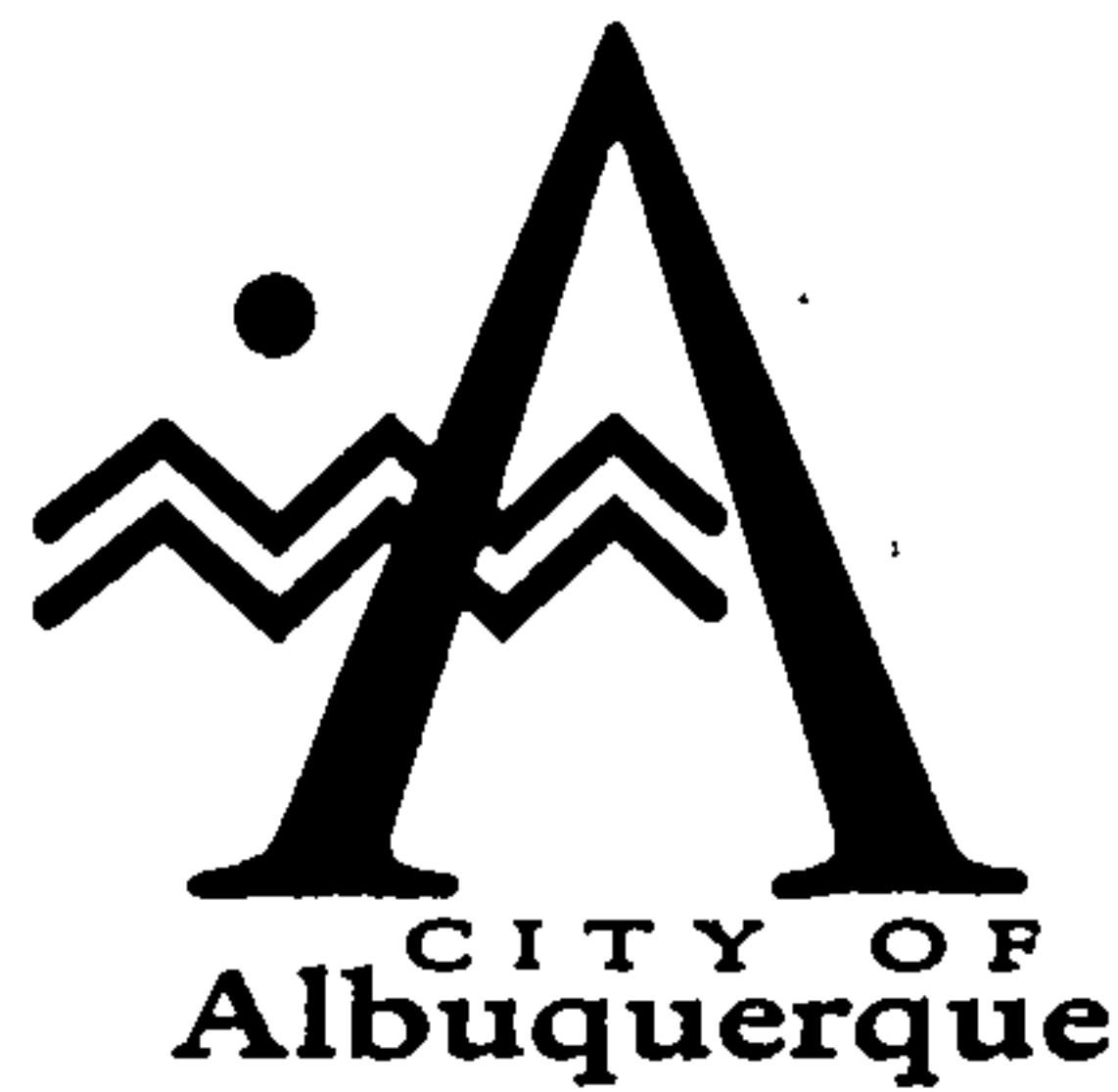




October 30, 1998

Mark Goodwin
Mark Goodwin & Associates Inc.
P.O. Box 90606
Albuquerque, New Mexico 87199

RE: ENGINEER CERTIFICATION FOR ECONOLODGE @ WEST CENTRAL (J13-D9)
CERTIFICATION STATEMENT DATED 10/14/98

Dear Mr. Goodwin:

Based on the information provided on your October 14, 1998 submittal, Engineer Certification for the above referenced site is acceptable.

