

# CITY OF ALBUQUERQUE



July 15, 2008

David Soule, P.E.  
**Rio Grande Engineering**  
1606 Central Ave. SE Ste. 201  
Albuquerque, NM 87106

**RE: Ventana Del Bosque Subdivision, (J-12/D024)**  
**Engineers Certification for Release of Financial Guaranty**  
**Engineers Stamp dated 02/20/2006**  
**Engineers Certification dated 07/08/2008**

P.O. Box 1293

Mr. Soule,

Albuquerque

Based upon the information provided in submittal dated 07/09/2008, the above referenced plan is adequate to satisfy the Grading and Drainage Certification for Release of Financial Guaranty and release of Permanent Certification of Occupancy by Hydrology.

New Mexico 87103

If you have any questions, you can contact me at 924-3982.

Sincerely,

Timothy E. Sims  
Plan Checker, Planning Dept. - Hydrology  
Development and Building Services

[www.cabq.gov](http://www.cabq.gov)

C: Marilyn Maldonado, COA# 778282  
File

# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 01/28/2003rd)

PROJECT TITLE: Ventana Del Bosque Subdivision  
DRB #: 1004639 EPC #: \_\_\_\_\_

ZONE MAP/DRG. FILE #: 512 D 24  
WORK ORDER #: 775282

LEGAL DESCRIPTION: \_\_\_\_\_  
CITY ADDRESS: 3015 Mountain Road NW

ENGINEERING FIRM: Rio Grande Engineering  
ADDRESS: 1606 Central SE, Suite 201  
CITY, STATE: ALBUQUERQUE, NM

CONTACT: David Soule, PE  
PHONE: (505)321-9099  
ZIP CODE: 87106

OWNER: Washington Street Investors  
ADDRESS: PO Box 93024  
CITY, STATE: Albuquerque, NM

CONTACT: Scott Ashcraft  
PHONE: 242-5566  
ZIP CODE: 87199

ARCHITECT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

SURVEYOR: Cartesian  
ADDRESS: PO Box 44414  
CITY, STATE: Rio Rancho NM

CONTACT: Will Plotner  
PHONE: 896-3050  
ZIP CODE: 87174

CONTRACTOR: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

## CHECK TYPE OF SUBMITTAL:

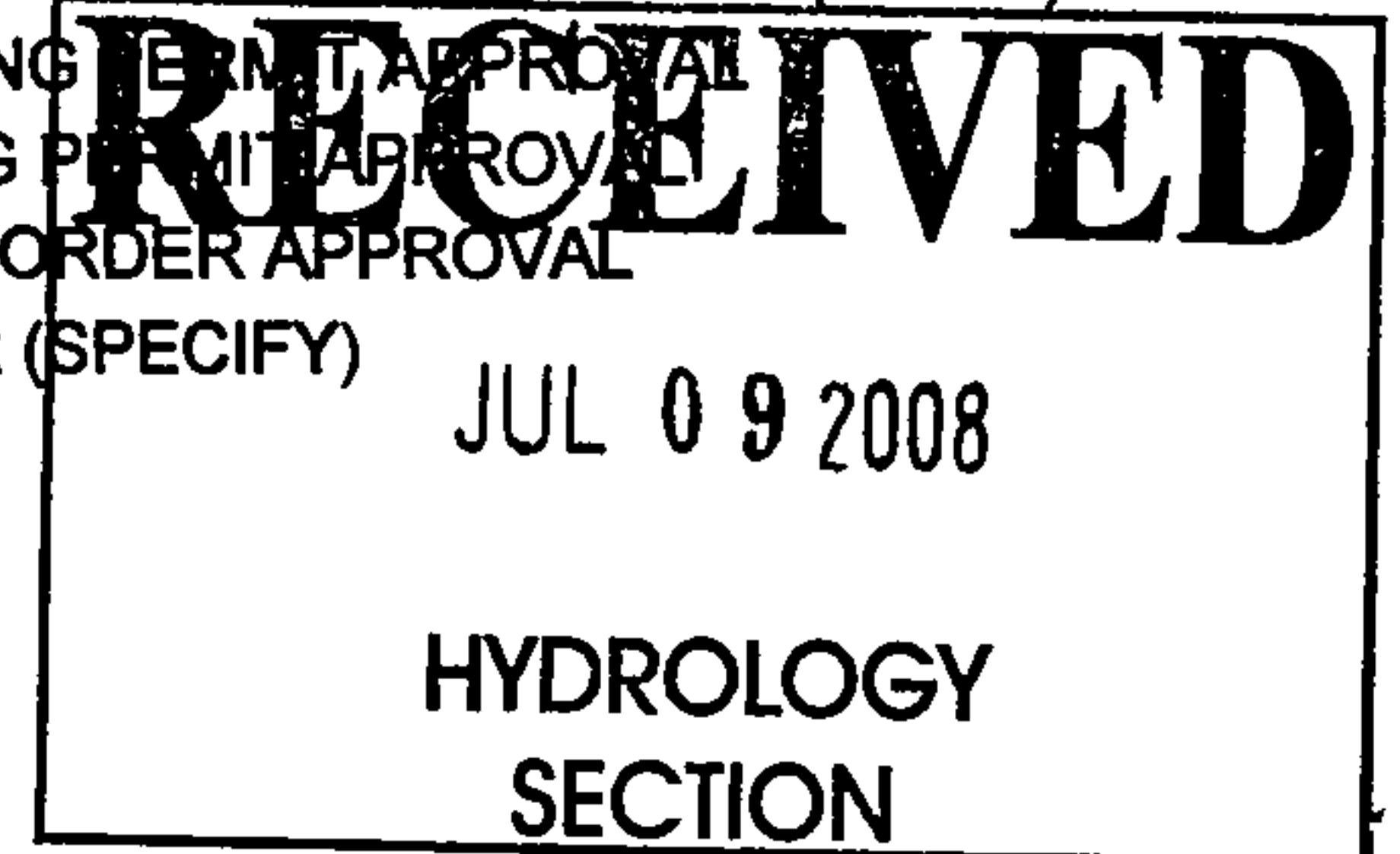
☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*  
☐ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL GRADING & DRAINAGE PLAN  
☐ GRADING PLAN (AMMENDED)  
☐ EROSION CONTROL PLAN  
☒ ENGINEER'S CERTIFICATION (HYDROLOGY)  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ ENGINEERS CERTIFICATION (TCL)  
☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)  
☐ OTHER

## CHECK TYPE OF APPROVAL SOUGHT:

☒ SIA / FINANACIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D. APPROVAL  
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☐ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY (PERM.)  
☐ CERTIFICATE OF OCCUPANCY (TEMP.)  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ OTHER (SPECIFY)

## WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES  
☒ NO  
☐ COPY PROVIDED



DATE SUBMITTED: 7/8/2008 BY: David Soule

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal.

