

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
PLANNING DIVISION

DEVELOPMENT REVIEW BOARD  
September 28, 1993  
S-93-30/DRB-93-104/SV-93-33

S-93-30 Ryals Engineering, agents for Jane Davidson, request a Sidewalk  
DRB-93-104 Variance and Preliminary Plat approval (includes grading approv-  
SV-93-33 al) for approximately 20 lots on Tracts 2 & 3, Kelly Tracts Sub-  
(NW) division, zoned RA-2 (City) and located on the west side of  
Gabaldon Rd NW between Mountain Rd NW and Interstate Route 40,  
containing approximately 6.94 acres. (H-12, J-12)

Transportation Planning No comments received.

Police Department "No adverse comment."

PNM PNM currently reviewing the proposed plat. PNM will contact  
applicant with its comments on easement needs as soon as possible.

U.S. West Communications No comments received.

Jones Intercable Jones Intercable has determined that there is a  
conflict with existing cable facilities. Attached  
to the poles in the easement where vacation of  
R.O.W. is required, is our plant. The appropriate  
agent for the requestor to contact is Karen Shore at  
761-6225 as soon as possible. It is Jones  
Intercable's position not to grant any vacation of  
Public Right-of-Way or utility easement until  
further communication with requestor is accomplished.

Community Economic Development "No adverse comment."

COG "No adverse comment."

Zoning Enforcement "No adverse comment."

APS The 20 homes in the subdivision will affect Reginald Chavez  
Elementary School, Washington Middle School, and Albuquerque High  
School. Although the development will not generate substantial  
numbers of children, the middle and high school facilities in the  
area are approaching or are at capacity. The current APS  
Facilities Master Plan includes no new schools for the area.  
Boundary changes, transportation to less crowded facilities  
and/or combinations of the aforementioned strategies may be  
employed to reduce enrollment at the above schools.

Real Estate "No adverse comment."

Environmental Health A topsoil disturbance permit from the Environmental  
Health Department must be obtained  
(Albuquerque/Bernalillo County Air Quality Control  
Board Regulation No. 8) prior to any grading or  
earth moving activities involving 3/4 acre or more.  
Revegetation or stabilization of disturbed areas can  
be coordinated as part of the permitting process.

Environmental Health

We would prefer to see the provision of facilities for pedestrians unless it is clearly not feasible. We also recommend that consideration be given to provision of an access to the west of the subdivision to allow for connection to the River Park and the existing riverside trail. This trail is identified by the Trails and Bikeways Facility Plan as a major facility with the potential to serve commuting purposes as well as recreational needs. It would appear that a pedestrian access easement can be placed along the southern edge of tract 9 adjacent to the Duranes Well No. 5 with little impact to the platting.

Gas Company of New Mexico

Approves.

AMAFCA This area is excluded from AMAFCA's Drainage Policy (Resolution No. 1980-15). See Public Works/Hydrology Division comments.

Parks and General Services

The Developer under Ordinance 7-1976, as amended, is required to dedicate land which is suitable for development. The City may in lieu of dedication of land accept a cash payment of an amount equal to the value of the land required. At the time of issuance of building permits, the developer shall be required to pay a development fee.

Utilities Development

No adverse comment on the Sidewalk Variance. A water and sanitary sewer availability statement was issued on February 4, 1993 for the proposed development. It specified the requirements for providing water and sanitary sewer service which must be incorporated into the infrastructure list. Discussion is necessary concerning the relocation of the existing well line.

City Engineering

An approved drainage report is required for Preliminary Plat approval. City Surveyor's review and approval is required for Preliminary Plat approval. An approved Infrastructure Listing is required for Preliminary Plat approval. An executed Subdivision Improvements Agreement with financial guarantees are required for Final Plat sign-off.

Transportation Develop.

1. What infrastructure exists on Gabaldon? 2. How does this street line up with opposing street? 3. Minor comments on the infrastructure list. 4. Why a private street? 50 lots are needed for a stable homeowners association. 5. No objection to the deferral of sidewalk construction.

June 2, 1993

John Curtin  
Dan Hogan  
Fred Aguirre  
Fred Denney

S.I.A. Subdivision Improvement Agreement.  
Financial Guaranty released when  
grading certified.

S.A.D. must include grading now.

County { Rio Grande Estate drains to ditches.  
N. Rio Grande Estate w/ side ditches

If street is private it would  
avoid the problems associated  
with mixing public & private water.

Fred D. will discuss a private  
road scheme with his client.



PROJECT TITLE: CASAS A Rio Lobbo. ZONE ATLAS/DRNG. FILE #: 1-12/D15  
 DRB #: 93-104 EPC #: \_\_\_\_\_ WORK ORDER #: \_\_\_\_\_  
 LEGAL DESCRIPTION: Kelly Tracts 2 & 3  
 CITY ADDRESS: Abaldon NW  
 ENGINEERING FIRM: Fred Denney CONTACT: Fred  
 ADDRESS: 1237 Western Meadows Rd NW PHONE: 898-1503  
 OWNER: NAME Davidson CONTACT: Enar  
 ADDRESS: % Engineer PHONE: 898 1503  
 ARCHITECT: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 SURVEYOR: Ron Tyree CONTACT: Ron  
 ADDRESS: 10, ? Lomas W6 PHONE: 293 7070  
 CONTRACTOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

## TYPE OF SUBMITTAL:

- ☒ DRAINAGE REPORT  
☐ DRAINAGE PLAN  
☐ CONCEPTUAL GRADING & DRAINAGE PLAN  
☐ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERTIFICATION  
☐ OTHER

## PRE-DESIGN MEETING:

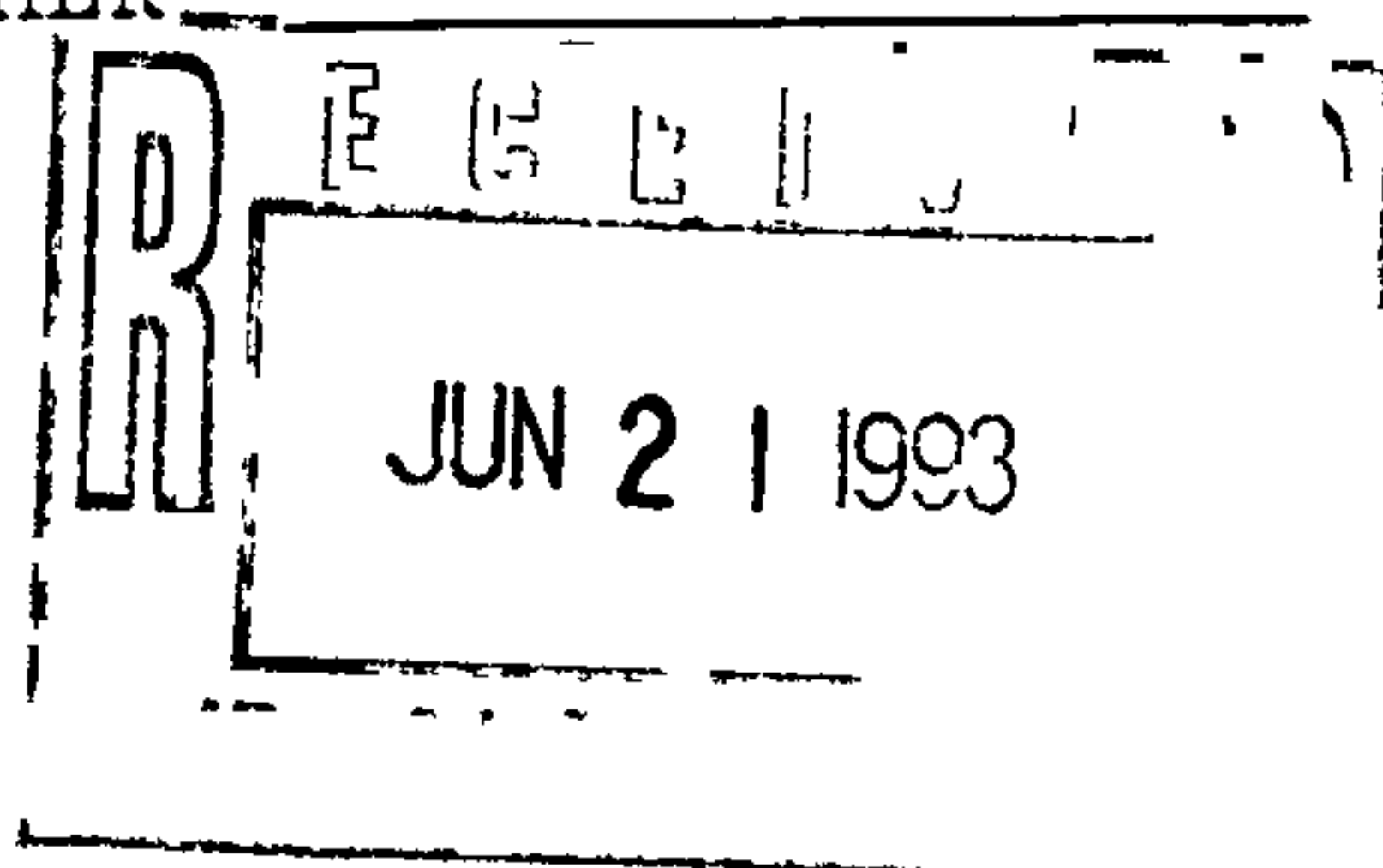
- ☒ YES  
☐ NO  
☐ COPY PROVIDED

## CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL  
☒ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D. APPROVAL  
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☐ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ S.A.D. DRAINAGE REPORT  
☐ DRAINAGE REQUIREMENTS  
☐ OTHER (SPECIFY)

DATE SUBMITTED:

BY:

18 June 93Fred Denney

**FRED DENNEY**

---

June 17, 1993

Mr. Fred Aguirre  
Hydrology  
Department of Public Works  
City of Albuquerque, NM