If I can be of further assistance, please feel free to contact me at 924-3986.

C: Andrew Garcia
File ✓

Sincerely

Bernie J. Montoya CE
Associate Engineer

Good for You, Albuquerque!



DRAINAGE INFORMATION SHEET

PROJECT TITLE:	Econolodge	ZONE/ATLAS/DRNG, FILE#:	J13/D9
DRB#:	EPC#	WORK ORDER#:	
LEGAL DESCRIPTION:	Lots 15 & 23 10' East, Lots 13, 14, 24 & 25 All, Blocks 1 & 2 of Traction Park		
CITY ADDRESS:			
ENGINEERING FIRM:	Mark Goodwin & Associates, PA	CONTACT:	Mark Goodwin, PE
ADDRESS:	P.O. Box 90606, Albuquerque, NM 87199	PHONE:	828-2200
OWNER:	Econolodge	CONTACT:	Carlos De La Torre
ADDRESS:	7801 Academy Rd., Albuquerque, NM 87109	PHONE:	828-9611
ARCHITECT:	De La Torre Architects	CONTACT:	Carlos De La Torre
ADDRESS:	7801 Academy Rd., Albuquerque, NM 87109	PHONE:	828-9611
SURVEYOR:	Aldrich Land Surveying	CONTACT:	Tim Aldrich
ADDRESS:	P.O. Box 30701, Albuquerque, NM 87190	PHONE:	884-1990
CONTACTOR:	Mondel Enterprises	CONTACT:	Orlando Montoya
ADDRESS:	601 Main SE, Los Lunas, NM 87031	PHONE:	865-0100

TYPE OF SUBMITTAL:

☐	DRAINAGE REPORT
☐	DRAINAGE PLAN
☐	CONCEPTUAL GRADING & DRAINAGE PLAN
☐	GRADING PLAN
☐	EROSION CONTROL
☒	ENGINEER'S CERTIFICATION
☐	OTHER
☐	EASEMENT VACATION

PRE-DESIGN MEETING:

☐	YES
☒	NO
☐	COPY PROVIDED

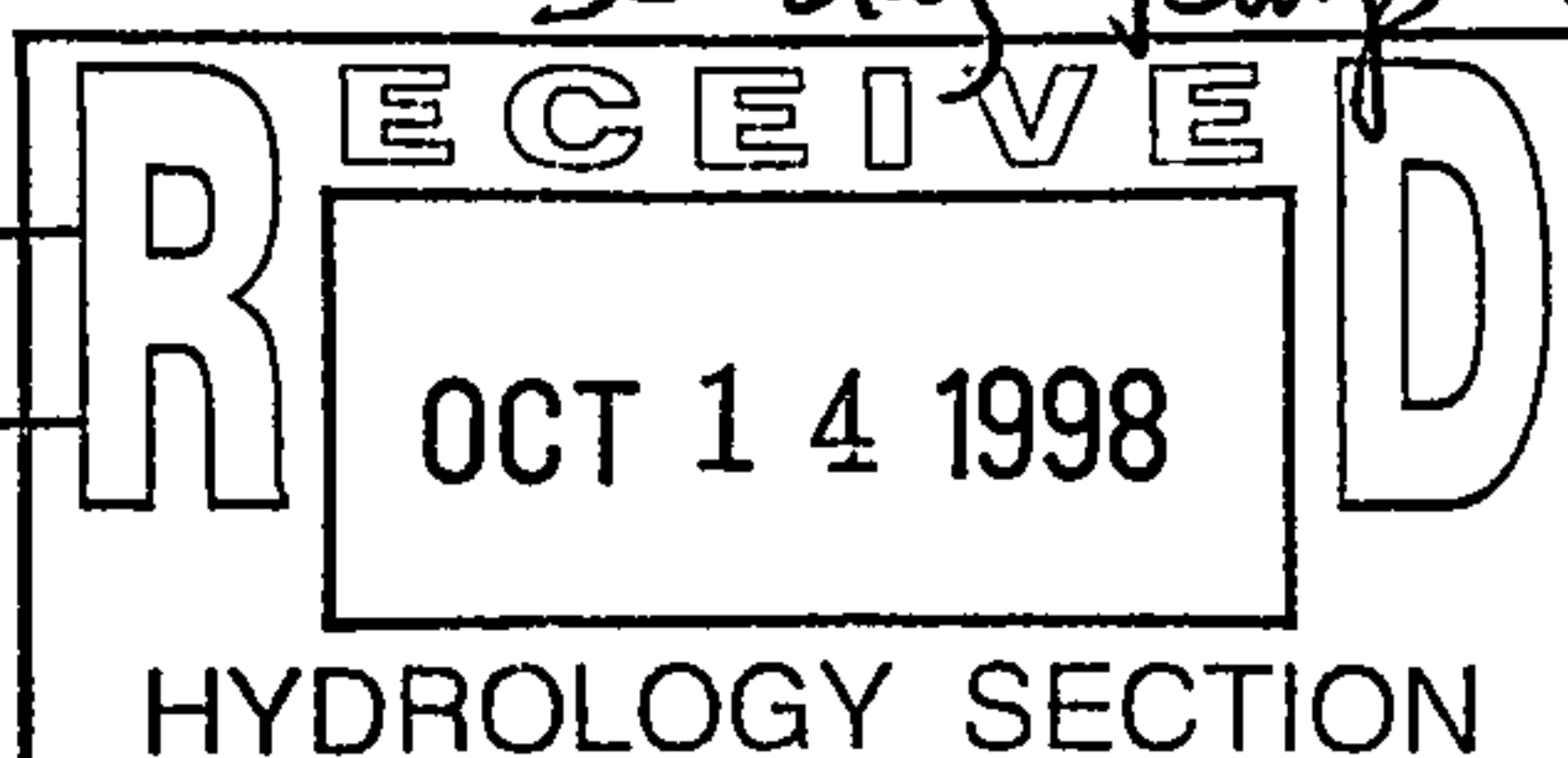
CHECK TYPE OF APPROVAL SOUGHT:

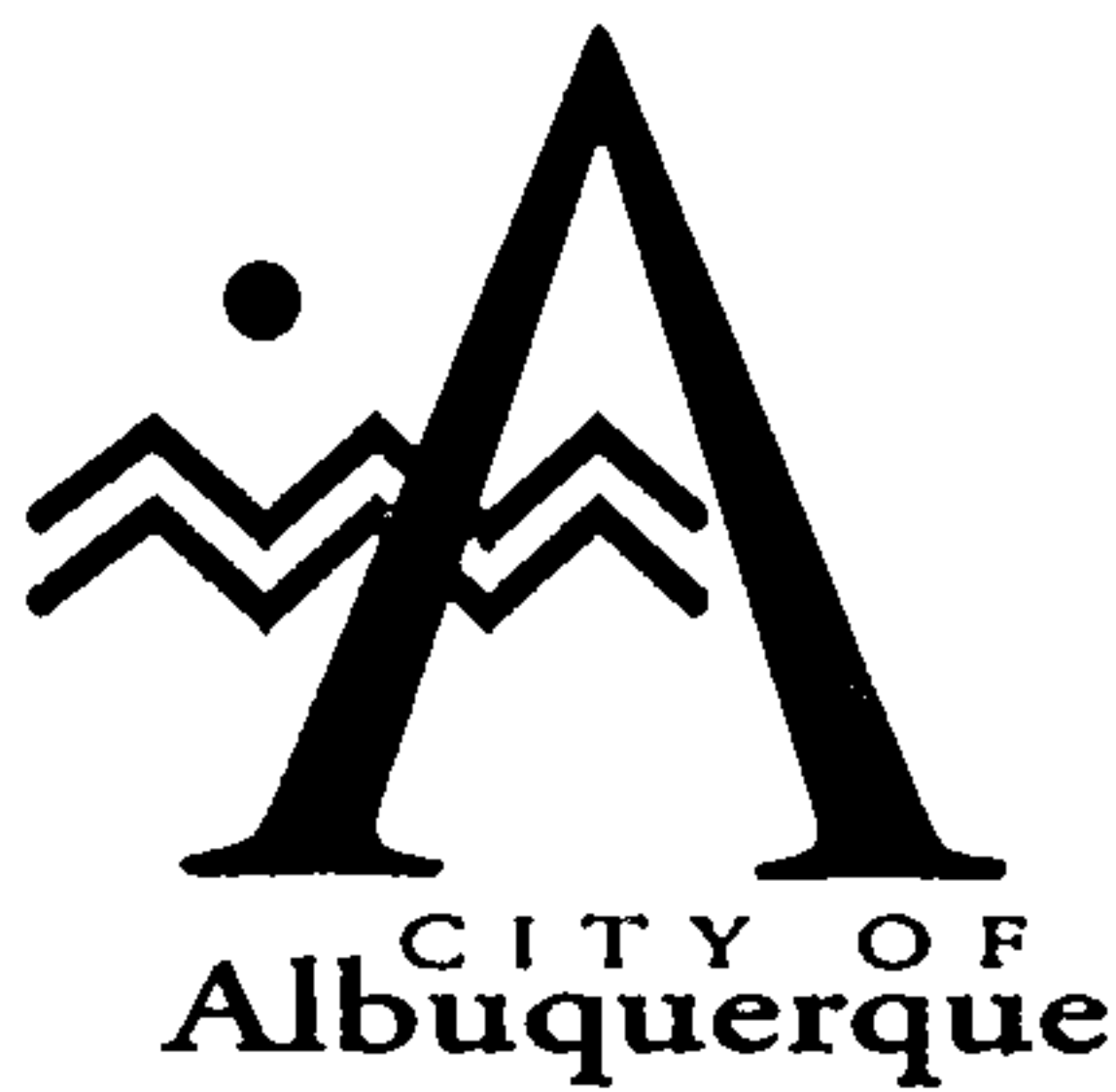
☐	SKETCH PLAT APPROVAL
☐	PRELIMINARY PLAT APPROVAL
☐	S. DEV. PLAN FOR SUB'D APPROVAL
☐	S. DEV. PLAN FOR BLDG PERMIT APPROVAL
☐	SECTOR PLAN APPROVAL
☐	FINAL PLAT APPROVAL
☐	FOUNDATION PERMIT APPROVAL
☐	BUILDING PERMIT APPROVAL
☒	CERTIFICATION OF OCCUPANCY APPROVAL
☐	GRADING PERMIT APPROVAL
☐	PAVING PERMIT APPROVAL
☐	S.A.D. DRAINAGE REPORT
☐	DRAINAGE REQUIREMENTS
☐	OTHER
☐	RELEASE OF FINANCIAL GUARANTY