The particular nature, location and scope of the proposed development defines the degree of drainage detail.

One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plans:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

Read

File J12/D29

#1

# PRIVATE FACILITY DRAINAGE COVENANT

This Drainage Covenant, between [state the name of the present real property owner exactly as shown on the real estate document conveying title to the present owner and state the legal status of the owner, for example, "single person" "husband and wife," "corporation of the State of NM," or "partnership":]

Ventana del Bosque Homeowners Association ("Owner"),  
whose address is PO Box 93024, Alb. NM 87199, and the City of Albuquerque,  
a New Mexico municipal corporation ("City"), whose address is P.O. Box 1293, Albuquerque, New Mexico  
87103, is made in Albuquerque, Bernalillo County, New Mexico and is entered into as of the date Owner signs  
this Covenant.

1. Recital. The Owner is the owner of the following described real property located at [give legal description, and street address:]

Tract A - Ventana del Bosque

in Bernalillo County, New Mexico (the "Property").

Pursuant to City ordinances, regulations and other applicable laws, the Owner is required to construct and maintain certain drainage facilities on the Property, and the parties wish to enter into this Covenant to establish the obligations and responsibilities of the parties.

2. Description and Construction of Drainage Facility. The Owner shall construct the following "Drainage Facility" within the Property at the Owner's sole expense in accordance with the standards, plans and specifications approved by the City:

Private Retention Pond

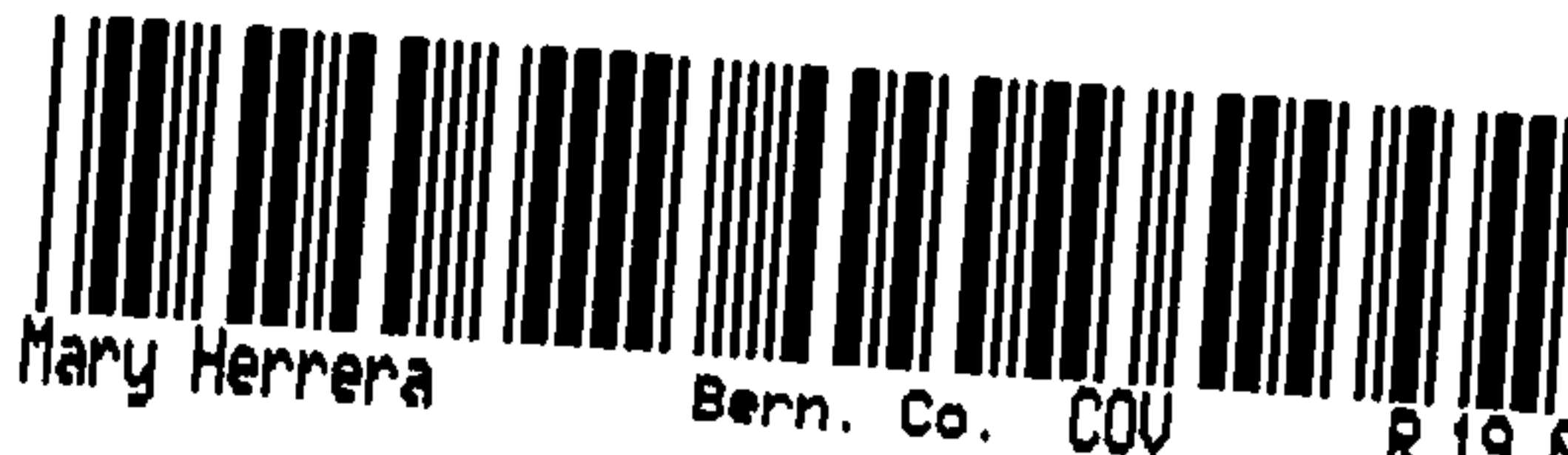
The Drainage Facility is more particularly described in Exhibit A attached hereto and made a part hereof.

3. Maintenance of Drainage Facility. The Owner shall maintain the Drainage Facility at the Owner's sole cost in accordance with the approved Drainage Report and plans.

4. Benefit to Property. The Owner acknowledges and understands that the Drainage Facility required herein to be constructed on the Owner's property is for the private benefit and protection of the Owner's property and that failure to maintain such facility could result in damage or loss to the Property.

5. Inspection of Drainage Facility. The City shall have no duty or obligation whatsoever to perform any inspection, maintenance or repair of the Drainage Facility, it being the duty of the Owner, its heirs, successors and assigns to construct and maintain the facility in accordance with approved plans and specifications.

6. Liability of City. The Owner understands and agrees that the City shall not be liable to the



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Owner, its heirs, successors or assigns, or to any third parties for any damages resulting from the Owner's failure to construct, maintain or repair the Drainage Facility.

