

CITY OF ALBUQUERQUE



March 9, 2020

Holden Rennaker, PE,
Short Elliot Hendrickson Inc.
924 Main Avenue, Unit C
Durango, CO 81301

Re: Monterey Motel
2402 Central Avenue SW
Traffic Circulation Layout
Engineer's/Architect's Stamp 03-04-20 (J12D032)

Dear Mr. Rennaker,

The TCL submittal received 03-06-2020 is approved for Building Permit with. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Nilo Salgado-Fernandez, P.E.
Senior Engineer, Planning Dept.
Development Review Services

Ernie Gomez,
Plan Checker, Planning Dept.

\xxx via: email
C: CO Clerk, File

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

MONTEREY MOTEL WILL BE A RENOVATION TO AN EXISTING MOTEL (R-1 USE) BUILDING LOCATED AT 2402 CENTRAL AVE SW. PHASE 1 OF THE PROJECT WILL BE RENOVATING THE TWO EXISTING BUILDINGS WITH 1 STORY AND TOTAL OF 18 UNITS. THE EXISTING LOBBY AREA WILL BE CONVERTED INTO A BAR AREA WITH AN OUTSIDE PATIO AREA. PHASE 2 WILL BE THE CONSTRUCTION OF AN ADDITIONAL BUILDING WITH 18 ADDITIONAL UNITS.

THE EXISTING PARKING LOT SERVES THE TWO EXISTING MOTEL BUILDINGS. THE EXISTING ANGLED PARKING STALLS HAVE SHORT STALL DEPTHS AT 8.7-FT WHERE EVEN COMPACT CARS CURRENTLY STICK OUT INTO THE DRIVE AISLE. THE EXISTING SIDEWALKS TO ACCESS THE MOTEL UNITS ARE AS SMALL AS 1.7-FT WIDE DUE TO LANDSCAPING BARRIERS. CITY OF ABQ CODE STATES IN 5-5(B)(2)(B) THAT BUILDINGS CONSTRUCTED PRIOR TO 1965 DO NOT HAVE TO MEET MINIMUM OFF-STREET PARKING REQUIREMENTS EXCEPT TO SATISFY ADA. MONTEREY MOTEL WAS CONSTRUCTED PRIOR TO 1965 SO THIS APPLIES TO THE PROJECT. THE BUILDING IS NOT BEING EXPANDED BY MORE THAN 200 SQUARE FEET AND ADA SPACES ARE BEING PROVIDED. PARKING IS BEING PROVIDED TO THE MAXIMUM EXTENT POSSIBLE.

THE PROJECT HAS TRAFFIC ENTERING THE SITE FROM CENTRAL AVE THROUGH A ONE WAY DRIVE AISLE AND EXITING THE SITE ONTO NEW YORK AVENUE. THE PROPOSED PARKING LOT MEETS CITY STANDARDS FOR TOTAL SPACES REQUIRED AND THE REQUIRED DEPTHS AND WIDTHS FOR 75° ANGLED STALLS. THE SITE ALSO PROVIDES ADEQUATE SIDEWALK WIDTHS ALONG THE MOTEL UNITS. THE PROPOSED 20-FT DRIVE AISLE IS 2-FT LESS THAN THE REQUIRED WIDTH FOR 75° ANGLED STALLS BASED ON THE DESIGN CONSTRAINTS PRESENTED BY THE SPACING OF THE EXISTING BUILDINGS AND THE NEED TO PROVIDE ADEQUATE SIDEWALK WIDTH. THE DESIGN TEAM REQUESTS THAT THIS APPROACH BE CONSIDERED ACCEPTABLE AS THE DRIVE AISLE PROVIDES THE MINIMUM FIRE APPARATUS WIDTH (20-FT) AND ONLY HAS PARKING ON ONE SIDE OF THE DRIVE AISLE. THERE WILL BE NO ADDITIONAL RISK OF CARS BACKING INTO OTHER CARS WITH THE 2-FT REDUCED WIDTH DRIVE AISLE.

