

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

August 2, 2024

David Soule, P.E.  
Rio Grande Engineering  
P.O. Box 93924  
Albuquerque, NM 87199

**RE: 2532 Carson NW  
Grading and Drainage Plan  
Engineer's Stamp Date: 07/22/24  
Hydrology File: J12D035**

Dear Mr. Soule:

Based upon the information provided in your submittal received 07/22/2024, the Grading and Drainage Plan is approved for Building Permit. **Since this site is an addition to an existing structure, a pad certification is not needed for this project.** Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

**PRIOR TO CERTIFICATE OF OCCUPANCY:**

1. Engineer's Certification, per the DPM Part 6-14 (F): Engineer's Certification Checklist For Non-Subdivision is required.

If you have any questions, please contact me at 505-924-3914 or [amontoya@cabq.gov](mailto:amontoya@cabq.gov).

Sincerely,

Anthony Montoya, Jr., P.E.  
Senior Engineer, Hydrology  
Planning Department, Development Review Services





Weighted E Method															
										100-Year, 6-hr				100 yr 24-HOUR	
Basin	Area (sf)	Area (acres)	Treatment A % (acres)	Treatment B (acres)	Treatment C % (acres)	Treatment D % (acres)	Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs	Volume (ac-ft)					
Historical	38323.00	0.903	0%	0.72%	0.650	20%, 0.181	8%, 0.072	0.968	0.073	2.40	0.075				
Proposed	38323.00	0.903	0%	0.66%	0.596	24%, 0.217	10%, 0.090	1.008	0.076	2.46	0.078				

Equations:

Weighted E = Ea\*Aa + Eb\*Ab + Ec\*Ac + Ed\*Ad / (Total Area)

Volume = Weighted D \* Total Area

Flow = Qa \* Aa + Qb \* Ab + Qc \* Ac + Qd \* Ad

Where for 100-year, 6-hour storm(zone2)  
Ea= 0.82      Qa= 1.71  
Eb= 0.9      Qb= 2.36  
Ec= 1.03      Qc= 3.05  
Ed= 2.33      Qd= 4.34

Developed Conditions	TOTAL VOLUME
PROPOSED GENERATION	24 HOUR
PROPOSED PONDING	3402 CF
	3836 CF

This site is a redevelopment of a currently developed lot. The improvements will be an addition to the existing. The site will conform to the valley flat area drainage scheme. The site will retain the 100-year 24-hour. The ponds will overflow to the adjacent lots and ultimately to the street in the event of a storm exceeding the 100-year event. The surrounding are is flat, existing irrigation ditches do not allow offsite flows enter the site from south and west. The street and a curb/wall prevent offsite flow on north and east. The finished floor proposed to be 2.5' higher than the maximum water surface elevation. The house finish floor is set to match existing due to it being addition

City of Albuquerque  
Planning Department  
Development Review Services  
HYDROLOGY SECTION  
**APPROVED**

DATE: 08/02/2024  
BY: *[Signature]*  
HydroTrans #: J12D035

THE APPROVAL OF THESE PLANS/REPORT SHALL NOT BE CONSIDERED TO PREVENT VIOLATIONS OF ANY CODES, ORDINANCES, OR RULES. ANY AND ALL WORK SHALL BE SUBJECT TO THE CITY OF ALBUQUERQUE'S FINAL REVIEW AND APPROVAL. ANY VIOLATIONS OF ANY CODES, ORDINANCES, OR RULES SHALL BE CHARGED TO THE DESIGNER. THE CITY OF ALBUQUERQUE SHALL NOT BE RESPONSIBLE FOR ANY DAMAGES, LOSSES, OR INJURIES RESULTING FROM THE USE OF THESE PLANS/REPORT.