7. Indemnification. The Owner owns and controls the Drainage Facility and shall not permit the Drainage Facility to constitute a hazard to the health or safety of the general public. The Owner agrees to indemnify, defend and hold harmless the City, its officials, agents and employees, from any claims, actions, suits or other proceedings arising from or out of the negligent acts or omissions of the Owner, its agents, representatives, contractors or subcontractors or arising from the failure of the Owner, its agents, representatives, contractor or subcontractors to perform any act or duty required of the Owner herein; provided, however, to the extent, if at all, Section 56-7-1 NMSA 1978 is applicable to this Agreement, this Agreement to indemnify will not extend to liability, claims, damages, losses or expenses, including attorney's fees, arising out of (1) the preparation or approval of maps, drawings, opinions, reports, surveys, change orders, designs or specifications by the respective indemnitee, or the agents or employees of the respective indemnitee; or (2) the giving of or the failure to give direction or instructions by the respective indemnitee, where such giving or failure to give directions or instructions is the primary cause of bodily injury to persons or damage to property.

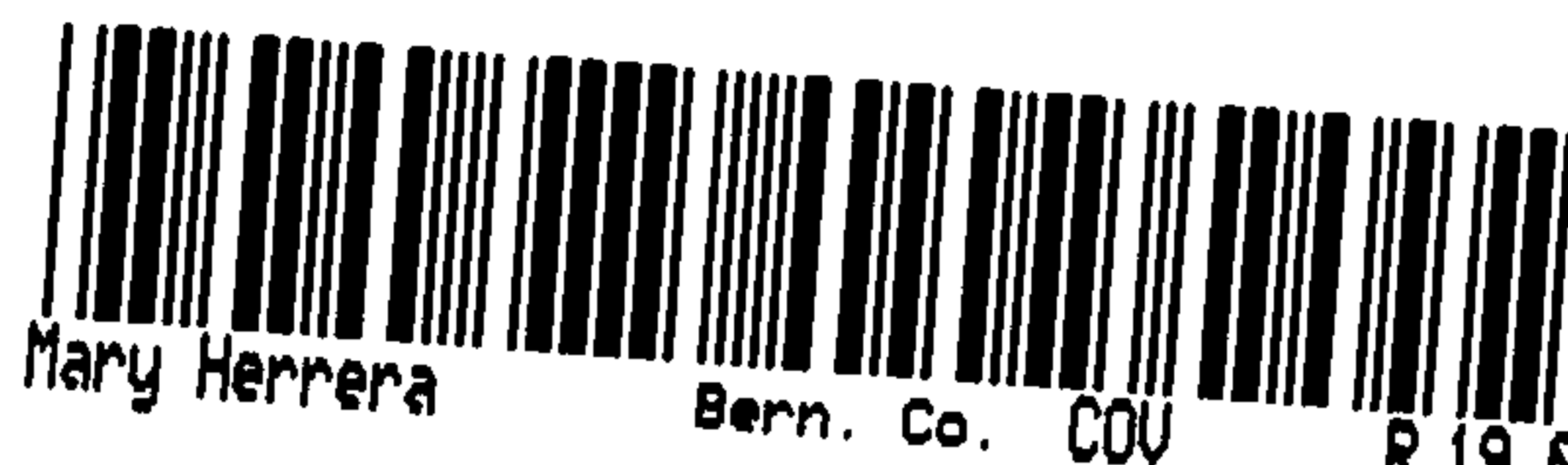
8. Assessment. Nothing in this Covenant shall be construed to relieve the Owner, its heirs, assigns and successors from an assessment against the Owner's Property for improvements to the Property under a duly authorized and approved Special Assessment District. The parties specifically agree that the value of the Drainage Facility will not reduce the amount assessed by the City.

9. Binding on Owner's Property. The covenants and obligations of the Owner set forth herein shall be binding on the Owner, its heirs, assigns and successors and on the Owner's Property and constitute covenants running with the Owner's Property until released by the City. This Covenant can only be released by the City's Chief Administrative Officer with the concurrence of the City Engineer.

10. Entire Covenant. This Covenant contains the entire agreement of the parties and supersedes any and all other agreements or understandings, oral or written, whether previous to the execution hereof or contemporaneous herewith.

11. Changes to Covenant. Changes to this Covenant are not binding unless made in writing, signed by both parties.

12. Effective Date of Covenant. This Covenant shall be effective as of the date of signature of the Owner.



CITY OF ALBUQUERQUE:

ACCEPTED:

By:

[Signature]  
Jay J. Gzar Bruce T. Perlman  
Chief Administrative Officer

Dated: 9-25-06

OWNER: Ventany del Bosque HOA

By:

[Signature]  
Title: member President

Dated: 8-8-06

APPROVED:

[Signature]  
Director, Public Works Dept.

Reviewed by:

[Signature]  
City Engineer  
VJ  
9/22/06  
9-6-06

CITY'S ACKNOWLEDGMENT

STATE OF NEW MEXICO )

COUNTY OF BERNALILLO ) ss

This instrument was acknowledged before me on September 25, 2006, by Richard Saavedra for Jay J. Gzar, Chief Administrative Officer for the City of Albuquerque, a New Mexico municipal corporation, on behalf of the corporation.

[Signature]  
Notary Public

My Commission Expires:

