formula above)		B = 22%
V ₃₆₀ = 430 CF		C = 21%
Sub-basin Peak Discharge Rate: (see formula above)		D = 57%
Q _P = 0.3 cfs		
BASIN NO.	OFF-S	DESCRIPTION
Area of basin flows =	3308	SF = 0.076 Ac.
The following calculations are based on Treatment areas as shown in table to the right		
Sub-basin Weighted Excess Precipitation (see formula above)		LAND TREATMENT
Weighted E = 1.63 in		A = 0%
Sub-basin Volume of Runoff (see formula above)		B = 21%
V ₃₆₀ = 450 CF		C = 21%
Sub-basin Peak Discharge Rate: (see formula above)		D = 58%
Q _P = 0.3 cfs		

Pond in Easement A

Note: For ponds which hold water for longer than 6 hours, longer duration storms are required to establish runoff volumes. Since the additional precipitation is assumed to occur over a long period, the additional volume is based on the runoff from the impervious areas only.

V ₃₆₀ (from previous calculation)	15467
Area Treatment D (SF)	57141
Zone	2

For 10 Day Storms:

$$V_{10\text{day}} = V_{360} + A_D * (P_{10\text{day}} - P_{360}) * 43560 \text{ SF/AC}$$

V ₃₆₀	=	15467
A _D (SF)	=	57141
Zone	=	2
P _{10day}	=	3.95
P ₃₆₀	=	2.35

V ₃₆₀	=	15467
+ imp. area	=	7619

Total Pond Volume (V _{10 day})	=	23086
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Pond in Easement B

Note: For ponds which hold water for longer than 6 hours, longer duration storms are required to establish runoff volumes. Since the additional precipitation is assumed to occur over a long period, the additional volume is based on the runoff from the impervious areas only.

V ₃₆₀ (from previous calculation)	14329
Area Treatment D (SF)	63262
Zone	2

For 10 Day Storms:

$$V_{10\text{day}} = V_{360} + A_D * (P_{10\text{day}} - P_{360}) * 43560 \text{ SF/AC}$$

V ₃₆₀	=	14329
A _D (SF)	=	63262
Zone	=	2
P _{10day}	=	3.95
P ₃₆₀	=	2.35

V ₃₆₀	=	14329
+ imp. area	=	8435

Total Pond Volume (V _{10 day})	=	22764
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Pond in OFF-N

Note: For ponds which hold water for longer than 6 hours, longer duration storms are required to establish runoff volumes. Since the additional precipitation is assumed to occur over a long period, the additional volume is based on the runoff from the impervious areas only.

V ₃₆₀ (from previous calculation)	430
Area Treatment D (SF)	1817
Zone	2

For 10 Day Storms:

$$V_{10\text{day}} = V_{360} + A_D * (P_{10\text{day}} - P_{360}) * 43560 \text{ SF/AC}$$

V ₃₆₀	=	430
A _D (SF)	=	1817
Zone	=	2
P _{10day}	=	3.95
P ₃₆₀	=	2.35

V ₃₆₀	=	430
+ imp. area	=	242

Total Pond Volume (V _{10 day})	=	672
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Pond in OFF-S

Note: For ponds which hold water for longer than 6 hours, longer duration storms are required to establish runoff volumes. Since the additional precipitation is assumed to occur over a long period, the additional volume is based on the runoff from the impervious areas only.

V ₃₆₀ (from previous calculation)	450
Area Treatment D (SF)	1919
Zone	2

For 10 Day Storms:

$$V_{10\text{day}} = V_{360} + A_D * (P_{10\text{day}} - P_{360}) * 43560 \text{ SF/AC}$$