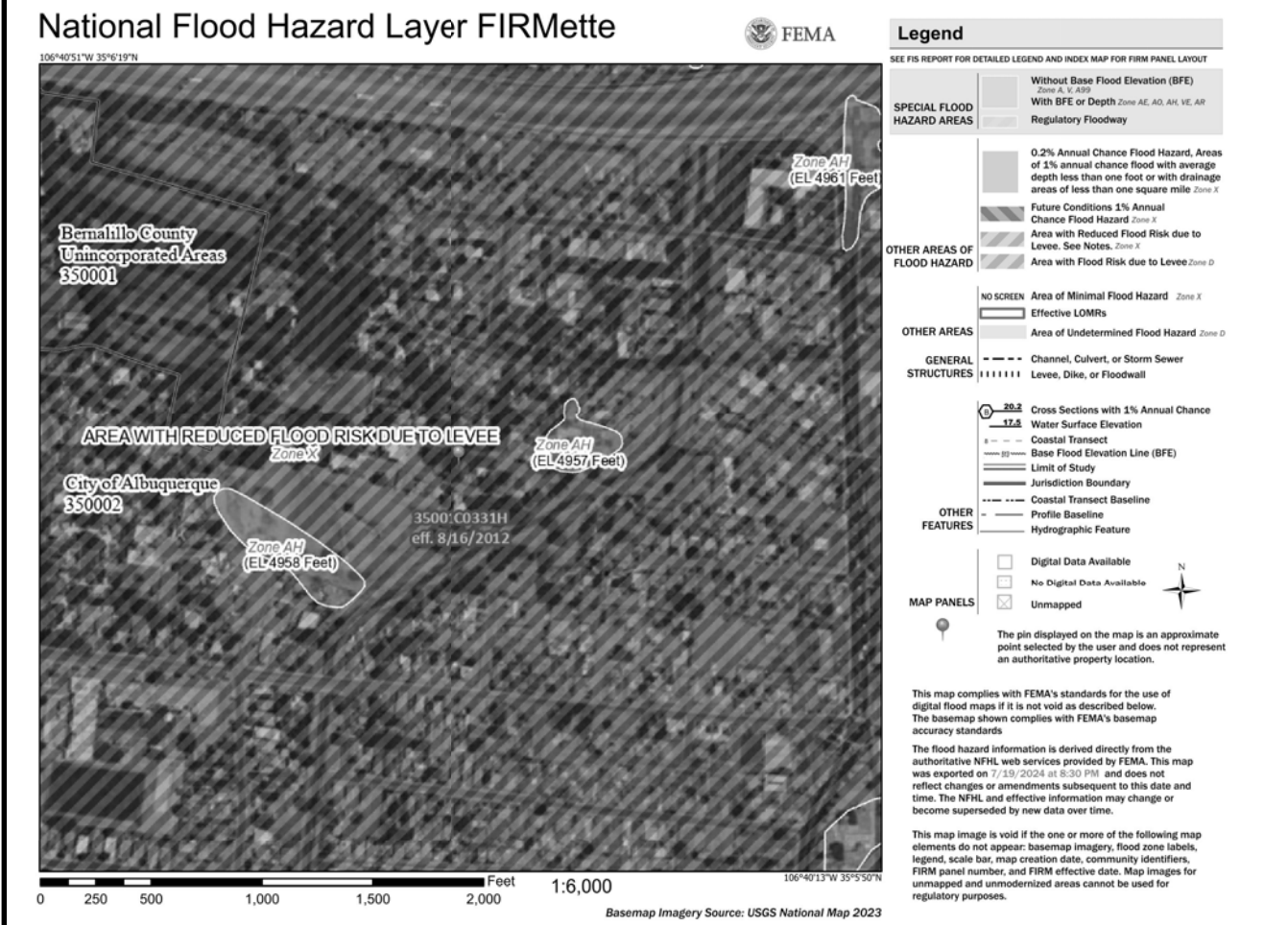
APPROVAL OF GRADING & DRAINAGE PLAN(S) SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE BY THE CITY IF NO BUILDING PERMIT HAS BEEN PULLED ON THE DEVELOPMENT

### EROSION CONTROL NOTES:

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
- REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



### VICINITY MAP:



### FIRM MAP:

### LEGAL DESCRIPTION:

TRACT A-2 LANDS OF JOHN C. BROWN AND LOIS MARY BROWN  
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

### NOTES:

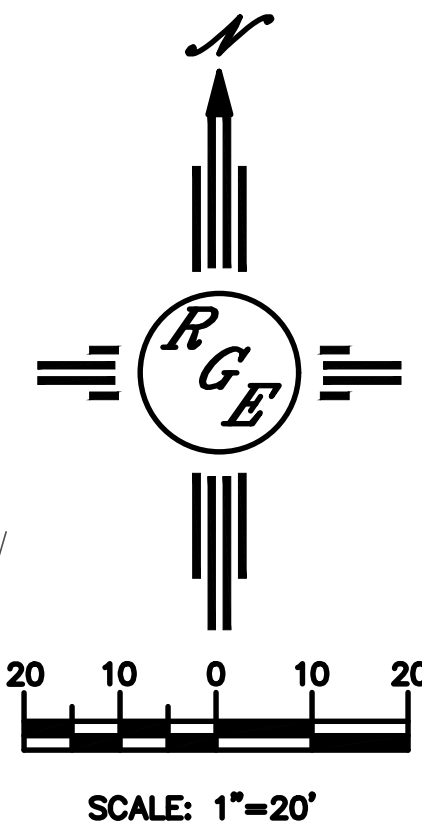
- ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
- ALL SLOPES SHALL BE 3:1 MAX. AND GRAVEL OR NATIVE SEEDING PRIOR TO CO.
- ANY PERIMETER WALLS MUST BE PERMITTED SEPARATELY ALL RETAINING WALL DESIGN SHALL BE BY OTHERS.
- SURVEY INFORMATION PROVIDED BY COMMUNITY SCIENCES CORPORATION USING NAVD DATUM 1988.
- LONG TERM MAINTAINANCE OF ALL PONDS, SWALES AND OVERFLOWS IS REQUIRED
- A PAD ELEVATION CERTIFICATION SHALL BE REQUIRED PRIOR TO RELEASE OF BUILDING PERMIT.

### LEGEND

-----XXXX-----	EXISTING CONTOUR
-----XXXX-----	EXISTING INDEX CONTOUR
-----XXXX-----	PROPOSED CONTOUR
-----XXXX-----	PROPOSED INDEX CONTOUR
• XXXX	EXISTING SPOT ELEVATION
● XXXX	PROPOSED SPOT ELEVATION
-----	BOUNDARY
-----	ADJACENT BOUNDARY
=====	EXISTING CURB AND GUTTER
-----<-----	PROPOSED FLOW LINE IN GRAVEL DRIVE
-----	PROPOSED CONCRETE

### CAUTION:

EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.



ENGINEER'S SEAL  7/22/24 DAVID SOULE P.E. #14522	TRACT A-2 LANDS OF JOHN C. BROWN AND LOIS MARY BROWN <b>2532 CARSON RD</b>  <b>GRADING AND DRAINAGE PLAN</b>   P.O. BOX 53924 ALBUQUERQUE, NM 87199 (505) 321-9099	DRAWN BY: DEM
		DATE: 7-20-24 2532 Carson Rd .DWG  SHEET # <b>C1</b>  JOB #