11-25-2007

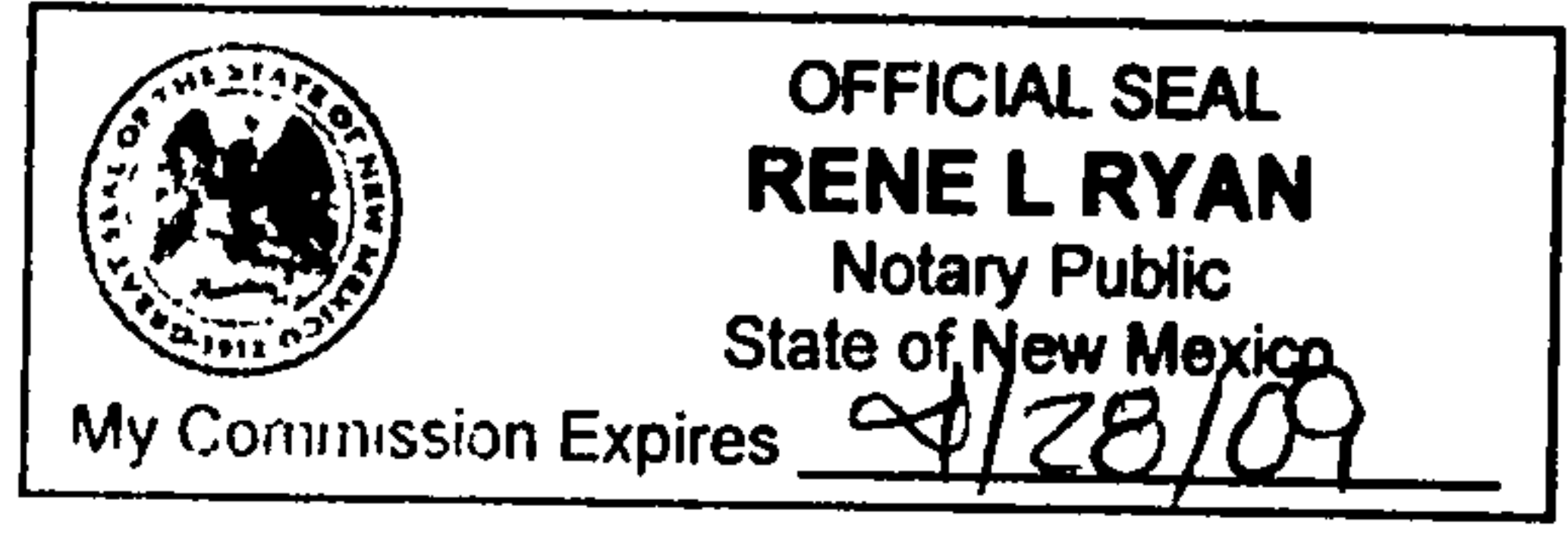


OWNER'S ACKNOWLEDGMENT

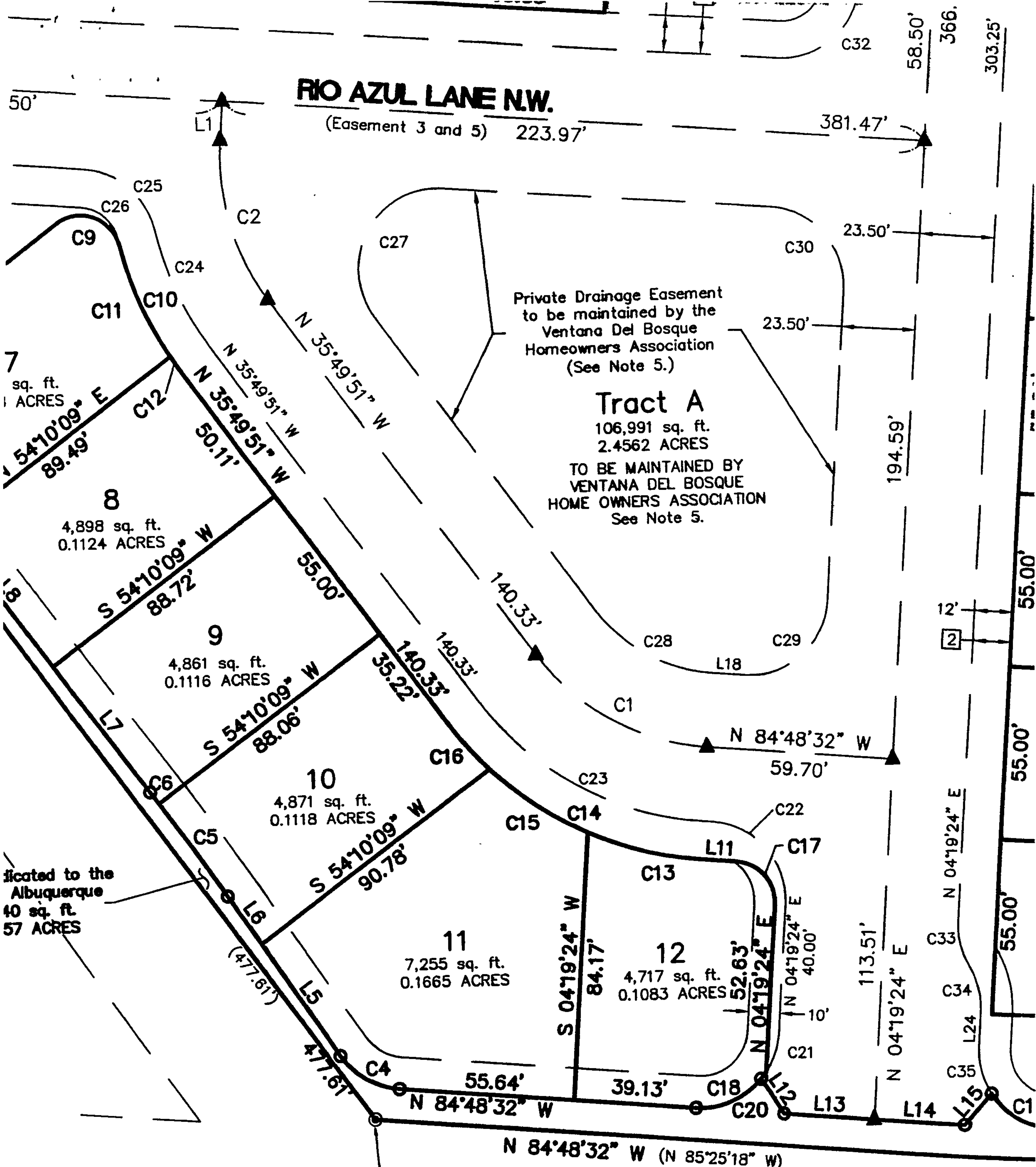
STATE OF NEW MEXICO )  
 ) ss.  
COUNTY OF BERNALILLO )

This instrument was acknowledged before me on Aug 8, 2006 by Scott Ashcraft -  
President, on behalf of SDSD LLC and Ventana del Bosque  
Homeowner Association  
Rene L Ryan  
Notary Public