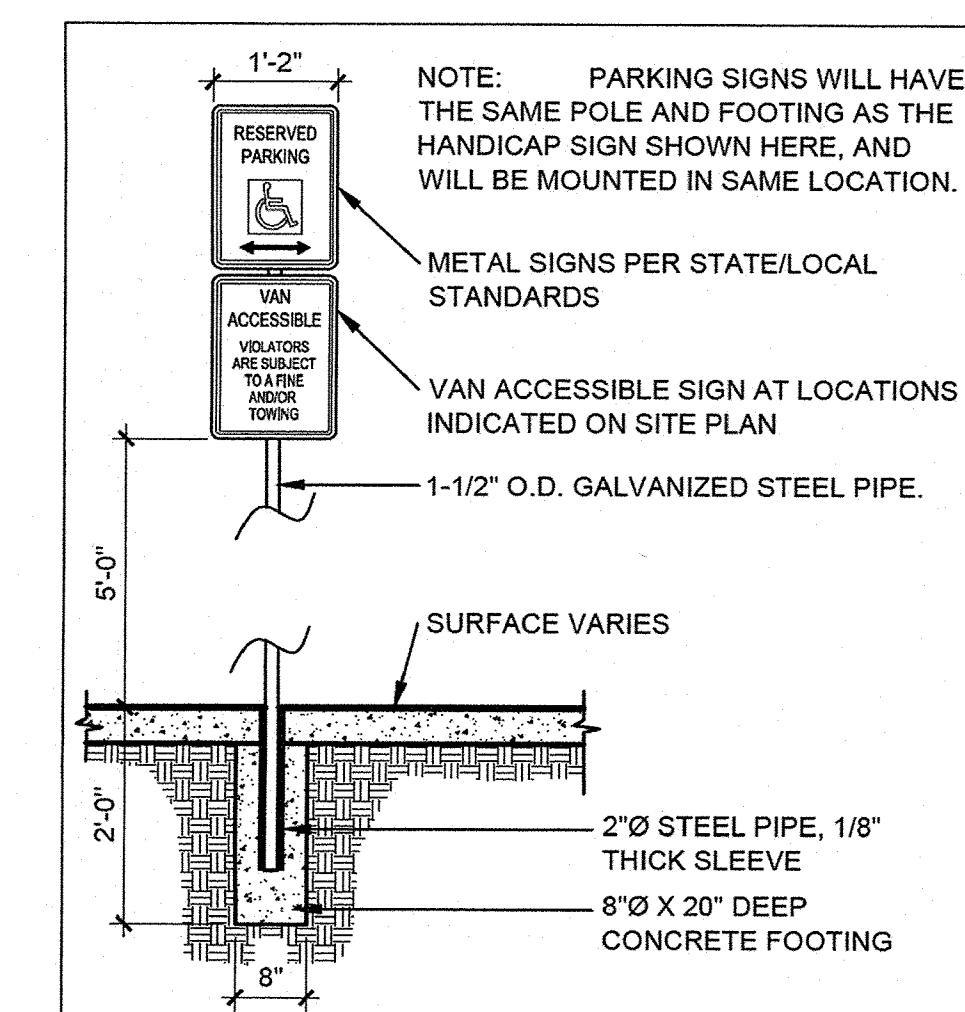
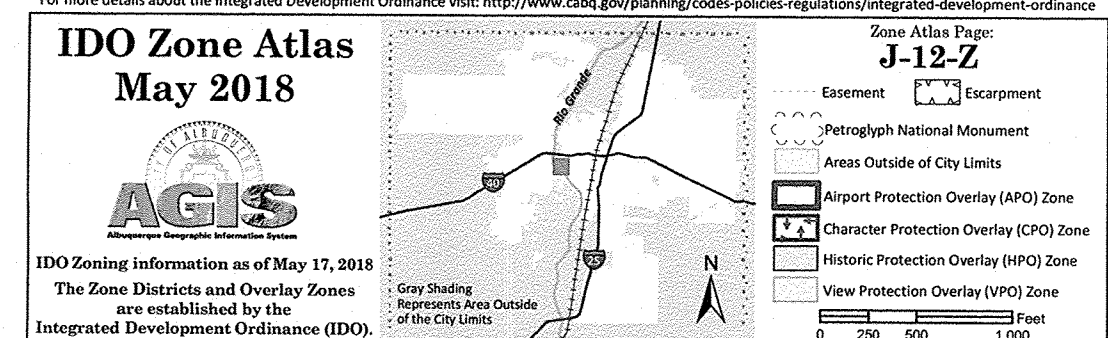
PHASE 1 HOTEL OR MOTEL: UC-MS-PT: 2 SPACES / 3 GUEST ROOMS REQUIRED (18 GUEST ROOMS) = 12 SPACES
PHASE 2 HOTEL OR MOTEL: UC-MS-PT: 2 SPACES / 3 GUEST ROOMS REQUIRED (18 GUEST ROOMS) = 12 SPACES
PHASE 1 BAR: UC-MS-PT: 5 SPACES / 1000 GFA (600 GFA) = 3 SPACES