Re: Drainage Report  
Casas a Rio Addition  
DRB #93-104

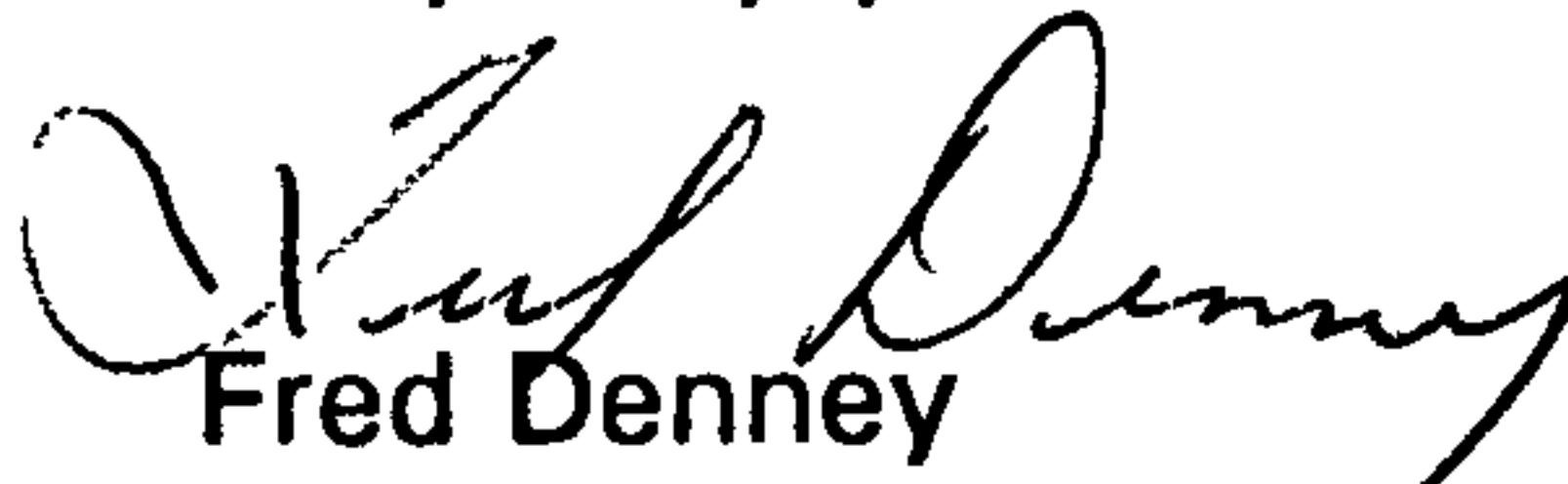
Dear Fred:

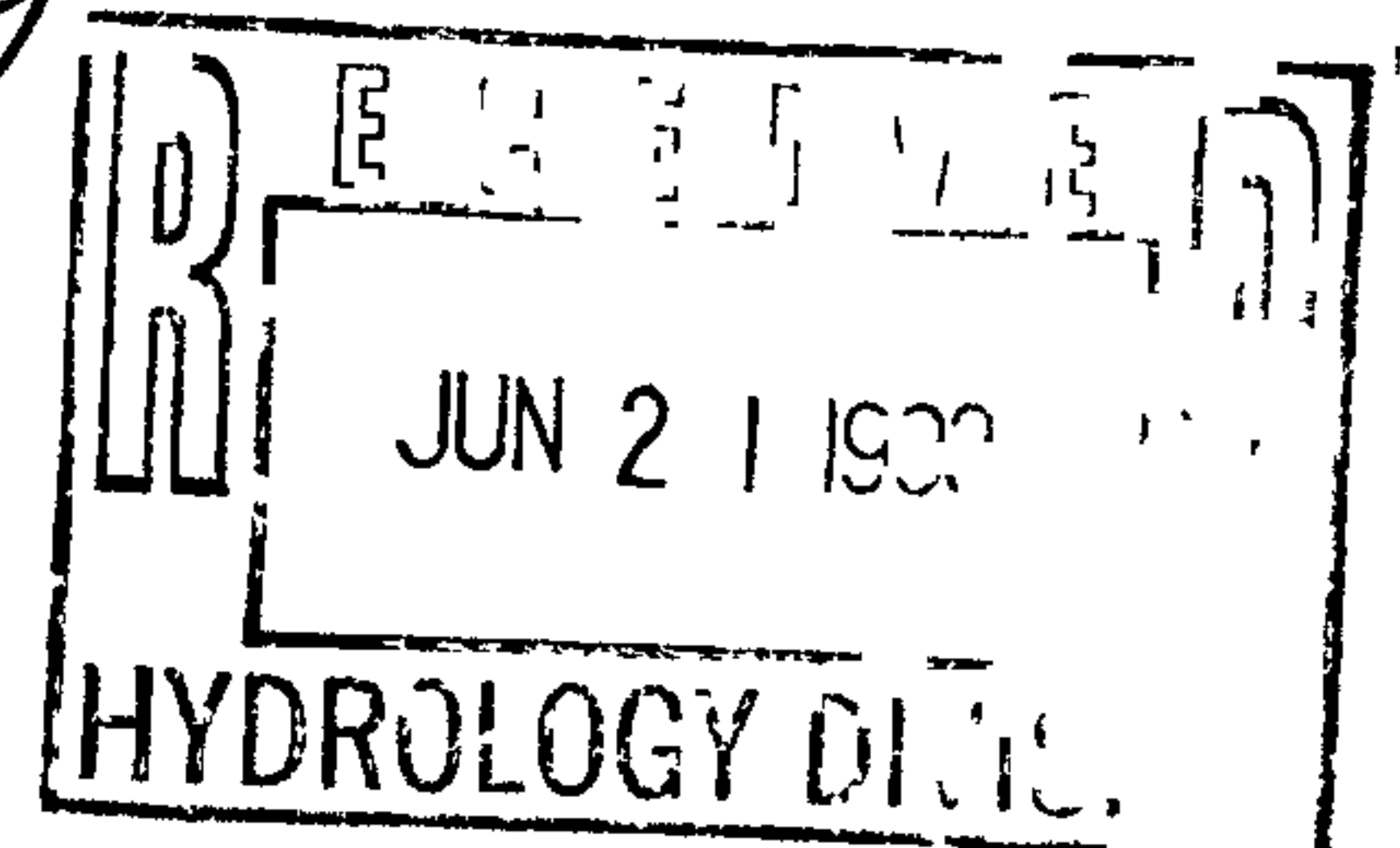
Transmitted herewith is a revised report.

You will note that the street has been regraded and new covenants written to reflect decisions reached at our meeting of June 2. Also I have shown volume computations showing that the 100 year rain, including street runoff, can be retained on the lots.

The developer has agreed to construct a perimeter wall although I would like to discuss details of that with you for the line along Duranes Well #5 and also along Gabaldon. As you can see using this treatment and making the street private to allow it to drain to private property precludes the necessity of any work on individual lots prior to house construction.

Very truly yours,

  
Fred Denney



DRB #93-104

Revised May 20, 1993

**Drainage Report  
Casas a Rio Addition**

**1. General**

The Subdivision consists of approximately 6 acres located about 800 feet north of Mountain Road NW, bounded on the east by Gabaldon NW and on the west by Riverview Park, adjacent to the Rio Grande.

The area is locally described as bosque, characterized by relatively dense growth of cottonwood, salt cedar, russian olive and various other indigenous plants and grasses.

The soil is typical of the Rio Grande Valley, particularly of those areas previously occupied by the Rio Grande. Soil is generally sandy, with some mixture of clay or adobe material.

As now constituted, no runoff enters the property or exits from it. All rainfall is confined within its boundaries and penetrates into the soil quite rapidly.

**2. Proposed Treatment**

No drainage treatment is proposed. Restrictive covenants will require that all rain falling on each lot shall be 100% retained on that lot, including runoff from the street.

Roadway grades have been set such that the street is flat longitudinally with a 0.4" crown. Three grade changes are required, with each of these contained within one lot, so no roadway drainage will enter any lot except those fronting upon it.

The 100 year rainfall is 2.3" (Noah Atlas 2), typical lot is 75 x 150 or 0.258 acres. A 2000 ft.<sup>2</sup> house is assumed all to be drained to the backyard. A 50' set back is assumed. This produces a gross area in front of the house of 5250 ft.<sup>2</sup> of which 2500 ft.<sup>2</sup> is impervious street, sidewalk or driveway leaving 2750 ft.<sup>2</sup> of pervious



surface. Assuming no percolation, ponding to an average depth of 4.4" is required or 1008 ft.<sup>3</sup>. In the typical lot drainage plan shown as Exhibit A to the proposed Covenants a total volume of 1305 ft.<sup>3</sup> can be stored in the front yard area. Actually, it is unlikely that any water will ever pond since infiltration rates exceed 4" per hour.

In the example shown it will be noted that a maximum elevation 0.5' below finished floor is provided. In the 75' x 75' area of the back yard plus the 800 ft.<sup>2</sup> area alongside the house produces a pervious area in the back and side yards of 6425 ft.<sup>2</sup>. The 2000 ft.<sup>2</sup> house will drain to the back yard. An average ponding depth of 3" will store the total of 1614 ft.<sup>2</sup> of rain contained in the 100 year rain. Again it is unlikely any ponding will ever occur.

Since City Drainage Policy precludes draining public streets to private property and since that policy currently will not allow construction of roadside ditches or swales to contain street runoff, the owner has decided that the street will be private. It will be maintained by the Home Owners Association. Also, the owner will construct a masonry wall on the perimeter of the property. Attached herewith is the proposed street profile and a copy of the plat with contours and minimum floor elevations shown. Also attached is the proposed drainage covenant which will be filed concurrently with the plat. It will be noted that the drainage covenant is only a part of comprehensive covenant conditions which will be filed.

### **Drainage Covenant**

The owner of each lot in this Subdivision shall construct and maintain improvements on the lot in a manner such that no runoff shall exit the lot.