My Commission Expires:  
April 28, 09



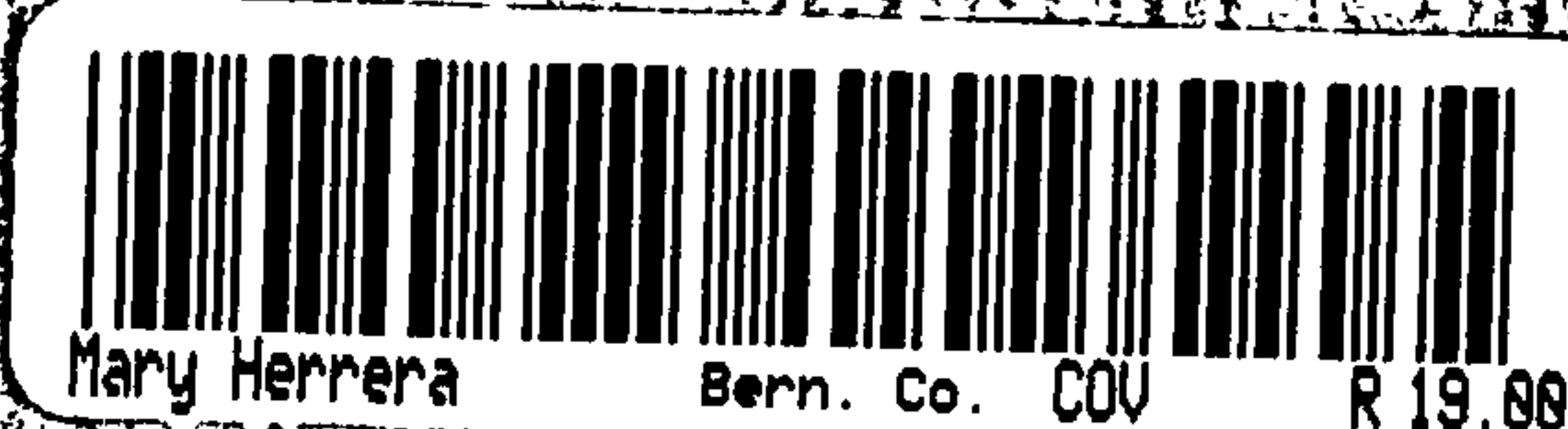
[EXHIBIT A ATTACHED]



located to the Albuquerque 40 sq. ft. 57 ACRES

Private Drainage Easement to be maintained by the Ventana Del Bosque Homeowners Association (See Note 5.)

**Tract A**  
106,991 sq. ft.  
2.4562 ACRES  
TO BE MAINTAINED BY VENTANA DEL BOSQUE HOME OWNERS ASSOCIATION  
See Note 5.



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Page: 5 of 6  
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**Mountain Road, NW**  
(R/W Varies)

ACS Monumen  
NAD 1927 CEN  
X=370,968.75  
Y=1,487,471.8  
Z=4962.948  
G-G=0.99968  
Delta Alpha=

Exhibit A Pg. 1 of 2

[illegible]