PER IDO TABLE 5-5(C)(5)(c) - A 30% REDUCTION IS ALLOWED FOR TRANSIT STOP LOCATED WITH 1/4-MILE.
(27 SPACES REQUIRED) * (0.30) = 8 SPACE REDUCTION

TOTAL PROVIDED = 22 SPACES

TOTAL ACCESIBLE SPACES PROVIDED = 2
TOTAL VAN ACCESIBLE SPACES PROVIDED = 2

TOTAL COMPACT SPACES PROVIDED: 6 SPACES

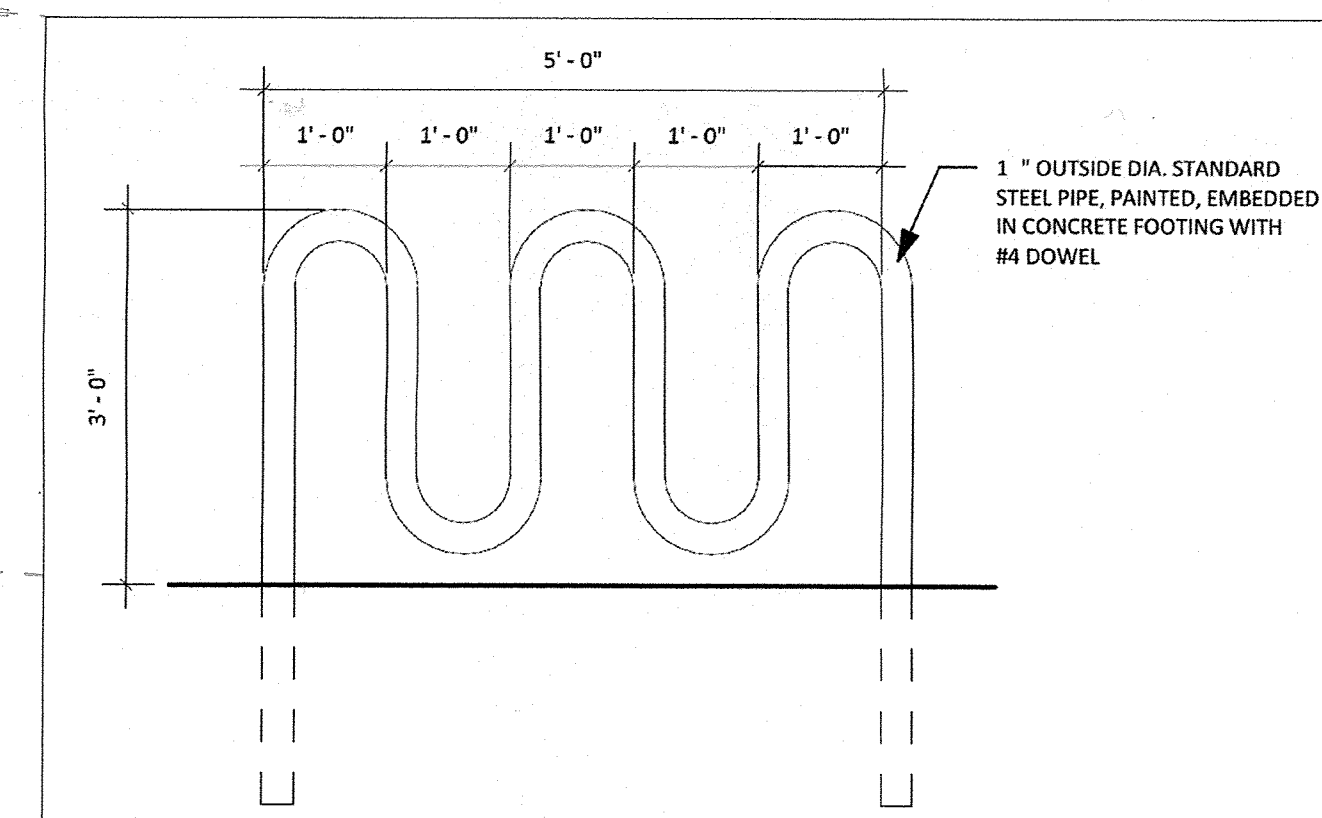
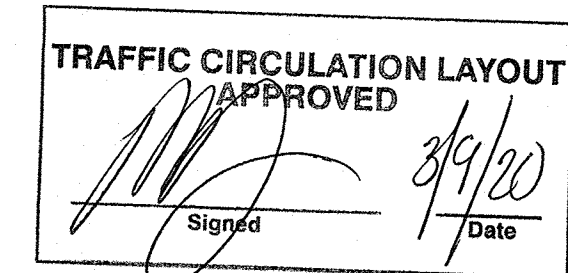