V ₃₆₀	=	450
A _D (SF)	=	1919
Zone	=	2
P _{10day}	=	3.95
P ₃₆₀	=	2.35

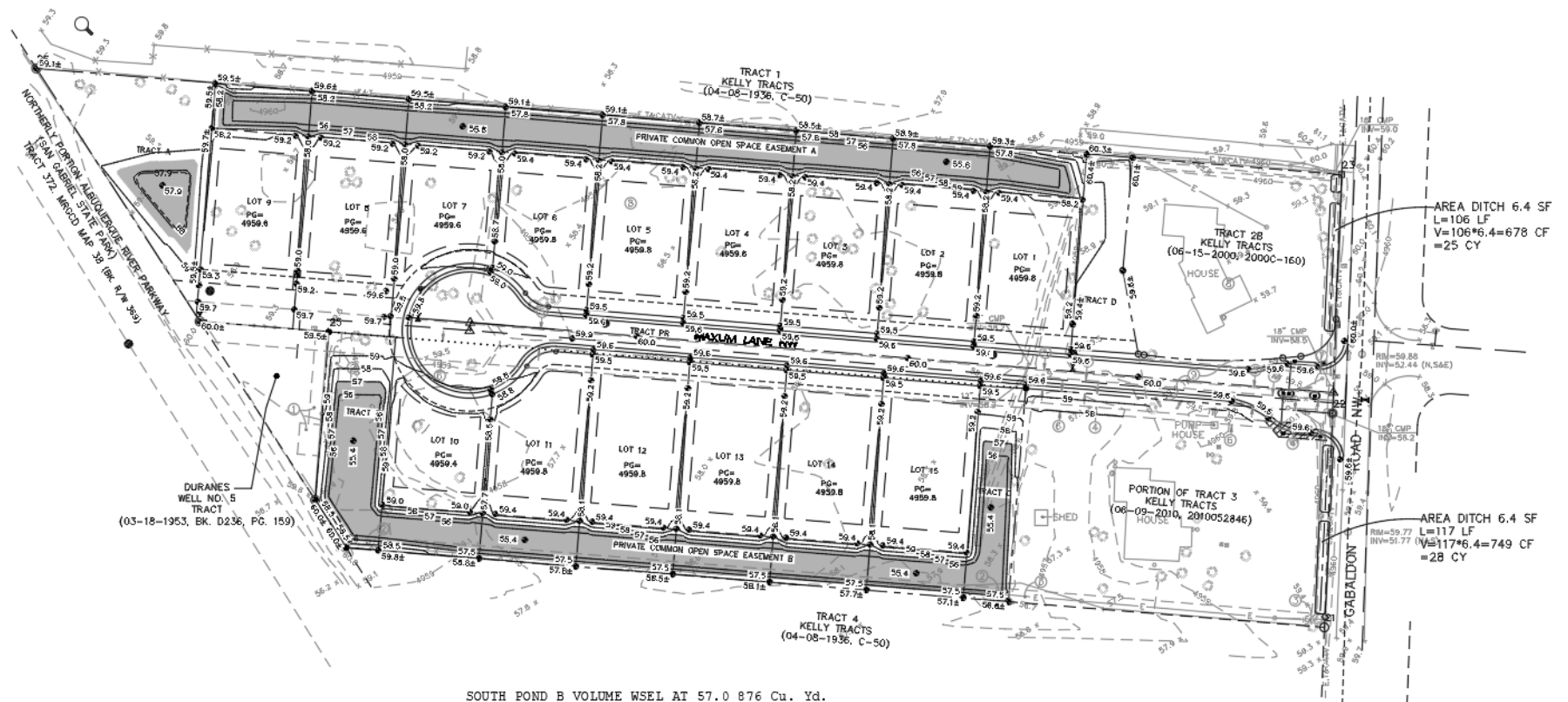
V ₃₆₀	=	450
+ imp. area	=	256

Total Pond Volume (V _{10 day})	=	705
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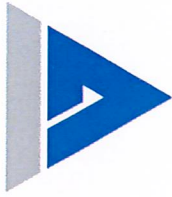
AUTOCAD CIVIL 3D POND VOLUME CALCS EXHIBIT

TRACT A POND C VOLUME WSEL AT 58.5 38 Cu. Yd.

NORTH POND A VOLUME WSEL AT 57.5 865 Cu. Yd.



SOUTH POND B VOLUME WSEL AT 57.0 876 Cu. Yd.



August 27, 2018

Mr. Dana Peterson, PE
Senior Engineer, Planning Dept.
City of Albuquerque
600 2nd Street NW
Albuquerque, NM 87103

**RE: G11D071 – Bosque Antigua Revised Grading Plan & Drainage Report
Zone Atlas Map: G-11**

Dear Mr. Peterson:

Note that zone atlas for this site is H12—is the Hydrology File No. you referenced incorrect?

Please see attached for a revised drainage report and grading & drainage plan addressing your comments from July 27, 2018 (attached).

1. A ditch is shown on the two existing properties to retain 100-yr, 10-day volumes from Gabaldon Rd. Calculations are included in report.
2. Finish floor elevations are shown for the two existing residences. Buildings are elevated two feet min. from the pond water surface elevations.
3. Three cottonwoods will remain in Tract A—as noted on grading plan.
4. Pond labeling has been modified.
5. There will be a perimeter wall along the east line of Tract C, and there will be a perimeter wall along the south line of Tract C. The wall will be filled with concrete to one foot above water surface elevation and water proofed.
6. A perimeter wall detail was added along with notes stating that wall will need to be constructed on this property, including footings, unless written permission from adjacent property owner is obtained to construct wall on property line.
7. Hatch of water surface was “moved to back” so existing contours show up.
8. The plat drainage easement was added on the preliminary plat.
9. Noted.
10. Preliminary plat is attached.