The owner (builder) shall construct a masonry or concrete barrier, at least 8" above adjacent grade, along lot lines from the front of the house to the rear lot line. If masonry walls are provided a properly designed foundation shall be constructed below the masonry. If wood or metal fencing is provided, a poured concrete stem wall at least 8" above grade may be used in lieu of masonry. In that event appropriate inserts shall be provided to accommodate framing for the fence.



The Home Owners Association acting through its Architectural Review Committee or such other committee as the Association may elect should have the authority and the responsibility for monitoring the provisions of this covenant.

The original lot drainage plans or any future alterations of each lot shall be submitted to the Association for approval and final grading shall be inspected and approved by the Association.

In the event that any lot shall be found in violation of this covenant the Association shall order the owner of that lot to correct the violation. If the owner refuses to comply with these provisions the Association shall make the corrections and bill the owner the cost. If the owner refuses to pay, the association is hereby authorized to file a lien on the lot.

Attached hereto and labeled Exhibit A is a typical, schematic lot drainage plan which graphically depicts the intent of this covenant.





# City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

July 2, 1993

Fred Denney, P.E.  
1232 Western Meadow Rd NW  
Albuquerque, N.M. 87114

RE: DRAINAGE REPORT FOR CASAS A RIO (J-12/D15).  
RECEIVED JUNE 21, 1993 FOR PRELIMINARY PLAT APPROVAL  
ENGINEER'S STAMP DATED JUNE 21, 93

Dear Mr. Denney,

Based on the information included in the submittal referenced above, City Hydrology REJECTS this project for Preliminary Plat.

The following comments must be addressed before this project will be approved:

1. Discuss what improvements are required for Gabaldon Road with Richard Dourte. The Grading & Drainage Plan must address how these improvements impact the project.
2. Submit calculations to document the Drainage Report. The City does not allow credit for percolation. Any ponding will need to be designed to the criteria set forth in the emergency rule which revised Chapter 22, page 7, part C.3.
3. The ultimate condition must be detailed on the Grading Plan. Because the site will be graded as the Lots are developed, the Plan must also address how the interim condition will impact the ultimate condition.

If you have any questions about this project you may contact me at 768-2727.

Sincerely,

John P. Curtin, P.E.  
PWD/Hydrology

xc: Fred Aguirre

WPHYD+7743;jpc

PUBLIC WORKS DEPARTMENT

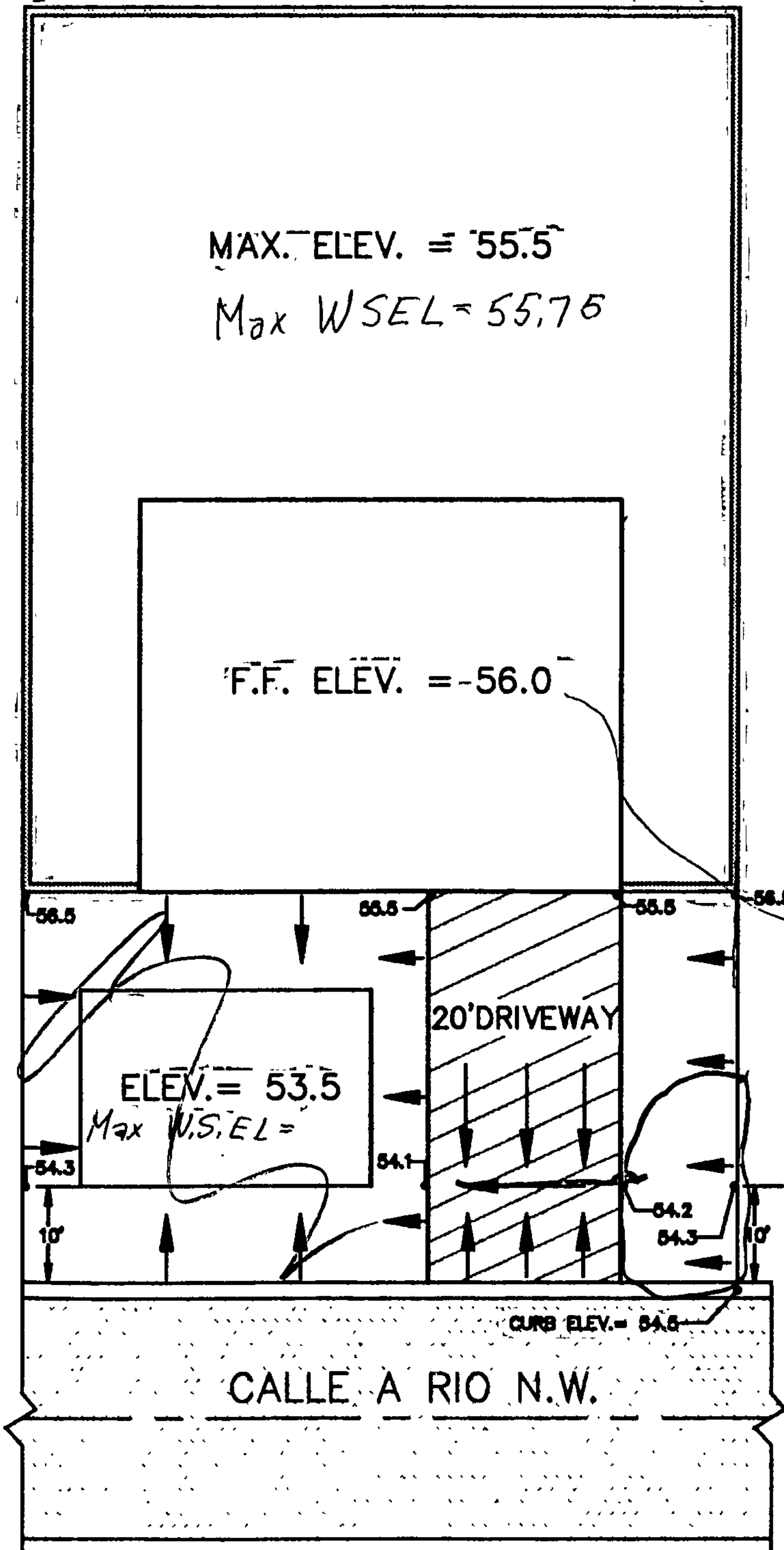
# CASAS A RIO SUBDIVISION

## TYPICAL LOT DRAINAGE PLAN

### DRAINAGE COVENANT EXHIBIT A

#### NOTES:

1. THE ENTIRE BACK YARD MUST BE ENCLOSED WITH MASONRY OR CONCRETE BARRIER AT LEAST 8" ABOVE GRADE TO PRECLUDE RUNOFF FROM EXITING THE PROPERTY.
2. THE ROOF SHALL BE CONSTRUCTED TO DRAIN TO THE REAR.
3. FINISH FLOOR ELEVATIONS SHOWN ARE MINIMUM. HIGHER ELEVATIONS ARE ALLOWED.
4. COMPACTED FILL OR MASONRY BARRIER SHALL BE CONSTRUCTED ALONG FRONT SIDE YARD LOT LINES TO PRECLUDE DRAINAGE TO ADJACENT LOTS.
5. THE DRAINAGE PLAN SHOWN IS SCHEMATIC. AN ALTERNATE PLAN MAY BE SUBMITTED TO THE HOME OWNERS ASSOCIATION FOR APPROVAL. APPROVAL WILL BE GRANTED IF IT CAN BE CLEARLY SHOWN THAT ALL RUNOFF FROM THE LOT AND FROM THE STREET FRONTING THE LOT WILL BE CONFINED WITHIN THE LOT.