EXISTING FIRE HYDRANT

TOTAL BICYCLE SPACES REQUIRED: 3 SPACES

TOTAL MOTORCYCLE SPACES PROVIDED = 3 SPACES

ALL WHEELCHAIR RAMPS LOCATED
WITHIN THE PUBLIC RIGHT OF WAY
MUST HAVE TRUNCATED DOMES.

BIKE RACK DETAIL -
FROM ARCH PLAN

— 0 FT —

THREE (3) COMPACT SPACES
WITH WALL-MOUNTED "COMPACT ONLY" SIGNS
(12-IN X 18-IN)

PROPOSED (3) MOTORCYCLE SPACES
WITH WALL MOUNTED "MOTORCYCLE PARKING ONLY" SIGNS
(12-IN X 18-IN)

PROPOSED COA TRASH ENCLOSURE.
ANGLE OF THE REFUSE ENCLOSURE IS TO CLEAR THE ADJACENT PARKING. REFUSE
WILL STOP AT REFUSE ENCLOSURE WITH A TWO MAN CREW TO GET TO 6-YARD LIFT
BIN ON CASTERS (HAZARD).
REFUSE COLLECTION VEHICLE MAY PULL THROUGH ONE-WAY DRIVE ON SITE OR
PARK ON NEW YORK AVENUE TO ACCESS 6-YARD LIFT BIN.

1. ALL "NO PARKING" AND "COMPACT" TEXT SHALL BE IN CAPITAL LETTERS, AT LEAST 1-FT HIGH AND 2-IN WIDE PLACED AT THE REAR OF THE SPACE SO AS TO BE CLOSE TO WHERE A REAR TIRE WOULD BE.
2. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER PER COA STANDARD DETAILS 2415 AND 2430.