ESTATE CURB  
AND GUTTER  
PER COA STD  
DWG #2415A

**PROPOSED  
RETENTION  
POND  
1.0234 AC. FT.**

FP=4956.23

Pk-0124 Pa-6012

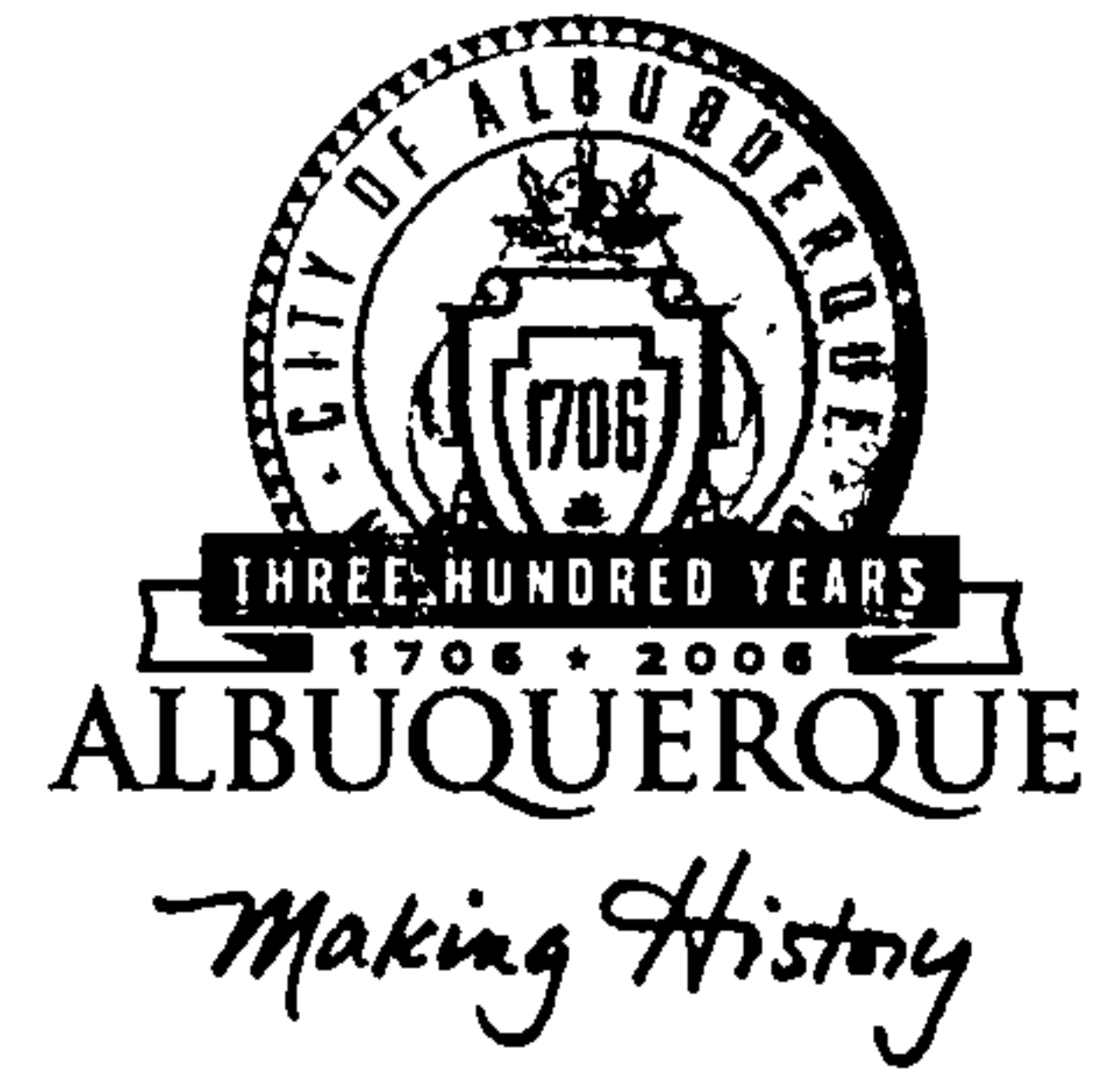
Exhibit A D 2 1 2



Donn Co Roll

0 10 20

# CITY OF ALBUQUERQUE



April 4, 2006

David Soule, PE  
Rio Grande Engineering  
1606 Central SE, Ste 201  
Albuquerque, NM 87106

**Re: Ventana del Bosque Drainage Report**  
**Engineer's Stamp dated 2-20-06**

Dear Mr. Soule,

P.O. Box 1293

Based upon the information provided in your submittal dated 2-21-06, the above referenced report is approved for Preliminary Plat action by the DRB. Once that board approves the plan, please submit a mylar copy for my signature in order to obtain a Rough Grading Permit.

Albuquerque

New Mexico 87103

This project requires a National Pollutant Discharge Elimination System (NPDES) permit. Refer to the attachment that is provided with this letter for details. If you have any questions please feel free to call the Municipal Development Department, Hydrology section at 768-3654 (Charles Caruso).

[www.cabq.gov](http://www.cabq.gov)

If you have any questions, you can contact me at 924-3986.

Sincerely,

Bradley L. Bingham, PE  
Principal Engineer, Planning Dept.  
Development and Building Services

C: Chuck Caruso, DMD  
file

# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 01/28/2003rd)

PROJECT TITLE: Ventana Del Bosque Subdivision  
DRB #: 1004639 EPC #: \_\_\_\_\_

ZONE MAP/DRG. FILE #: J12 / D24  
WORK ORDER #: \_\_\_\_\_

LEGAL DESCRIPTION: Tract 313A1A, Map # 38, MRGCD  
CITY ADDRESS: 3015 Mountain Road NW

ENGINEERING FIRM: Rio Grande Engineering  
ADDRESS: 1606 Central SE, Suite 201  
CITY, STATE: ALBUQUERQUE, NM

CONTACT: David Soule, PE  
PHONE: (505)321-9099  
ZIP CODE: 87106

OWNER: Washington Street Investors  
ADDRESS: PO Box 93024  
CITY, STATE: Albuquerque, NM

CONTACT: Scott Ashcraft  
PHONE: 242-5566  
ZIP CODE: 87199

ARCHITECT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

SURVEYOR: Cartesian  
ADDRESS: PO Box 44414  
CITY, STATE: Rio Rancho NM

CONTACT: Will Plotner  
PHONE: 896-3050  
ZIP CODE: 87174

CONTRACTOR: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

## CHECK TYPE OF SUBMITTAL:

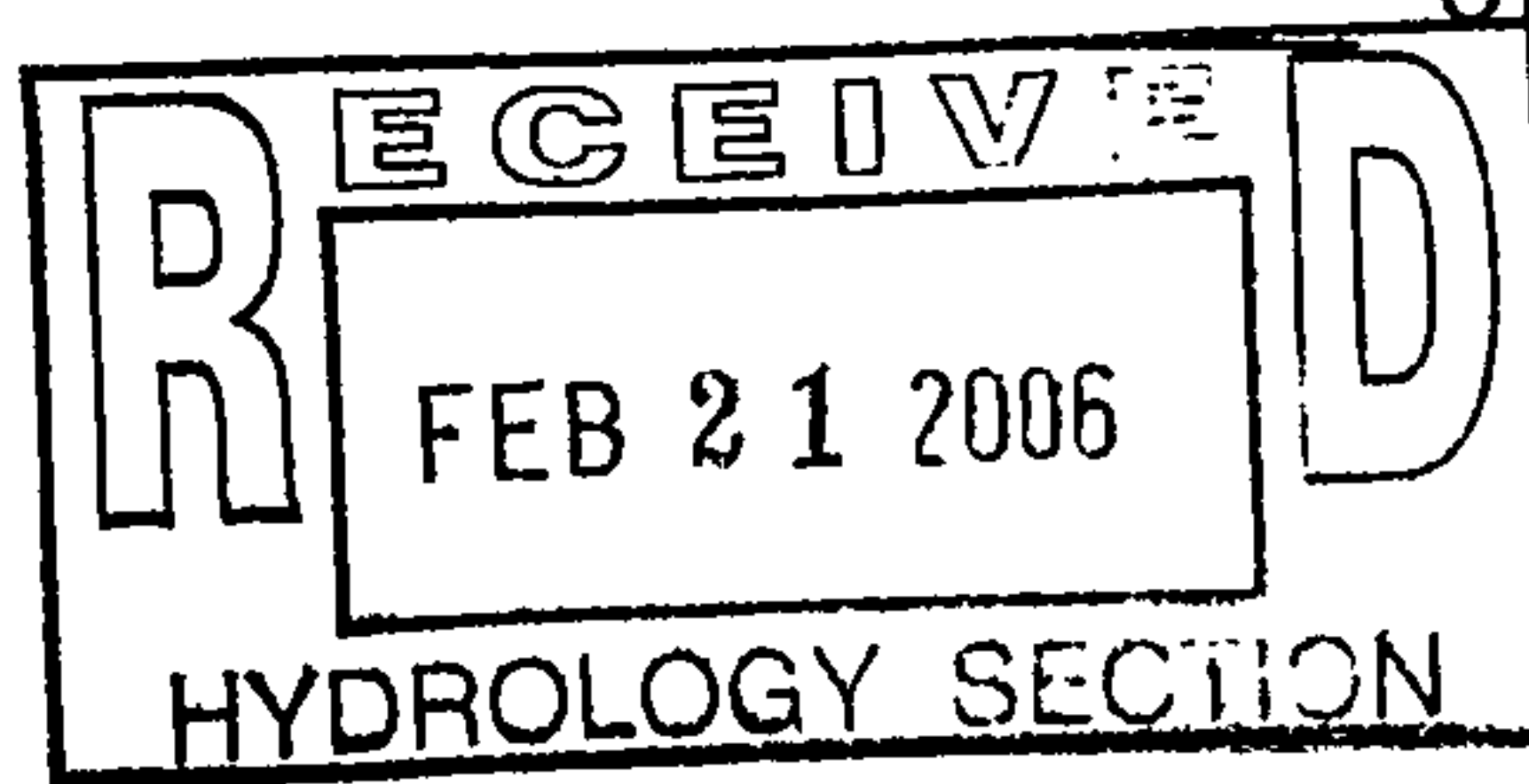
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☐ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*  
☐ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL GRADING & DRAINAGE PLAN  
GRADING PLAN (AMMENDED)  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ ENGINEERS CERTIFICATION (TCL)  
☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)  
☐ OTHER