*Will this meet FEMA  
Flood proofing requirements  
1' above Max WSEL*



*June 24 1993*

CASAS A RIO SUBDIVISION  
CALLE A RIO N.W.  
ALBUQUERQUE, NEW MEXICO

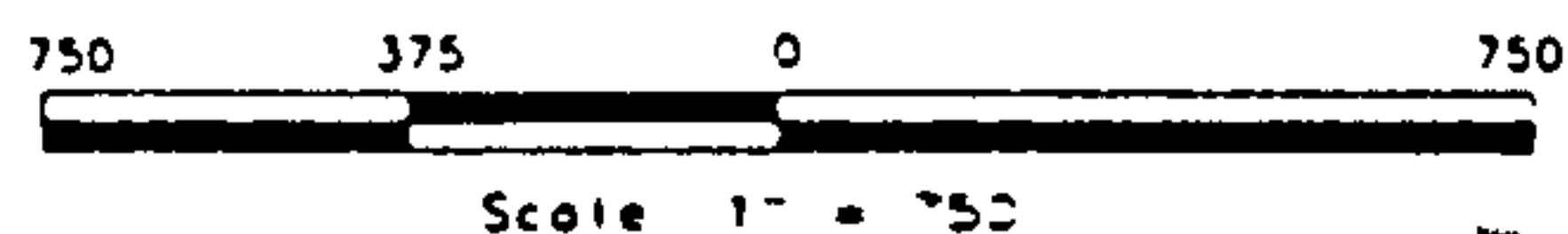
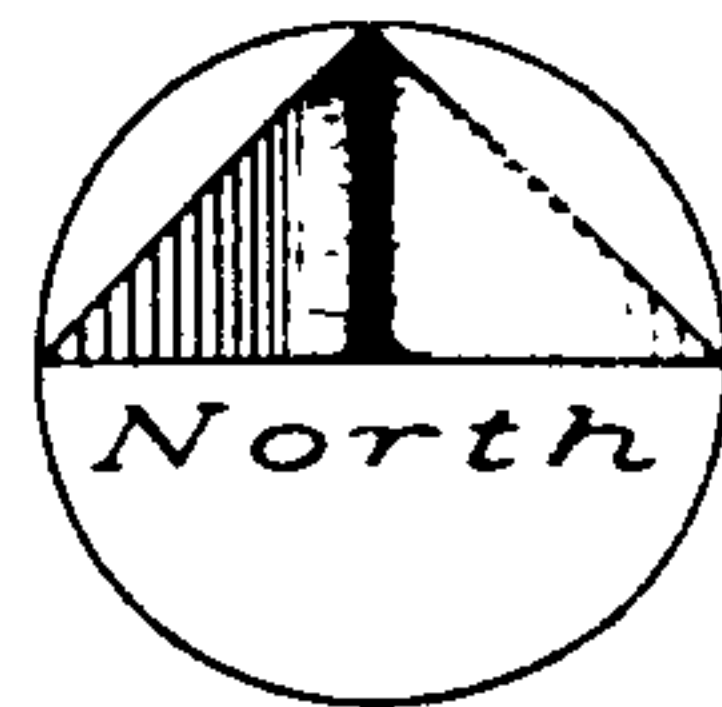
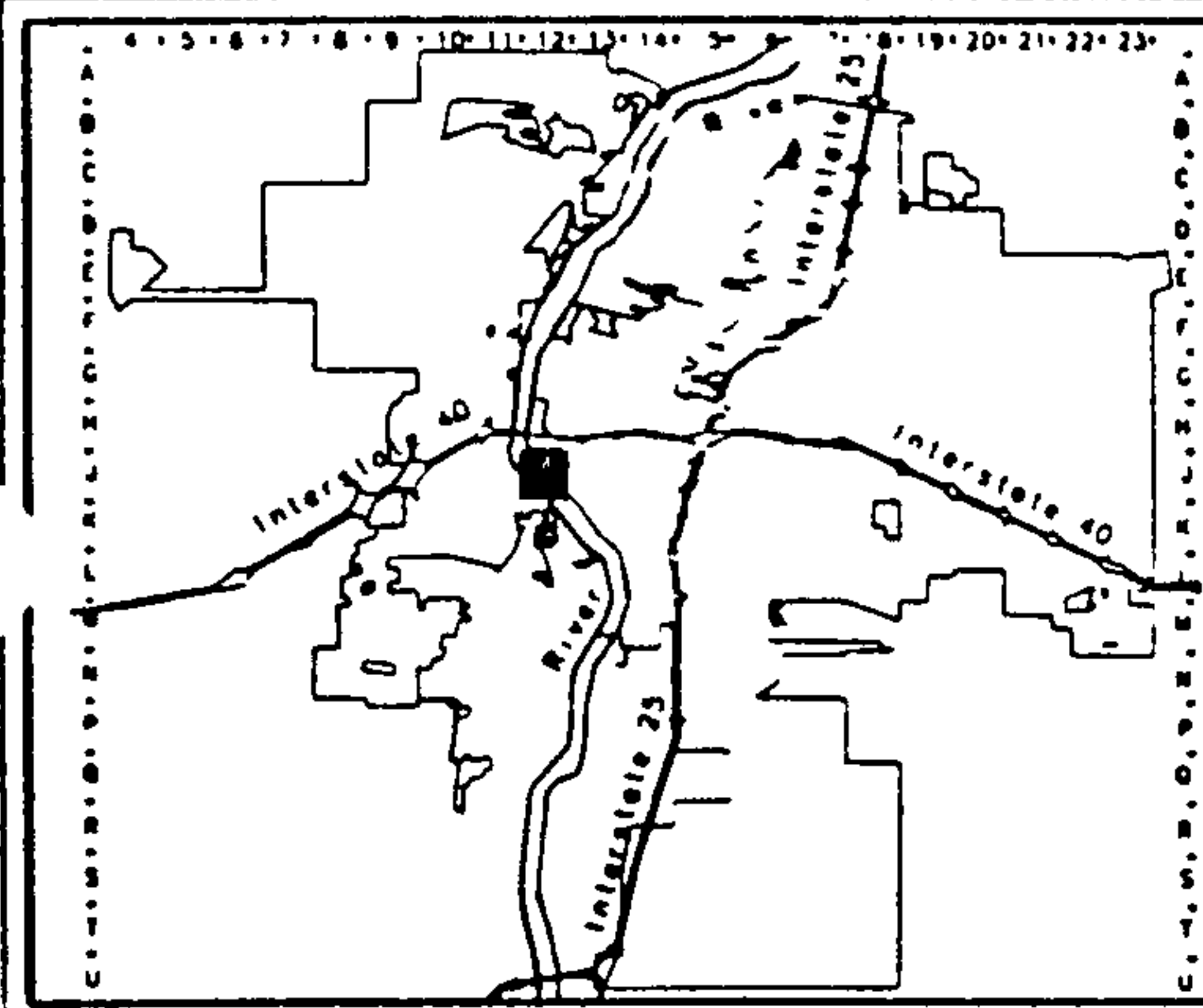
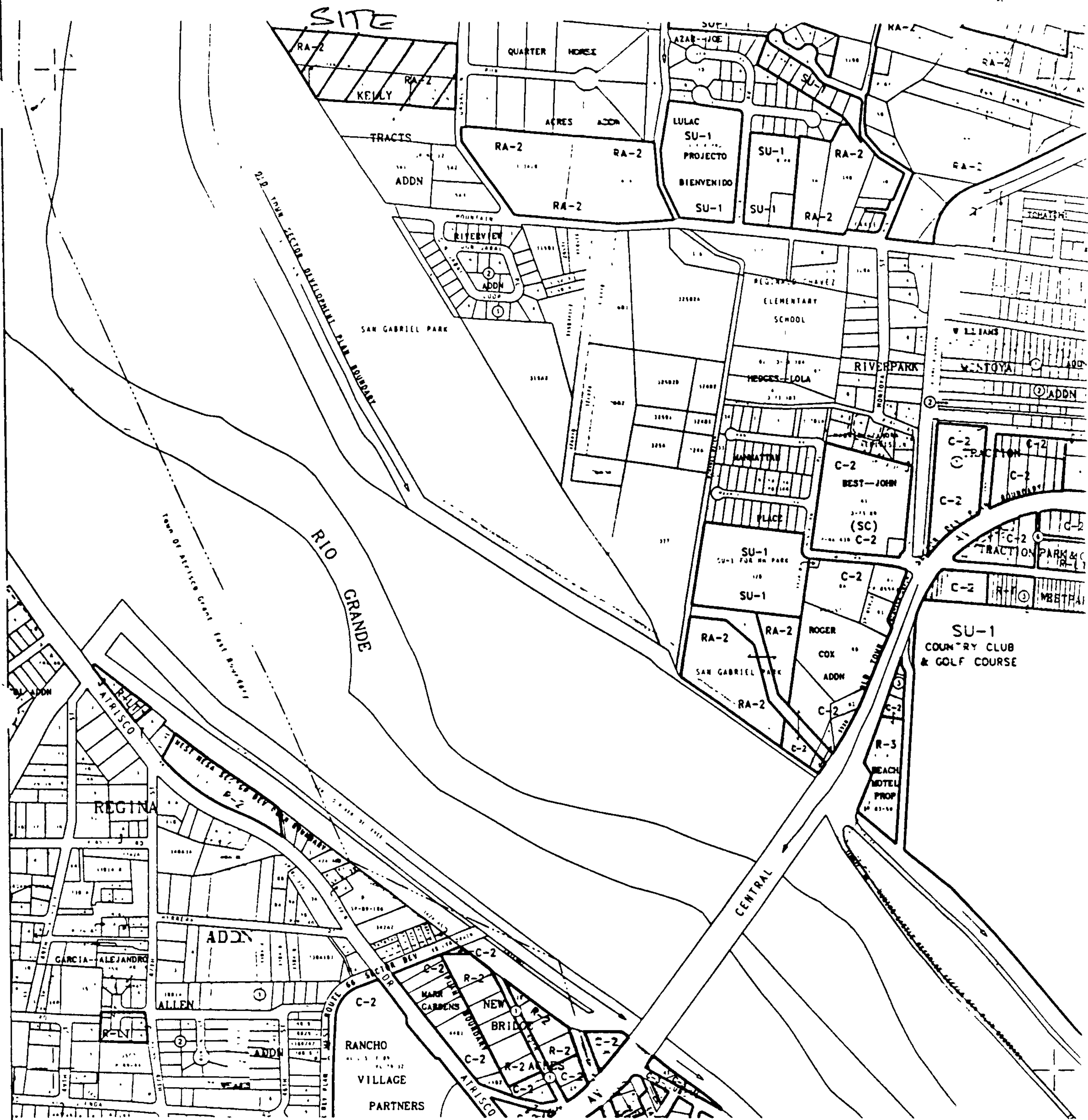
Planning Department

Refer to comments from Transportation Development regarding Sidewalk Variance; it appears appropriate to Financially Guarantee sidewalks pending future connection. Waiver of sidewalks around bulb of cul-de-sac would be appropriate (end @ Well Site on south side).