934 Main Avenue, Unit C
Durango, Colorado 81301
Phone: (970) 385-4546
Fax: (970) 385-4502

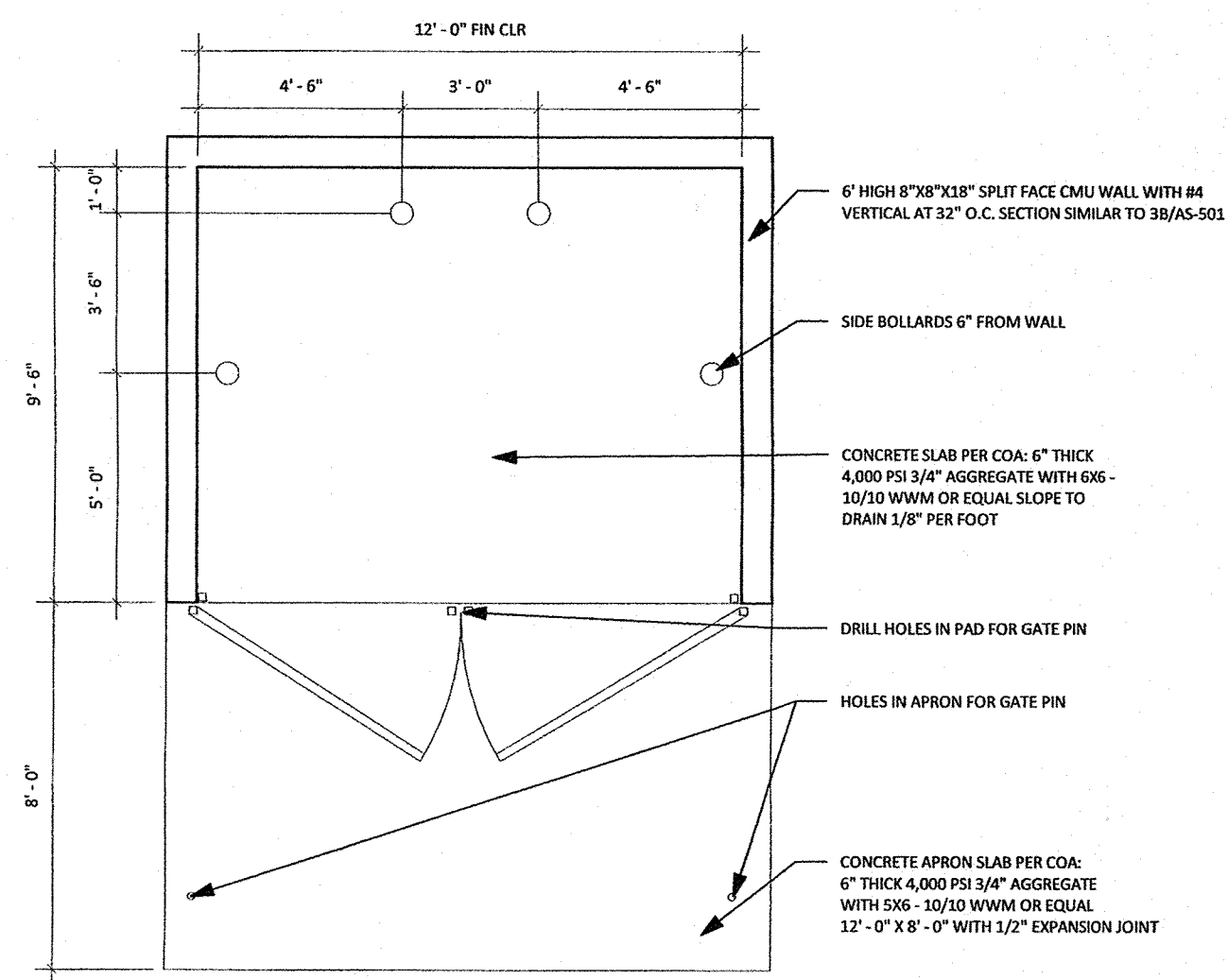
MONTEREY MOTEL
2402 CENTRAL AVE SW
ALBUQUERQUE, NM 87104