Mr. Dana Peterson
August 27, 2018
Page 2

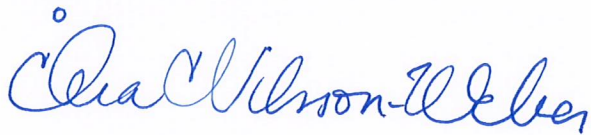
The drainage covenant on Tract 2 and 2B has been provided. The easement document that created the two easements labeled 4 was provided to Doug Hughes at DRB—easements were described as two separate 10' easements in the same document.

The two ponds along Gabaldon will be on private property (two existing residences). I will note on the preliminary plat and on the infrastructure list that a public drainage easement and an agreement and covenant shall be recorded.

If you have questions regarding this submittal, please call me at 268-8828 or email me at asaw@iacivil.com. I will be out of the office from 8/29/18, returning 9/13/18. If there are any outstanding comments that will need to be addressed prior to preliminary plat approval, please contact Genny Donart at gennyd@iacivil.com. She will attend the site plan/preliminary plat hearing for this project on September 12.

Thank you.

Sincerely,
ISAACSON & ARFMAN

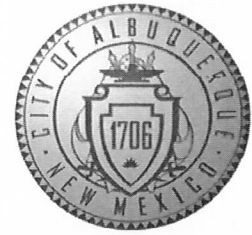


Åsa Nilsson-Weber

Attachments

CITY OF ALBUQUERQUE

Planning Department
David Campbell, Director



Mayor Timothy M. Keller

July 27, 2018

Åsa Nilsson-Weber, P.E.
Isaacson & Arfman, P.A.
128 Monroe St. N.E
Albuquerque, NM 87108

RE: **Bosque Antigua
Gabaldon Dr NW
Grading and Drainage Plan
Engineer's Stamp Date 6/26/18
Hydrology File: G11D071**

Dear Ms. Nilsson-Weber:

PO Box 1293

Based on the submittal received on 7/20/18 the above-referenced submittal cannot be approved until the following are corrected:

Albuquerque

Prior to Preliminary Plat/ Grading Permit:

NM 87103

www.cabq.gov

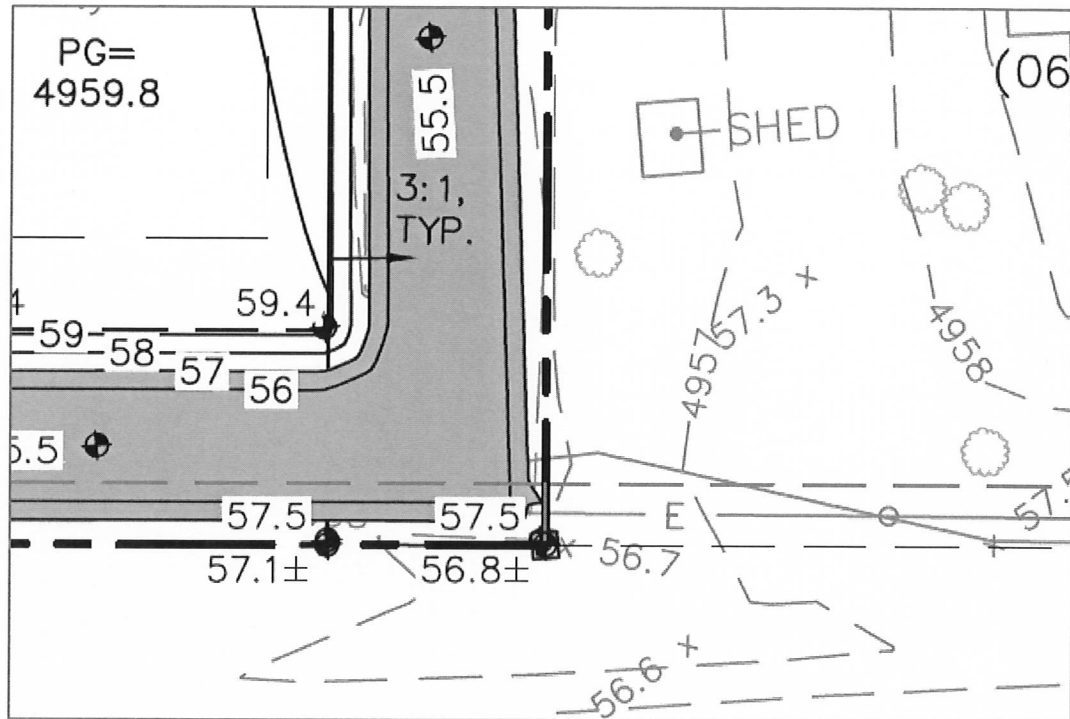
1. Show the frontage improvements required for this project. The existing ditch will need to be cleaned-out and excavated to provide 100-yr, 10-day ponding for the frontage of Gabaldon half-street draining to it. Include supporting calculations.
2. Provide the floor elevations of the two existing residences; ensure they are adequately elevated above the proposed water surface.
3. Will the mature cottonwoods be removed? There are quite a few that would encroach on the proposed ponds if they remain. This would be acceptable, but the grading plan will need to be adapted to account for grading around them and still provide adequate storage volume.
4. The labeling on the ponds is unclear. Annotate the total pond volume and the $V_{100-10day}$ volume; label that the WSEL shown/provided is for the total pond volume.
5. There is a low spot at the southeast corner of the south pond where the water surface will likely spill over into the neighbors to the east and south. Provide a solution for this (i.e: floodwall, berm, or fill-in the hole with their written permission):