IT IS REQUESTED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING

cc: Ryals Engineering, 4929 Idlewild SE, 87108  
Jane Davidson, 10019 Coors Blvd NW, 87114





**A G I S**  
 Bureau Geographic Information System  
 City of Albuquerque  
 © Planning Department July 06, 1993

SEP 28 1993

LEGAL DESCRIPTION  
 T10N  
 R2E  
 SEC 13

UNIFORM PROPERTY CODE  
 1-012-058

**J-12-Z**



FILE=JANEHYD.WQ1

ALBUQUERQUE, NM, DPM (1/93) CRITERIA - SIMPLE PROCEDURE FOR <= 40 ACRES

PX100-6 = PRECIPITATION EXCESS FROM 100-YEAR 6-HOUR STORM

VOL10D = VOLUME OF RUNOFF FROM 100-YEAR 10-DAY STORM

TRTMT CLASS A=UNDISTURBED, B=LAWNS, C=UNPAVED ROADS, D=ROOFS, PAVEMENT: SEE DPM 22.2 P A-5

\*\*\*\*\* PROJECT INFO \*\*\*\*\*

CASAS A RIO SUBDIVISION FOR JANE BLACK DAVIDSON

PERIMETER WALL, DITCH BY RIVER, & GABALDON RD GRADES => ALMOST NO OFFSITE FLOW

(ONLY OFFSITE FROM +-4170 SF (0.1AC) EXIST CITY WELL SITE)

RAIN ZONE 2 SEE DPM P 22.2-2

100-YEAR PRECIPITATION (P) DEPTHS, INCHES

1 HR	6 HR	24 HR	4 DAY	10 DAY
2.01	2.35	2.75	3.30	3.95

09/24/93 01:08 PM EXISTING CONDITIONS: ENTIRE 6.939 AC SITE + OFFSITE

TRTMT CLASS	AREA SQUARE FEET	AREA ACRES	PX100-6 IN/AC	QP100-6 CFS/AC	QP100-6 CFS	VOL6HR AC-FT	VOL1D AC-FT	VOL4D AC-FT	VOL10D AC-FT	TRTMT PERCENT
A	284945.00	6.5414	0.53	1.56	10.205	0.289	0.289	0.289	0.289	92.99
B	600.00	0.0138	0.78	2.28	0.031	0.001	0.001	0.001	0.001	0.20
C	17770.00	0.4079	1.13	3.14	1.281	0.038	0.038	0.038	0.038	5.80
D	3125.00	0.0717	2.12	4.70	0.337	0.013	0.015	0.018	0.022	1.02
TOTAL	306440.00	7.0349			11.854	0.341	0.343	0.347	0.350	100.00
					CU FT	14849	14954	15097	15266	

09/24/93 01:08 PM PROPOSED CONDITIONS: ENTIRE 6.939 AC SITE + OFFSITE

TRTMT CLASS	AREA SQUARE FEET	AREA ACRES	PX100-6 IN/AC	QP100-6 CFS/AC	QP100-6 CFS	VOL6HR AC-FT	VOL1D AC-FT	VOL4D AC-FT	VOL10D AC-FT	TRTMT PERCENT
A	0.00	0.0000	0.53	1.56	0.000	0.000	0.000	0.000	0.000	0.00
B	173400.00	3.9807	0.78	2.28	9.076	0.259	0.259	0.259	0.259	56.59
C	3870.00	0.0888	1.13	3.14	0.279	0.008	0.008	0.008	0.008	1.26
D	129170.00	2.9653	2.12	4.70	13.937	0.524	0.623	0.759	0.919	42.15
TOTAL	306440.00	7.0349			23.292	0.791	0.890	1.026	1.186	100.00
					CU FT	34455	38761	44681	51678	

09/24/93 01:08 PM CASAS A RIO, PROPOSED SMALL TYPICAL LOT 0.299 AC = 13,024 SF

TRTMT CLASS	AREA SQUARE FEET	AREA ACRES	PX100-6 IN/AC	QP100-6 CFS/AC	QP100-6 CFS	VOL6HR AC-FT	VOL1D AC-FT	VOL4D AC-FT	VOL10D AC-FT	TRTMT PERCENT
A	0.00	0.0000	0.53	1.56	0.000	0.000	0.000	0.000	0.000	0.00
B	6849.00	0.1572	0.78	2.28	0.358	0.010	0.010	0.010	0.010	52.59
C	0.00	0.0000	1.13	3.14	0.000	0.000	0.000	0.000	0.000	0.00
D	6175.00	0.1418	2.12	4.70	0.666	0.025	0.030	0.036	0.044	47.41
TOTAL	13024.00	0.2990			1.025	0.035	0.040	0.046	0.054	100.00
					CU FT	1536	1742	2025	2359	

CASAS A RIO

9/24/93

745

# OVERALL DRAINAGE

EXIST COND - MOSTLY EX-IRRIGATED FIELDS/SANDY  
SITE = 6.939 AC ~ 302,270 SF PUMP

D: EXIST HOUSE 2825

C: GRAVEL DRIVE 24x45 1080  
DIRT ROAD 15x860 12906  
13906

B LANDSCAPE/LAWN, APPROX 606

A = REST = TOTAL - (D + C + B)  
= 302270 - 17325 284945

OFF SITE - PART OF WELL SITE

4170 SF TOTAL

D 162 SF BLD + VARIOUS PADS 300 EST  
C REST 3870

PROPOSED - OFF SITE SAME

EXIST HOUSE LAWN DRIVE SAME

D EXIST HOUSE & DRIVE 3905

PROP HOUSES & DRIVES, MAX

19x4760

90,440

NEW ROAD EST AS 900 LF

TO INC TURN AROUND

2 (12' RW + 2.625' CURB + 4' SW)

= 37.25, 900x37.25

33525  
128870

B REST

173400

> 302270

Casas A Rio

(J-12/D15)

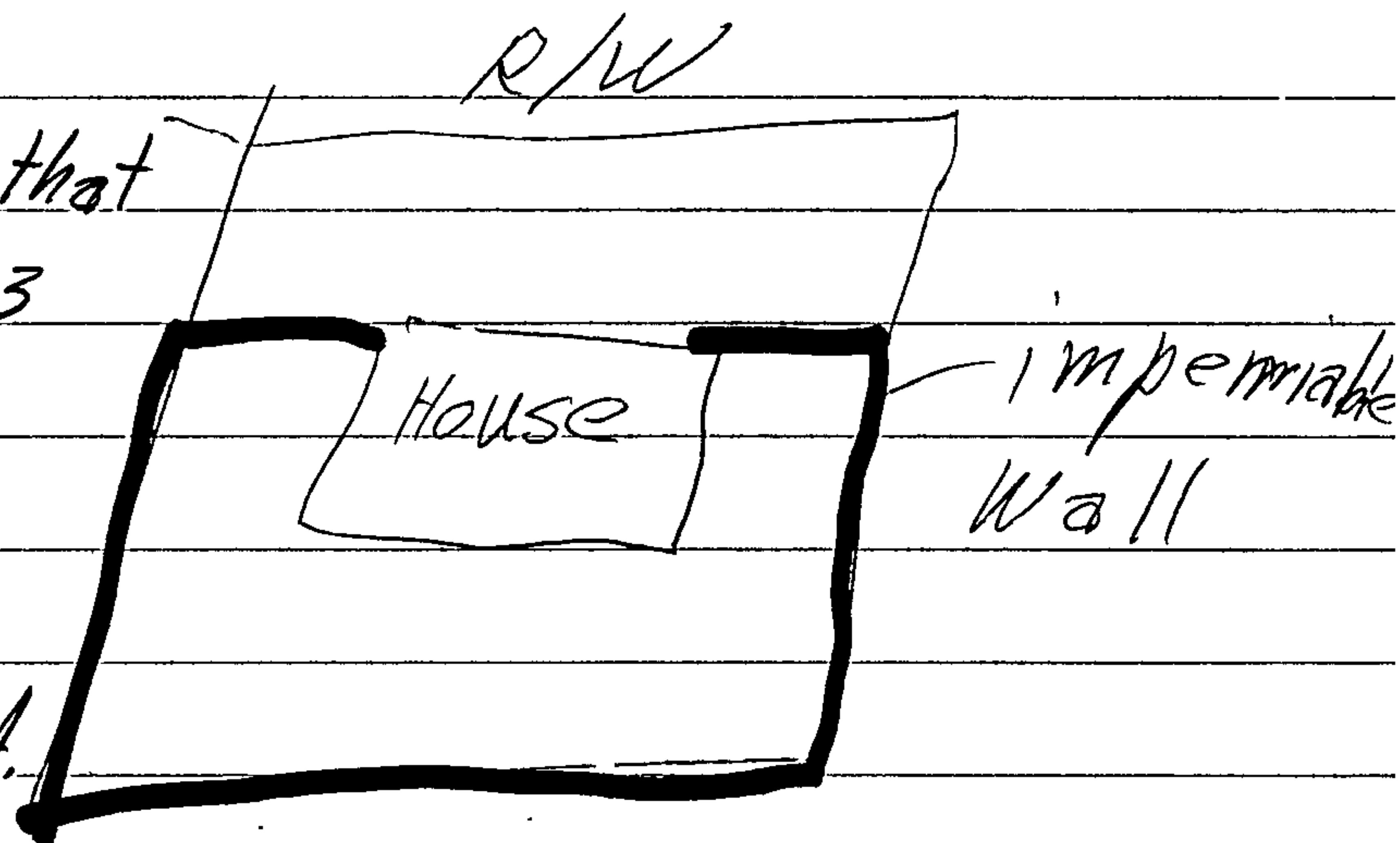
Fred Depney

May 26, 1993

Fred wants to ~~to~~ follow the existing contours with the road. He does not want to extend Lot walls to R/W. He wants to stop them at the house.

June 1, 1993

Fred Aguirre stated that comments in May 11, 1993 Letter stand. Rainfall must remain on the property. Grading must be certified before S.I.A. Guaranty will be released.



~~John P. H.~~ Fred is trying to save as many trees as he can to maintain a Bosque setting. He wants to write a covenant that will make the individual lot owners responsible for their own grading.