REVISIONS

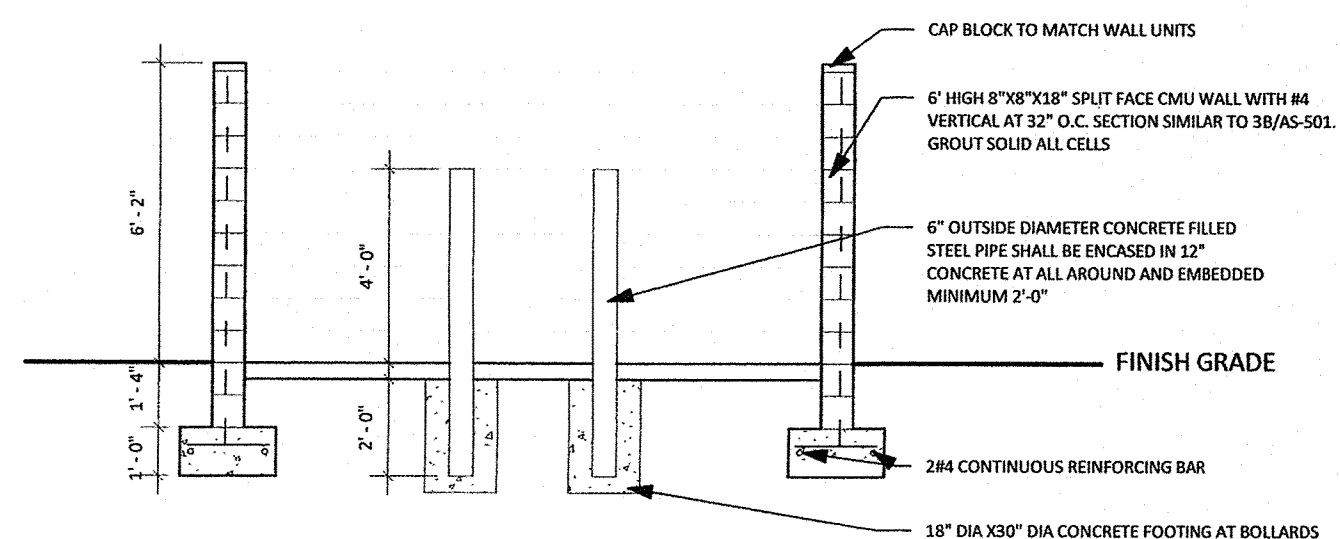
SHEET TITLE

C-101

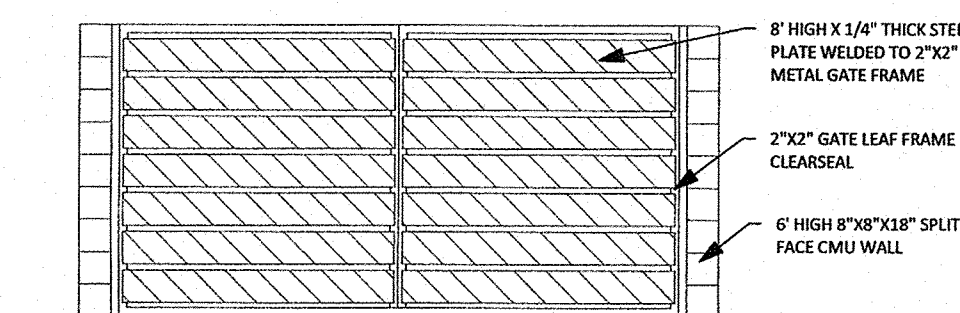
2415 PRINCETON DR. NE, SUITE E
ALBUQUERQUE, NM 87107
505.843.7587
www.designplusabq.com



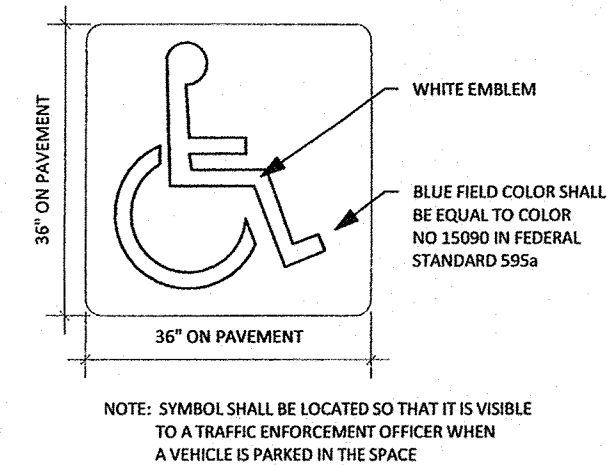
1 REFUSE ENCLOSURE
1/4" = 1'-0"