CITY OF ALBUQUERQUE

Planning Department
David Campbell, Director



Mayor Timothy M. Keller



PO Box 1293

Albuquerque

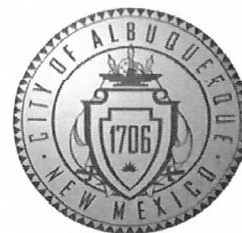
NM 87103

www.cabq.gov

6. Section B-B shows a new garden wall on the property line. Either inset all new walls (and their footers) from the property lines or provide written and signed permission from the neighbor for the encroachment.
7. Please reduce the hatch density of the water surface so the existing contours can be seen (or change the existing contours to something more visible).
8. Include the Plat Drainage Easement Note on the preliminary plat. Use of this note removes the need to provide a separate covenant for the ponds.
9. This project requires an ESC Plan, submitted to the Stormwater Quality Engineer (Curtis Cherne PE, ccherne@cabq.gov or 924-3420).
10. Please include a copy of the proposed plat with the resubmittal.
11. For Information. Hydrology and Transportation files are available online through the City's GIS Viewer 2.0: <https://www.cabq.gov/gis/advanced-map-viewer>. Turn on the *HydroTrans* layer: *Operational Layers* > *Albuquerque Layers* > *Sites* > *HydroTrans*. Select the desired polygon from the map and click *Link to Project Documents*.

CITY OF ALBUQUERQUE

Planning Department
David Campbell, Director



Mayor Timothy M. Keller

If you have any questions, please contact me at 924-3695 or dpeterson@cabq.gov.

Sincerely,

Dana Peterson, P.E.
Senior Engineer, Planning Dept.
Development Review Services

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

DEVELOPMENT REVIEW BOARD

HYDROLOGY SECTION

Dana Peterson, Senior Engineer 924-3995 dpeterson@cabq.gov

DRB Project Number: 1001228

Hearing Date: 8-22-2018

Project: Kelly Tracts

Agenda Item No:

TYPE OF REQUEST:

<input type="checkbox"/> Sketch Plat	<input type="checkbox"/> Minor Preliminary / Final Plat	<input checked="" type="checkbox"/> Preliminary Plat	<input type="checkbox"/> Final Plat
<input type="checkbox"/> Temp Sidewalk Deferral	<input checked="" type="checkbox"/> Sidewalk Waiver/Variance	<input type="checkbox"/> Site Plan for Building Permit	<input type="checkbox"/> Site Plan for Subdivision
<input type="checkbox"/> SIA Extension (2yr)	<input type="checkbox"/> SIA Extension - Sidewalk	<input checked="" type="checkbox"/> Vacation of Public Easement	<input type="checkbox"/> Vacation of Public Right of Way

ENGINEERING COMMENTS:

- Hydrology has no objection to the Variances or the Vacations.
- Provide a copy of the drainage covenant on Tract 2 and 2B.
- An approved Grading and Drainage plan is required.
- Why are there two 'easement 4's'?
- Pond A and Pond B need to include the Plat Drainage Easement Note.
- Pond A and Pond B need to include cross lot drainage easements (may be incorporated into the 'Open Space' easements).
- The infrastructure needs to include drainage improvements:
 - Pond A and Pond B
 - Ditch/ponding along Gabaldon (may need drainage easement w/ plat drainage easement note, if it's on private property).
 - Additional infrastructure may be identified, pending approval of the grading and drainage plan

RESOLUTION/COMMENTS:

Parks & Rec:

Water:

Transportation:

Planning:

☐ APPROVED
☐ DENIED

DELEGATED TO: ☐ TRANS ☐ HYD ☐ WUA ☐ PRKS ☐ PLNG

Delegated For: _____

SIGNED: ☐ I.L. ☐ SPSP ☐ SPBP ☐ FINAL PLAT

DEFERRED TO _____