I told Fred that this varies from current policy and would need to be approved by Fred Aguirre.  
~~John P. H.~~ Certification



PROJECT TITLE: CASAS A Rio ZONE ATLAS/DRNG. FILE #: J-12 1015  
 DRB #: Pending EPC #: \_\_\_\_\_ WORK ORDER #: \_\_\_\_\_  
 LEGAL DESCRIPTION: Tracts ~~2 & 3~~ Kelly Tracts  
 CITY ADDRESS: \_\_\_\_\_  
 ENGINEERING FIRM: Fred Denney CONTACT: Fred Denney  
 ADDRESS: 1832 Western Meadows Ct NO PHONE: 848 1503  
 OWNER: Jane Davidson CONTACT: \_\_\_\_\_  
 ADDRESS: Engineer. PHONE: \_\_\_\_\_  
 ARCHITECT: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 SURVEYOR: Ron Tyree CONTACT: Ron Tyree  
 ADDRESS: 10,701 Loma NE PHONE: 293 7070  
 CONTRACTOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

## TYPE OF SUBMITTAL:

- ☒ DRAINAGE REPORT  
☐ DRAINAGE PLAN  
☐ CONCEPTUAL GRADING & DRAINAGE PLAN  
☐ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERTIFICATION  
☐ OTHER

## PRE-DESIGN MEETING:

- ☒ YES  
☐ NO  
☐ COPY PROVIDED

## CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL  
☒ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D. APPROVAL  
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☐ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ S.A.D. DRAINAGE REPORT  
☐ DRAINAGE REQUIREMENTS  
☐ OTHER \_\_\_\_\_ (SPECIFY)

DATE SUBMITTED:

BY:

2 May 93  
Fred Denney

7743





# City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

May 11, 1993

Fred Denney, P.E.  
1232 Western Meadow Rd NW  
Albuquerque, N.M. 87114

RE: DRAINAGE REPORT FOR CASAS A RIO (J-12/D15)  
RECEIVED MAY 4, 1993 FOR PRELIMINARY PLAT APPROVAL  
ENGINEER'S STAMP DATED 3 MAY 93

Dear Mr. Denney,

Based on the information included in the submittal referenced above, City Hydrology REJECTS this project for Preliminary Plat.

The following comments must be addressed before this project will be approved:

1. Drainage Report does not comply with the DPM checklist in Chapter 22.7. Add proposed spot elevations at every other property corner and existing spot elevations on neighboring property adjacent to proposed spot elevation. Add proposed pad elevations and existing finish floor elevations.
2. Provide a water block on the east end of Calle A Rio to prevent entrance of storm runoff from Gabaladon Rd. Provide an impermeable barrier wall around the perimeter to prevent off-site flows from entering the project.
3. Submit a proposed infrastructure list. The entire subdivision must be graded flat by the developer. The perimeter impermeable barrier wall must be constructed by the developer. Interior impermeable barrier walls may be constructed as the individual lots develop. Engineer's Certification of Grades per DPM checklist must be approved before release of Financial Guaranty.

If you have any questions about this project you may contact me at 768-2727.

Sincerely,

John P. Curtin, P.E.  
PWD/Hydrology

xc: Fred Aguirre

WPHYD+7743;jpc

PUBLIC WORKS DEPARTMENT

*Casa a R. 6*  
Bosque del Norte  
 Infraestructure List

City Spec Item #	Description	Unit	Quantity
004.01	Construction staking	LS	-0-
0201.01	Clearing & Gnubbing	Acre	1
0301.01	Grading	SY	3022
0301.03	Subgrade prep	SY	3022
0302.01	6" gravel base	SY	2644
0306.01	Prime Coat	SY	2266
0336.04	2½" Asphalt Base	SY	2266
0336.13	1" Surface Course	SY	2266
0340.10	Estohe type curb	LF	1820
0340.01	Sidewalk	SY	809
0701.01	T&B Sewer Source	LF	830
0801.02	6" PVC Waterline	LF	870
0801.59	Connect to Exist Line	Ea	1
0801.81	6" Gate Valve	Ea	2
0801.10 5	Valve Box	Ea	2
0802.11 2	Fire Hydrant 4' Bury	Ea	1
0802.02	Tup on 6" PVC	Ea	10
0802.20	3/4 " Service Line	LF	230
0802.50	Meter Box	Ea	20
0901.03	8" PVC Sas	LF	830
0903.05	4" San Service	Ea	20
0920.07	4' Manhole	Ea	3
	12" RCP Culvert		

**FRED DENNEY**

---

April 7, 1993

Mr. Fred Aguirre  
Department of Public Works  
City of Albuquerque, New Mexico

Re: Casas a Rio

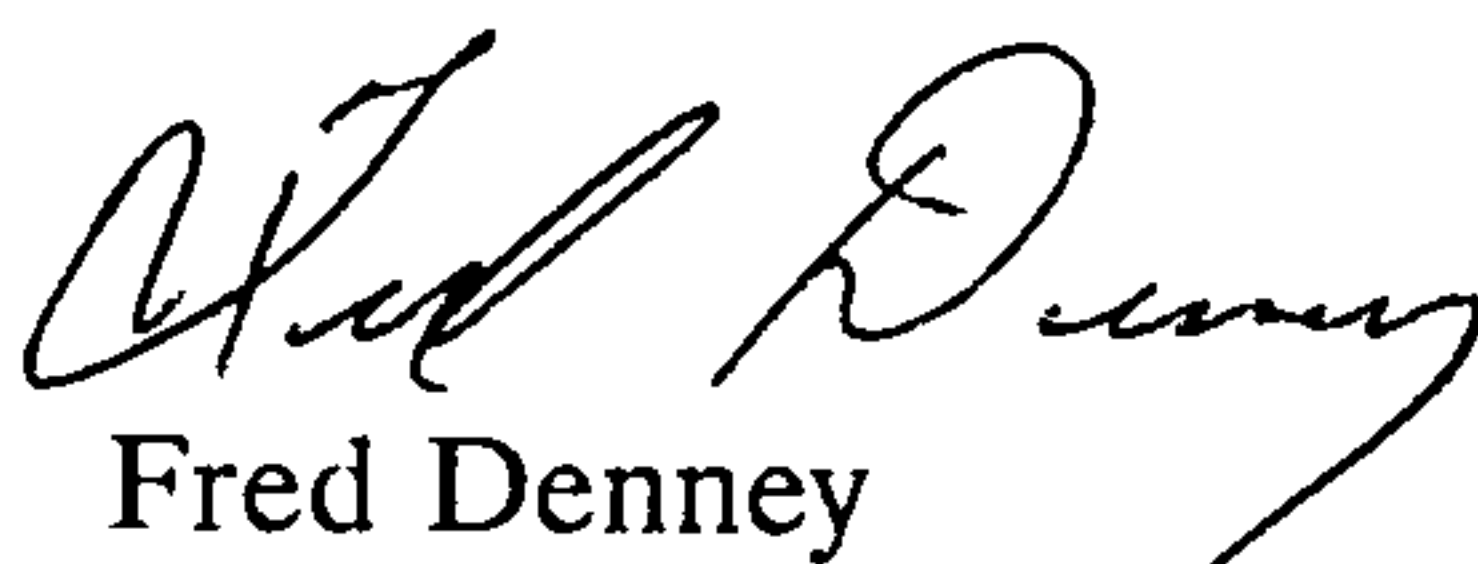
Dear Fred:

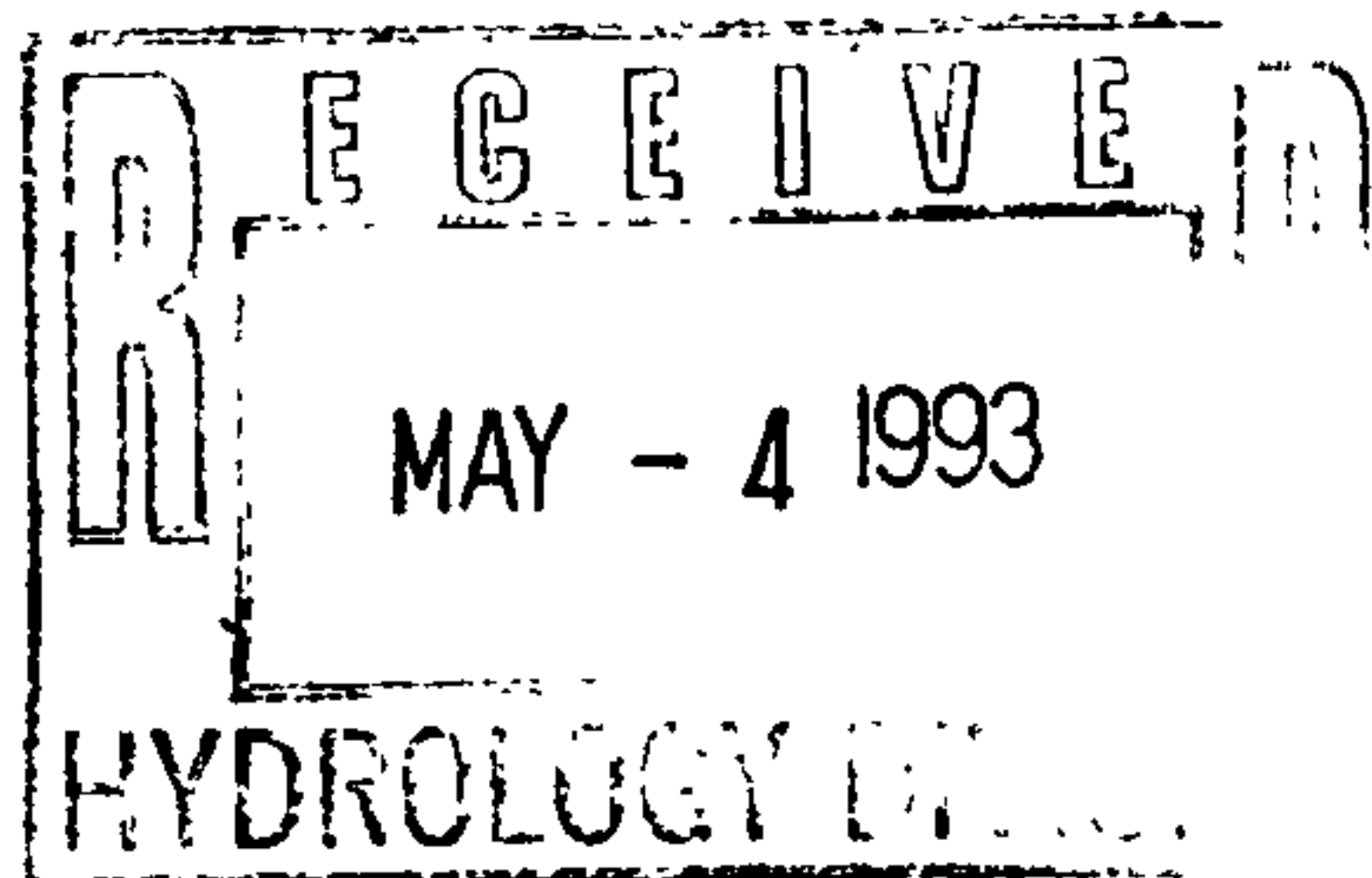
Transmitted herewith is the drainage report for subject project.