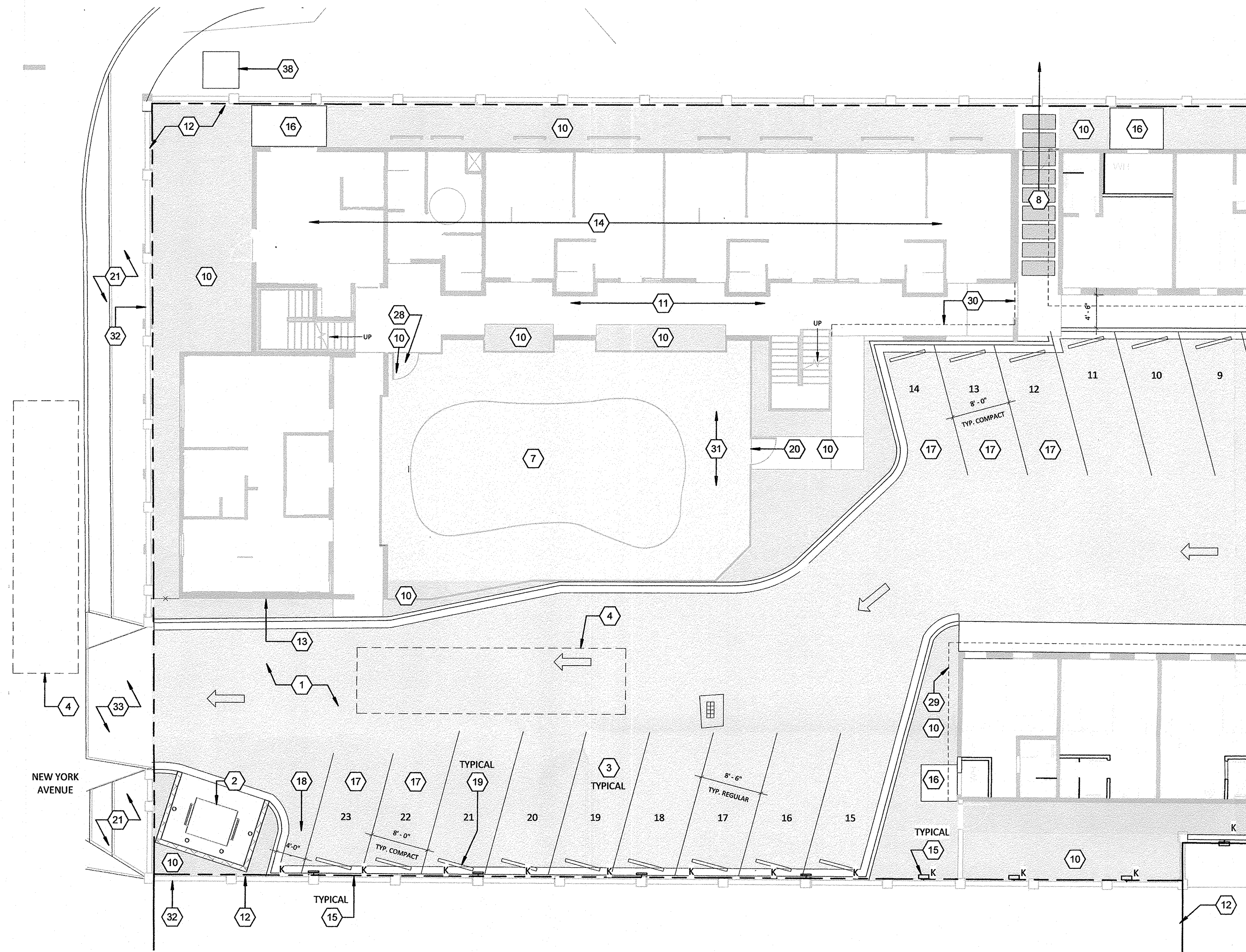
2 REFUSE ENCLOSURE ELEVATION
1/4" = 1'-0"