DATE SUBMITTED:

BY:

Mark Goodwin, PE





Martin J. Chávez, Mayor

October 14, 1997

Mark Goodwin
D. Mark Goodwin & Associates
P.O. Box 90606
Albuquerque, New Mexico 87199

RE: REVISED DRAINAGE PLAN FOR ECONO LODGE (J13-D9) REVISION DATED
10/7/97

Dear Mr. Goodwin:

Based on the information provided on your October 8, 1997 resubmittal, the above referenced site is approved for Building Permit.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. Also, please be advised that a separate permit is required for construction within City R/W.. A copy of this approval letter must be on hand when applying for the excavation permit.

Also, prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If I can be of further assistance, please feel free to contact me at 924-3986.

C: Andrew Garcia
Arlene Portillo

 File

Sincerely



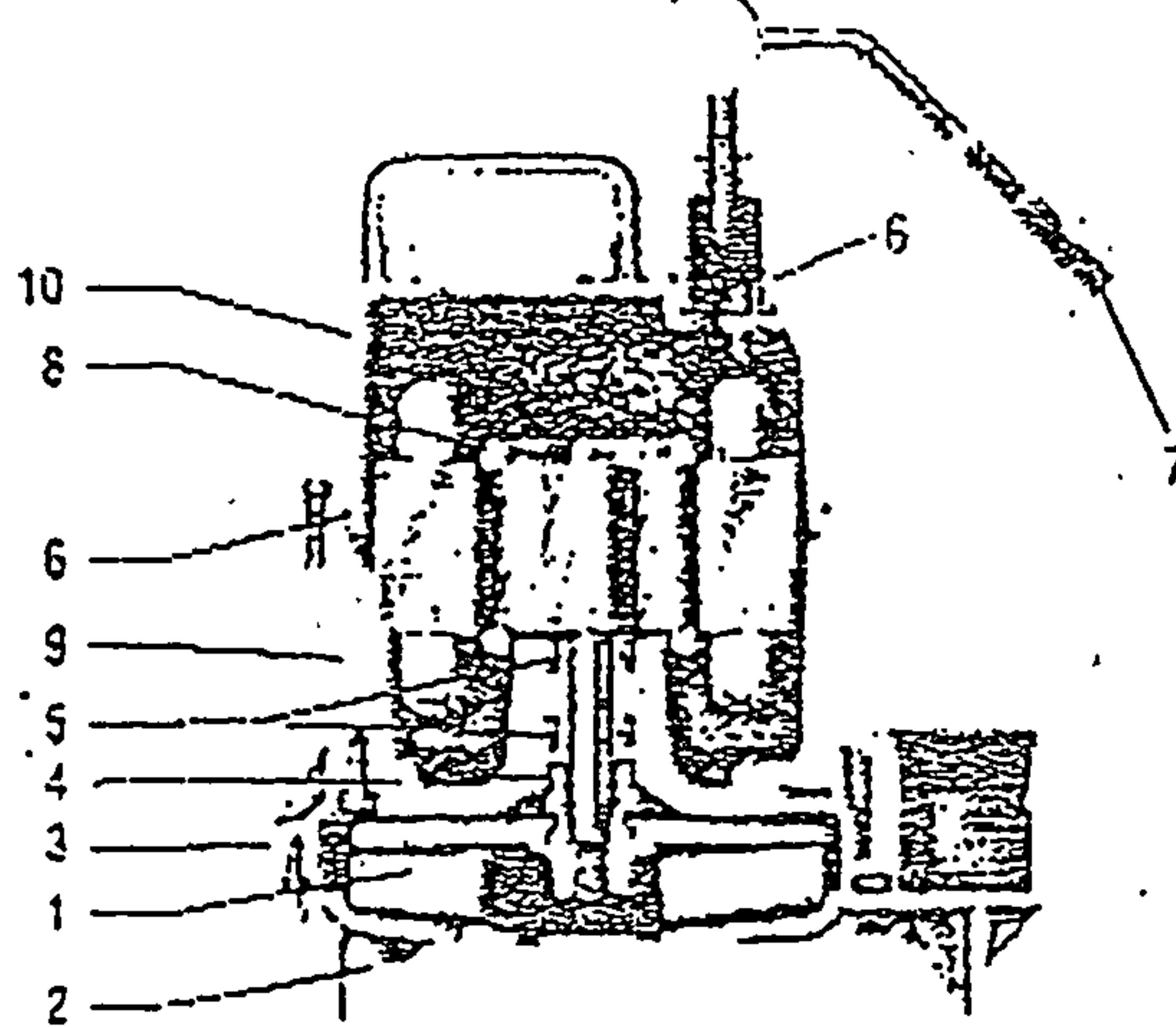
Bernie J. Cm. Montoya CE
Associate Engineer



Gou.

Submittal No.