You will note that I have treated the project in a slightly different manner than you envisioned, however I believe my approach accomplishes identical results.

I would like to discuss this matter with you prior to the hearing on the preliminary plat. If you can do that, please advise me of a date and time.

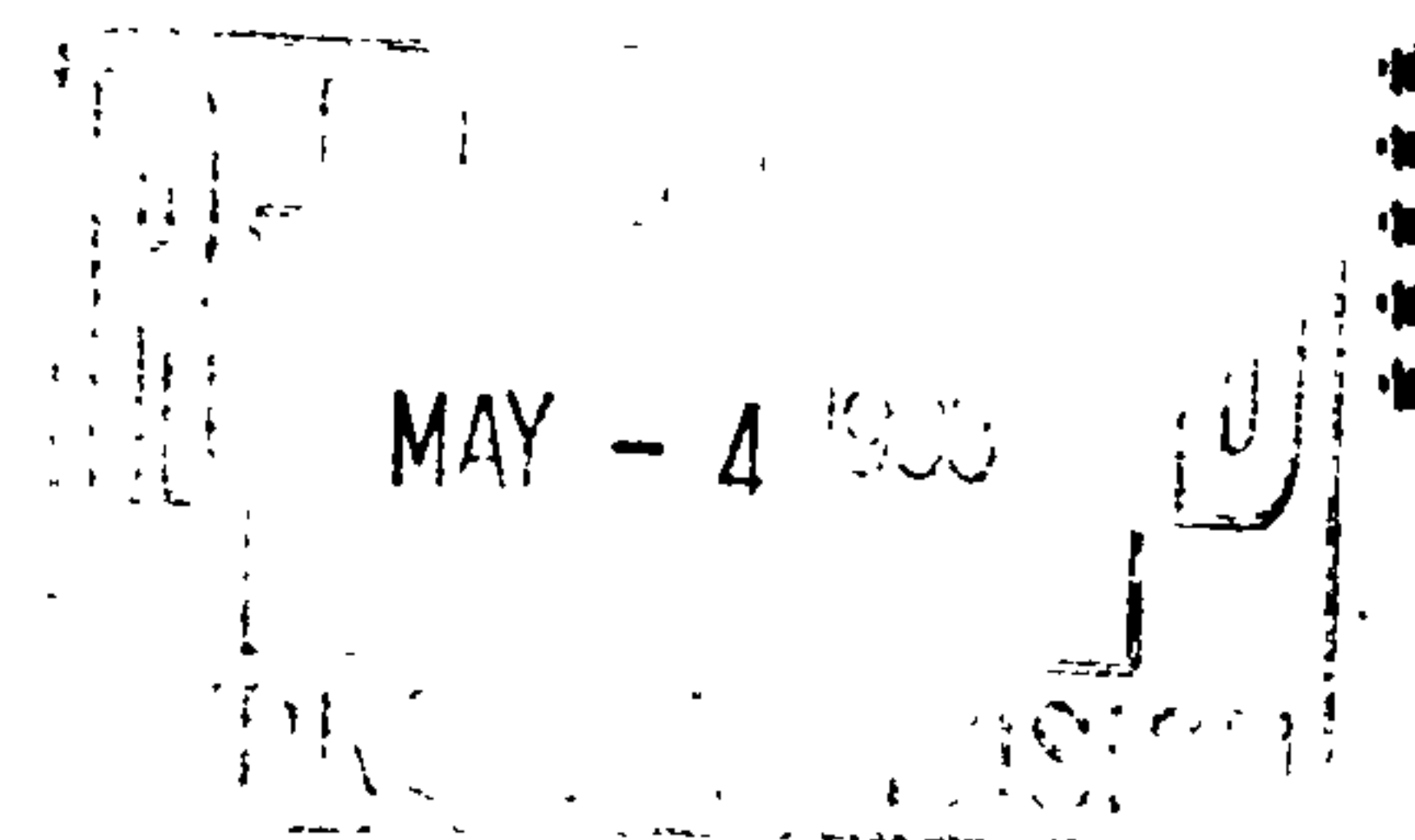
Very truly yours,

  
Fred Denney





**Drainage Report  
Casas a Rio Addition**



1. **General**

The Subdivision consists of approximately 6 acres located about 800 feet north of Mountain road NW, bounded on the east by Gabaldon NW and on the west by Riverview Park, adjacent to the Rio Grande.

The area is locally described as bosque, characterized by relatively dense growth of cottonwood, salt cedar, russian olive and various other indigenous plants and grasses.

The soil is typical of the Rio Grande Valley, particularly of those areas actively occupied by the Rio Grande. Soil is generally sandy, with some mixture and occasional overlay of clay or adobe material.

As now constituted, no runoff enters the property or exits from it. All rainfall is confined within its boundaries and penetrates into the soil quite rapidly.

2. **Proposed Treatment**

No drainage treatment is proposed. Restrictive covenants will require that all rain falling on each lot shall be 100% retained on that lot, including runoff from the street.

Roadway grades have been set such that the street is flat longitudinally with a 0.4" crown. Two grade changes are required to reduce import fill requirements with each of these contained within one lot. So no roadway drainage will enter any lot except those fronting upon it.

The 100 year rainfall is 2.3" (Noah Atlas 2). Typical lot is 75' X 150' or 0.258 acre. 120 ft<sup>2</sup> of road and sidewalk will drain to each lot and an additional 3000 feet of roof and driveway will be constructed in each lot. These impervious surfaces will produce 805 ft<sup>3</sup> of runoff to each lot. In addition 1581 ft<sup>3</sup> of rain will fall in the lot during the 100 year event. Ignoring percolation (which is substantial) a total of 2386 ft<sup>3</sup> must be retained on each lot. This is 3.67" to be managed in the previous area.

A copy of the proposed restrictive covenants pertaining to drainage is attached. These outline details of how runoff is to be controlled within each lot. Covenants will be filed at the time the plat is filed.

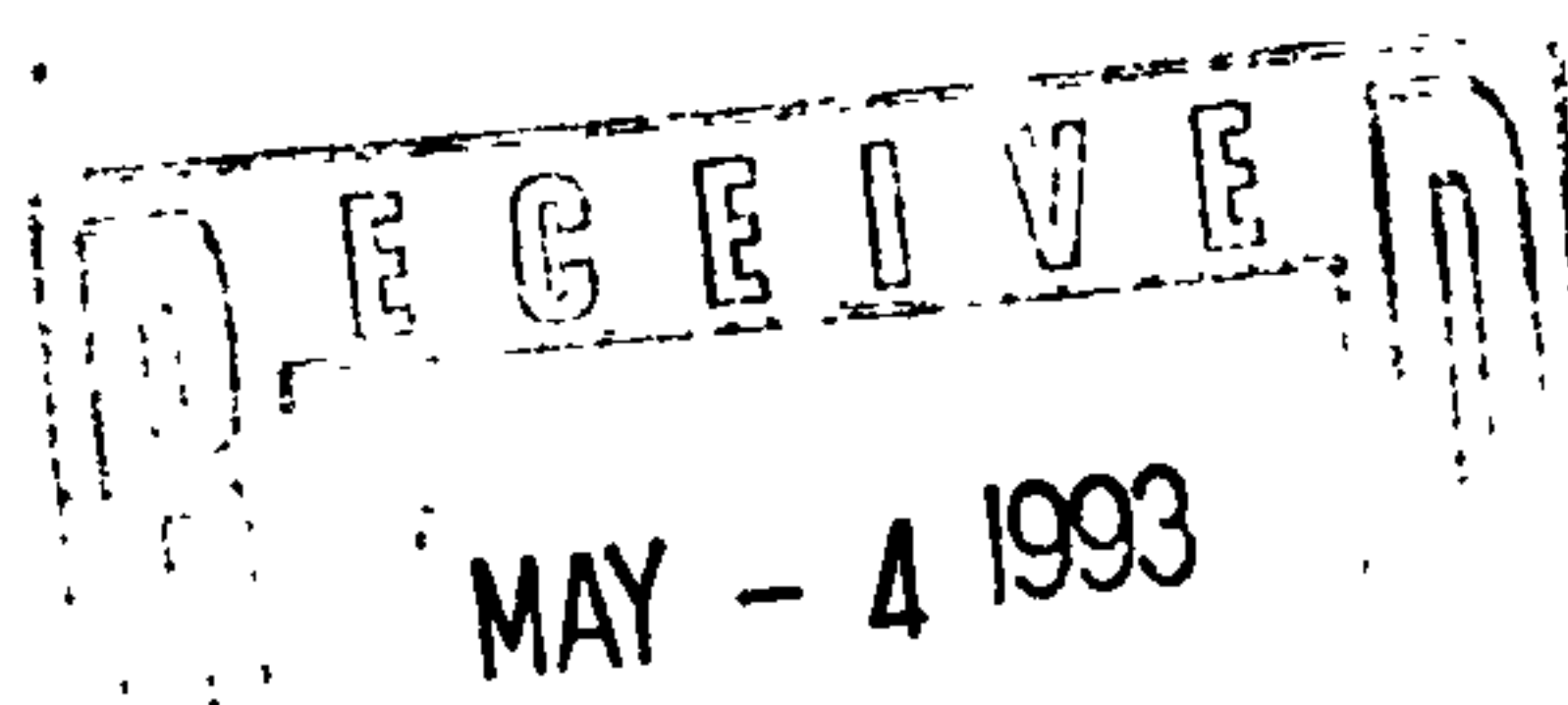
It will be noted that no lot grading is to be performed by the developer. Each builder will be required to grade his own lot or lots. Restrictive covenants will provide for minimum floor elevations, wall construction and on lot grading. (See proposed drainage covenant attached.)