3 BICYCLE RACK
1/2" = 1'-0"



4 ADA SYMBOL FOR PAVEMENT
1/2" = 1'-0"



5 ENLARGED REFUSE SITE PLAN
1" = 10'-0"

ENLARGED PLAN GENERAL NOTES

- THE ANGLE OF THE REFUSE ENCLOSURE IS TO CLEAR THE PARKING ADJACENT TO IT. REFUSE COLLECTION VEHICLE WILL HAVE TO STOP AT REFUSE ENCLOSURE WITH A TWO MAN CREW TO GET TO THE 6 YARD LIFT BIN ON CASTERS (HAZARD).
- REFUSE COLLECTION VEHICLE HAS TWO OPTIONS OF PULLING THROUGH ONE WAY DRIVE OF SITE OR PARKING ON NEW YORK AVENUE FOR THE TWO MAN CREW TO GET TO THE 6 YARD LIFT BIN ON CASTERS.

SHEET KEYED NOTES

- REFUSE VEHICLE LANE.
- NEW STANDARD CITY TRASH ENCLOSURE WITH 6 YARD LIFT BIN ON CASTERS PER CODE ENFORCEMENT. WILL BE ON 50 CODE (HAZARD SERVICE).
- TYPICAL ANGLED PARKING SPACE.
- FRONT LOADER REFUSE COLLECTION VEHICLE DIMENSIONS.
- EXISTING POOL.
- NEW PATHWAY TO EXISTING EL VADO MOTEL SITE.
- NEW LANDSCAPED AREA.
- NEW SIDEWALK.
- PROPERTY LINE.
- EXISTING POOL HOUSE TO REMAIN AND RENOVATED FOR FUTURE ADDITION BUILDING.
- FUTURE ADDITION BUILDING.
- EXTERIOR PERIMETER WALL SCONCE LIGHT FIXTURES TO BE CENTERED BETWEEN DECORATIVE CMU COLUMNS. VERIFY LOCATIONS IN FIELD. TYPICAL.
- CONCRETE STOOP.
- COMPACT PARKING SPACE.
- MOTORCYCLE PARKING SPACE.
- CONCRETE CURB STOP.
- NEW FENCE.
- EXISTING SIDEWALK AND C.O.A. DRIVE TO REMAIN.
- NEW GATE IN FENCE.
- OVERHANG ABOVE.
- SECOND LEVEL ABOVE.
- NEW POOL DECK.
- EXISTING 6' HIGH CMU WALL AND DECORATIVE COLUMNS TO REMAIN.
- EXISTING EXIT DRIVE.
- NEW 5'X5' CONCRETE PAD FOR TRANSFORMER ON ADJACENT LOT.

CITY OF ALBUQUERQUE
"SOLID WASTE"
MANAGEMENT DEPARTMENT
APPROVED
3/14/20

ALL WHEELCHAIR RAMPS LOCATED
WITHIN THE PUBLIC RIGHT OF WAY
MUST HAVE TRUNCATED DOMES.

TRAFFIC CIRCULATION LAYOUT
APPROVED
3/9/20
Signed
Date

MAR 06 2020
LAND DEVELOPMENT SECTION

2415 PRINCETON DR. NE, SUITE E
ALBUQUERQUE, NM 87107
505.843.7587
www.designplusllc.com

DESIGN PLUS LLC

2402 CENTRAL AVE. SW
MONTEREY MOTEL
INTERIOR RENOVATION & SITE WORK

DATE: 02/07/20

REVISIONS

A 3.4.2020

DRAWN BY: NF

CHECKED BY: RE

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DESIGN PLUS, LLC

SHEET TITLE

SITE DETAILS

INT.
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