☐ SIA / FINANACIAL GUARANTEE RELEASE  
☒ PRELIMINARY PLAT APPROVAL  
☒ S. DEV. PLAN FOR SUB'D. APPROVAL  
☒ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL  
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☐ WORK ORDER APPROVAL  
☐ OTHER (SPECIFY)

## WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES  
☒ NO  
☐ COPY PROVIDED



DATE SUBMITTED: 2/20/2006 BY: David Soule

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DRAINAGE REPORT

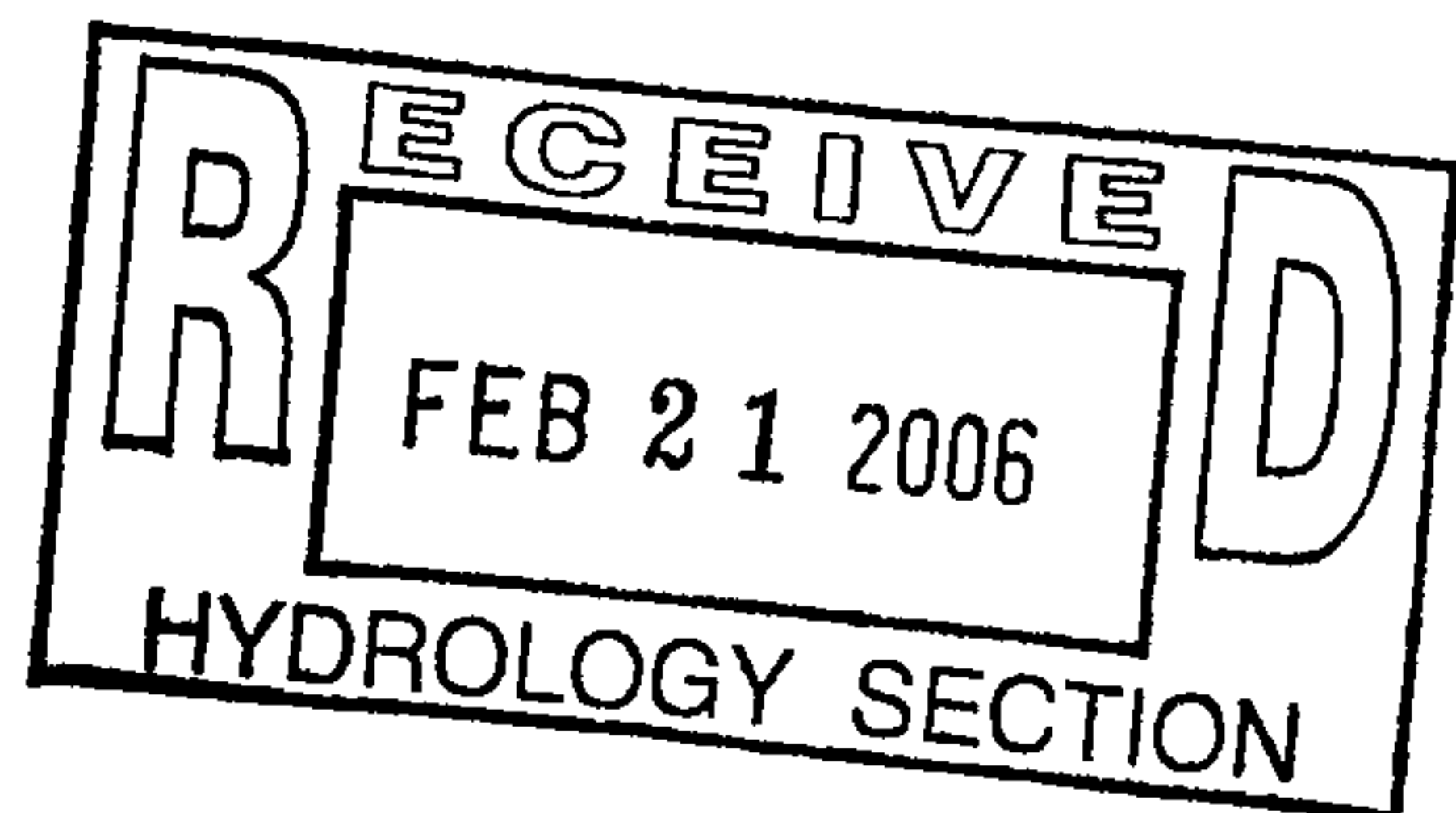
For

**VENTANA DEL BOSQUE  
SUBDIVISION  
Albuquerque, New Mexico**

Prepared by

Rio Grande Engineering  
1606 Central SE  
Albuquerque, New Mexico 87106

February 2006



David Soule P.E. No. 14522

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Appendix

Site Hydrology ..... A

Map Pocket

Site Grading and Drainage Plan

## **PURPOSE**

The purpose of this report is to provide the Drainage Management Plan for the development of the Ventana Del Bosque Subdivision. This plan will be utilized for the development of the subject property as a 18-lot single family residential subdivision. This plan was prepared in accordance with the City of Albuquerque's Development Process Manual. This report will demonstrate that the proposed improvements do not adversely affect the surrounding properties, nor the upstream or downstream facilities.