Attached herewith is a preliminary street grading plan. It will be noted that the covenant gives approval authority and responsibility to the Architectural Review Committee. Normally, when lots are graded with infrastructure improvements, verifications of grading is included in final inspection of the infrastructure. In this case it appears that can best be handled by the building inspection group requiring compliance as a condition of final acceptance.



3 May 93



## Drainage Covenant

The owner of each lot in this Subdivision shall construct and maintain improvements on the lot in a manner such that no runoff shall exit the lot.

The owner (builder) shall construct a masonry or concrete barrier, at least 8" above adjacent grade, along the lot line and along side lot lines from the front of the house to the rear lot line. If masonry walls are provided a properly designed foundation shall be constructed below the masonry. If wood or metal fencing is provided, a poured concrete stem wall at least 8" above grade may be used in lieu of masonry. In that event appropriate inserts shall be provided to accommodate framing for the fence.

The floor elevation of each house shall be a minimum of 1' above the elevation of the edge of pavement or curb.

MAY - 4 1993



# City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

October 28, 1993

Bob Ryals, P.E.  
Ryals Engineering  
4929 Idlewilde SE  
Albuquerque, N.M. 87108

RE: DRAINAGE REPORT FOR CASAS A RIO SUBD (J-11/D-15)  
RECEIVED OCTOBER 12, 1993 FOR PRELIMINARY PLAT APPROVAL  
ENGINEER'S STAMP DATED 10/11/93

Dear Mr. Ryals:

Based on the information included in the submittal referenced above, City Hydrology REJECTS this project for preliminary plat.

The following comments must be addressed prior to Preliminary Plat approval:

1. Submit calculations for drainage of Lot 1.
2. Submit design calculations and details for siphon.
3. Submit a copy of the Infrastructure List.

If you have any questions about this project you may contact me at 768-2727.

Sincerely,

John P. Curtin, P.E.  
Civil Engineer/Hydrology

xc: Fred Aguirre

WPHYD/7743/JPC

PUBLIC WORKS DEPARTMENT

PROJECT TITLE: CASAS A RIO SUBD ZONE ATLAS/DRNG. FILE #: ~~H-12~~, J-12/D15  
DRB #: 93-104 EPC #: \_\_\_\_\_ WORK ORDER #: \_\_\_\_\_  
LEGAL DESCRIPTION: Lots 1-20 CASAS A RIO SUBDIVISION - Replat Tracts 2 & 3  
CITY ADDRESS: 700 BLOCK GABALDON RD NW Kelly Add. F.  
ENGINEERING FIRM: Ryals Engineering CONTACT: Bob Ryals  
ADDRESS: 4929 Idlewilde SE PHONE: 265-8267 (Tucker 877-6163)  
OWNER: JANE DAVIDSON CONTACT: Bob Ryals  
ADDRESS: 1809 Westcliff Dr PHONE: Local 898-70  
ARCHITECT: N/A CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
SURVEYOR: Ron Tyree CONTACT: Ron TYREE  
ADDRESS: 16701 LOMAS BLVD NE PHONE: 298-0660  
CONTRACTOR: N/A CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

TYPE OF SUBMITTAL: - RE:

- ☒ DRAINAGE REPORT  
☒ DRAINAGE PLAN  
☐ CONCEPTUAL GRADING & DRAINAGE PLAN  
☒ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERTIFICATION  
☐ OTHER

PRE-DESIGN MEETING:

- ☐ YES  
☐ NO  
☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL  
☒ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D. APPROVAL  
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☐ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ S.A.D. DRAINAGE REPORT  
☐ DRAINAGE REQUIREMENTS  
☐ OTHER \_\_\_\_\_ (SPECIFY)

DATE SUBMITTED:

BY:

OCT 12 1993

10/11/93





# City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

October 7, 1993

Bob Ryals, P.E.  
Ryals Engineering  
4929 Idlewilde SE  
Albuquerque, N.M. 87108

RE: DRAINAGE REPORT FOR CASAS A RIO SUBD (J-11/D-15)  
ENGINEER'S STAMP DATED 9/28/93; RECEIVED SEPTEMBER 28, 1993  
FOR PRELIMINARY PLAT APPROVAL

Dear Mr. Ryals:


Based on the information included in the submittal referenced above, City Hydrology REJECTS this project for preliminary plat.

The following comments must be addressed prior to Preliminary Plat approval:

1. Indicate proposed grading for <sup>determined</sup> Lot 1. This lot is different from the others and its drainage must be <sup>separated</sup> separately. Calculate the volume of runoff from Lot 1. Indicate the Maximum Water Surface Elevation & the extent of the pond created by the runoff from Lot 1. Add proposed spot elevations at every other lot corner. Add pad elevations. Add Top of wall elevations for every wall.
2. To whom should an owner with an extraordinary design submit a later drainage plan to? What constitutes an extraordinary design? City Hydrology does not have the manpower to review individual drainage plans for each lot.
3. Check the Typical Lot Grading Plans. I scaled the hatched area to be about 5400 sf for the house in front and 4300 sf for the house in back. Both of these numbers are less than what you claim. Your note is not clear as to whether the area shown is the flat area or it includes the slopes?
4. Submit design calculations and details for the siphon. Indicate inverts at each end of the 12" CMP. Add a section through the siphon at Calle A Rio to show how much cover is on top of the pipe.

If you have any questions about this project you may contact me at 768-2727.

Sincerely,

  
John P. Curtin, P.E.  
Civil Engineer/Hydrology

xc: Fred Aguirre

WPHYD/7743/JPC

PUBLIC WORKS DEPARTMENT

PROJECT TITLE: CASAS A RIO SUBD ZONE ATLAS/DRNG. FILE #: ~~#42~~, J-12/D15  
JOB #: 93-104 EPC #: \_\_\_\_\_ WORK ORDER #: \_\_\_\_\_  
LEGAL DESCRIPTION: Lots 1-20 CASAS A RIO SUBDIVISION - Replat Tracts 2 & 3  
PROPERTY ADDRESS: 700 BLOCK GARBALDON RD NW Kelly Addition  
ENGINEERING FIRM: Ryals Engineering CONTACT: Bob Ryals  
ADDRESS: 4929 Idlewild SE PHONE: 265-8267 877-6155  
OWNER: JANE DAVIDSON CONTACT: Bob Ryals  
ADDRESS: 1809 Westliff Dr PHONE: Local 898-70  
ARCHITECT: N/A CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
SURVEYOR: Ron Tyree CONTACT: Ron TYREE  
ADDRESS: 16701 Lomas Blvd NE PHONE: 298-0660  
CONTRACTOR: N/A CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

## TYPE OF SUBMITTAL:

- ☒ DRAINAGE REPORT  
☒ DRAINAGE PLAN  
☐ CONCEPTUAL GRADING & DRAINAGE PLAN  
☒ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERTIFICATION  
☐ OTHER

## PRE-DESIGN MEETING:

- ☐ YES  
☐ NO  
☐ COPY PROVIDED

## CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL  
☒ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D. APPROVAL  
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☐ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ S.A.D. DRAINAGE REPORT  
☐ DRAINAGE REQUIREMENTS  
☐ OTHER \_\_\_\_\_ (SPECIFY)

DATE SUBMITTED:

BY:

93-28-93  
B. Ryals

CASAS A RIO

9/24/93 TAB

## INDIVIDUAL LOT DRAINAGE

LOT SIZES VARY  $0.299 \rightarrow 0.361$  AC } EXCLUSIVE OF  
( $0.299$  MIN,  $0.305$  MP) } EXIST LOT 1

ASSUME: EITHER LANDSCAPED/LAWN TRT. B  
OR ROOF/CONC/PAVING D  
NO NATURAL, NO PARKED DIRT  $\Rightarrow$  CONSERVATIVE

ASSUME:  $56 \times 60 = 3360$  SF HOUSE, PATIO, ON SITE SIDEWALK  
 $20 \times 70 = 1400$  SF DRIVEWAY

STREET  $76'$  FRONTAGE VERY TYPICAL  
 $12'$  ASPHALT  $2.625'$  CURB  $4'$  SW  $= 18.625'$   
 $76 \times 18.625 \sim 1415$  SF

ANALYSE MIN LOT SIZE  $= 0.299$  AC  $13,024$  SF  
CONSERVATIVE FOR DRAINAGE DEPTH  
(PRELIM CALCS Q&D USED  $12388$  SF  $= 0.284$  AC)

D HOUSE + DRIVE + STREET STUFF  
 $3360 + 1400 + 1415 = 6175$  SF  
B TRT - D  $= 13024 - 6175 = 6849$

$\% \text{ IMPERV} = 6175 / 13024 = 47.4$   
(COMP TO  $48.9$  PRELIM)

FROM QPRD FILE JANE (TYP. COW) 1109 THIS DATE

$U_{10} \text{ YR} = 2359 \text{ ft}^3$   
ASSUME  $6" = 0.5$  DEPTH  $\frac{2359 \text{ ft}^3}{0.5 \text{ ft}} = 4718 \text{ ft}^2$

$\Rightarrow U_{100} \text{ YR } 10 \text{ DM. CONTAINED IN VERTICAL WALLBO}$   
AREA  $6" = 0.5'$  DEEP

NOTE USE FOR MASTER DESIGN REQUIREMENT  
SLOPING AREAS NEAR HOUSE STREET DRIVE, + EXCESS  
( $> 4718$  SF) FLAT AREAS ALLOW FOR MORE  
DETAILED DESIGN ON LOT BY LOT BASIS IF  
NEEDED. (IMPERVIOUS AREA ASSUMED ABOVE SEEMS CONSERVATIVE)