## **INTRODUCTION**

The subject of this report, as shown on the Exhibit A, is a 4.70-acre parcel of land located at the north east corner of Mountain Road NW and Gabaldon Road NW. The site is located in the near north valley area of Albuquerque. The legal description of this site is Tract 313A1A of MRGCD Map # 38. As shown on FIRM map 35001C0331E, the site is located entirely within Flood Zone X. The site is currently developed as a mobile home park.

The site is located within the low lying near north Valley. Based upon the flat area and the lack of drainage outfalls, this site must conform to the Flat Drainage Scheme criteria. The development of this property will be in conformance to the flat drainage scheme while utilizing the large common area tract created with this development. Based upon the orthotopographical maps of the area, there are no upland flows which affect this property. Based upon the City of Albuquerque's allowable drainage solution afforded the valley, this site must retain the 100-year, 10-day storm event onsite. Due to the nature of the development these volumes will be retained onsite within the central common area.



## **EXISTING CONDITIONS**

The site is currently developed as a mobile home park. Based upon the condition of the homes, and the location, this site has been in a developed condition for a substantial amount of time. The site is covered with mobile home, pavement and various ground covering. The site is relatively flat with localized indiscriminant ponding. It appears during large rain events the site will discharge directly to Mountain Road. Very minor offsite flows enter the site from the east, but a current development named Entrada Del Bosque will eliminate the entire upland basin. As shown in Appendix A, this site currently generates a 100-year 6-hour volume of .626 acre feet with a peak flow rate of 17.90 cfs. The majority of the flow stays onsite with an undermined amount 'spilling' onto Mountain Road.

## **PROPOSED CONDITIONS**

The proposed improvements consist of a 18-lot single family residential lot subdivision with approximately 900 lineal feet of 24' wide private roads. The onsite lot grading shall consist of a building pad and rear and side yard swales with typical grades of 1%. Each lot will drain directly to the fronting roadway. The proposed roadway will consist of a 2% super elevated roadway section with mountable curbs on the lots side and estate curb on the common area side. The developed storm water discharge rates were calculated using the simplified procedure for 40 acre and smaller basins as shown in chapter 23-part A of the Development Process Manual. As shown in Appendix A, the total developed flow generated by this site is predicted to be 17.47 cfs. Due to the super elevation of the roads there is no need for storm water conveyance capacity to be calculated. As shown in appendix A, the 100-year, 10-day event will generate a volume of .933 acre feet. As shown on the grading plan the common area has been depressed such that the holding volume is 1.023 acre feet. The side slopes of this pond 7:1. A Private drainage easement with pond covenants will encumber this permanent pond. Based upon the shallow

slopes, this ponding area will be utilized as a common area amenity with will be mainlined along with the roads by the Home owners Association.

## **SUMMARY AND RECOMMENDATIONS**

This site is a redevelopment of a portion of land located within the near north valley area of Albuquerque. This site and the surrounding area is low lying flat land. As allowed within this area, the development of this property shall consist of the flat grading scheme with onsite retention ponding. As proven in this report the site will retain the entire 100-year, 10-day storm event volume.

The proposed site development does not adversely affect the upstream or downstream facilities. The site was designed in conformance to City of Albuquerque Drainage Policy. Therefore, we request approval of the site-grading plan. Since public improvements will be constructed a work order and Subdivision Improvement Agreement will be required. Since this site encompasses more than 1 acre, a NPDES permit will be required prior to any construction activity.

**APPENDIX A**  
**SITE HYDROLOGY**

## Weighted E Method

### Existing Basins

											100-Year		
Basin	Area (sf)	Area (acres)	Treatment A		Treatment B		Treatment C		Treatment D		Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs
			%	(acres)	%	(acres)	%	(acres)	%	(acres)			
ONSITE	204675.37	4.699	0%	0	22%	1.034	23%	1.0807	55%	2.584	1.598	0.626	17.90
Total	204675.37	4.699		0		1.034		1.0807		2.584		0.626	17.90

### Proposed Developed Basins

											100-Year, 6-hr.			10-day
Basin	Area (sf)	Area (acres)	Treatment A		Treatment B		Treatment C		Treatment D		Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs	Volume (ac-ft)
			%	(acres)	%	(acres)	%	(acres)	%	(acres)				
ONSITE	204675.37	4.699	0%	0	27%	1.269	21%	0.98673	52%	2.443	1.550	0.607	17.47	0.933
Total	204675.37	4.699	0%	0	30%	1.269		0.98673	70%	2.443	1.550	0.607	17.47	0.933

### Equations:

Weighted E =  $E_a \cdot A_a + E_b \cdot A_b + E_c \cdot A_c + E_d \cdot A_d$  / (Total Area)

Volume = Weighted D \* Total Area

Flow =  $Q_a \cdot A_a + Q_b \cdot A_b + Q_c \cdot A_c + Q_d \cdot A_d$

Where for 100-year, 6-hour storm

$E_a = 0.53$

$E_b = 0.78$

$E_c = 1.13$

$E_d = 2.12$

$Q_a = 1.56$

$Q_b = 2.28$

$Q_c = 3.14$

$Q_d = 4.7$