Submittal / Project

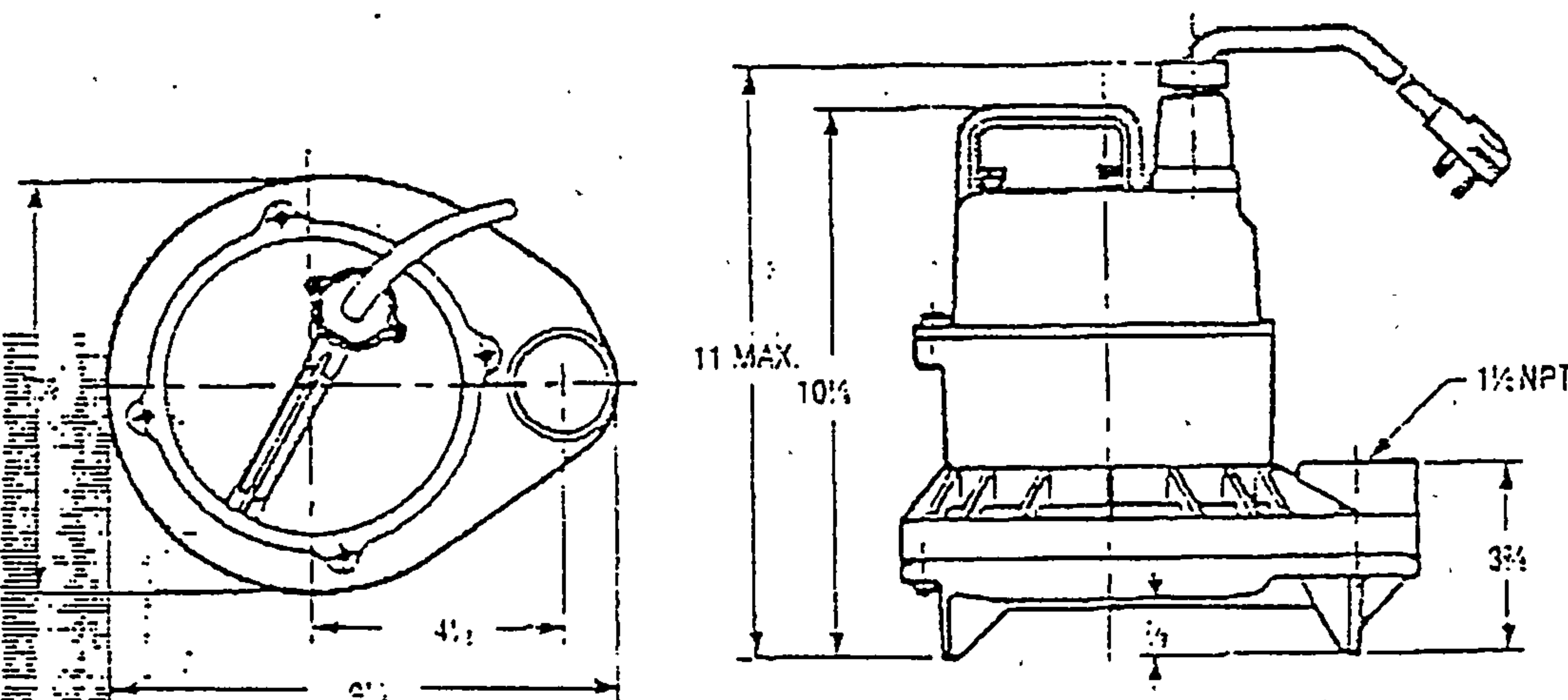


MODEL

3871

DIMENSIONS

(All dimensions are in inches. Do not use for construction purposes.)



PARTS

Item No. Description

1	Impeller
2	Rugged thermoplastic base
3	Rugged thermoplastic pump casing
4	Mechanical seal
5	Ball bearings
6	O-rings
7	Power cord
8	Oil filled motor
9	Cast iron motor housing/stator assembly
10	Thermoplastic motor cover

PERFORMANCE RATINGS

Total Head (ft. of water)	Gallons Per Minute
5	53
10	46
15	36
20	21
24	0

MODELS

Order No.	HP	Volts	Phase	Max. Amps	RPM	Solids Handling	Power Cord Length	Wts. (lbs.)
EP0411		115		12			10'	20
EP0412		230		6			10'	
EP0411A	1/2	115	1	12	1550	3/4"	10'	21
EP0411F*		115		12			20'	20
EP0412F*		230		6			20'	20
EP0411AC*		115		12			20'	21

* denotes automatic operation. Pump includes float switch

F denotes 20 foot power cord.

AC denotes automatic operation. CSA listed with 20 foot power and switch cords.

CSA listed units

DRAINAGE INFORMATION SHEET

PROJECT TITLE: ECONOLIDGE ZONE ATLAS/DWG FILE #: J13/D9
 DNB #: _____ EPC #: _____ WORK ORDER #: _____
 LEGAL DESCRIPTION: LOTS 15 & 23 10' EAST, LOTS 13/4, 24 & 25 ALL, BLOCKS 1 & 2 OF TRACTION PARK
 CITY ADDRESS: _____

ENGINEERING FIRM: D. MARK GOODWIN & ASSOC. CONTACT: ROGER MARTINEZ
 ADDRESS: PO BOX 90606 ALBU, NM 87199 PHONE: 345-2010
 OWNER: ECONOLIDGE CONTACT: CARLOS DE LA TORRE
 ADDRESS: 7801 ACADEMY ROAD, ALBU, NM 87109 PHONE: 828-9611
 ARCHITECT: DE LA TORRE ARCHITECTS CONTACT: CARLOS DE LA TORRE
 ADDRESS: 7801 ACADEMY ROAD, ALBU, NM 87109 PHONE: 828-9611
 SURVEYOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CONTRACTOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☒ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION
☐ OTHER

PRE-DESIGN MEETING:

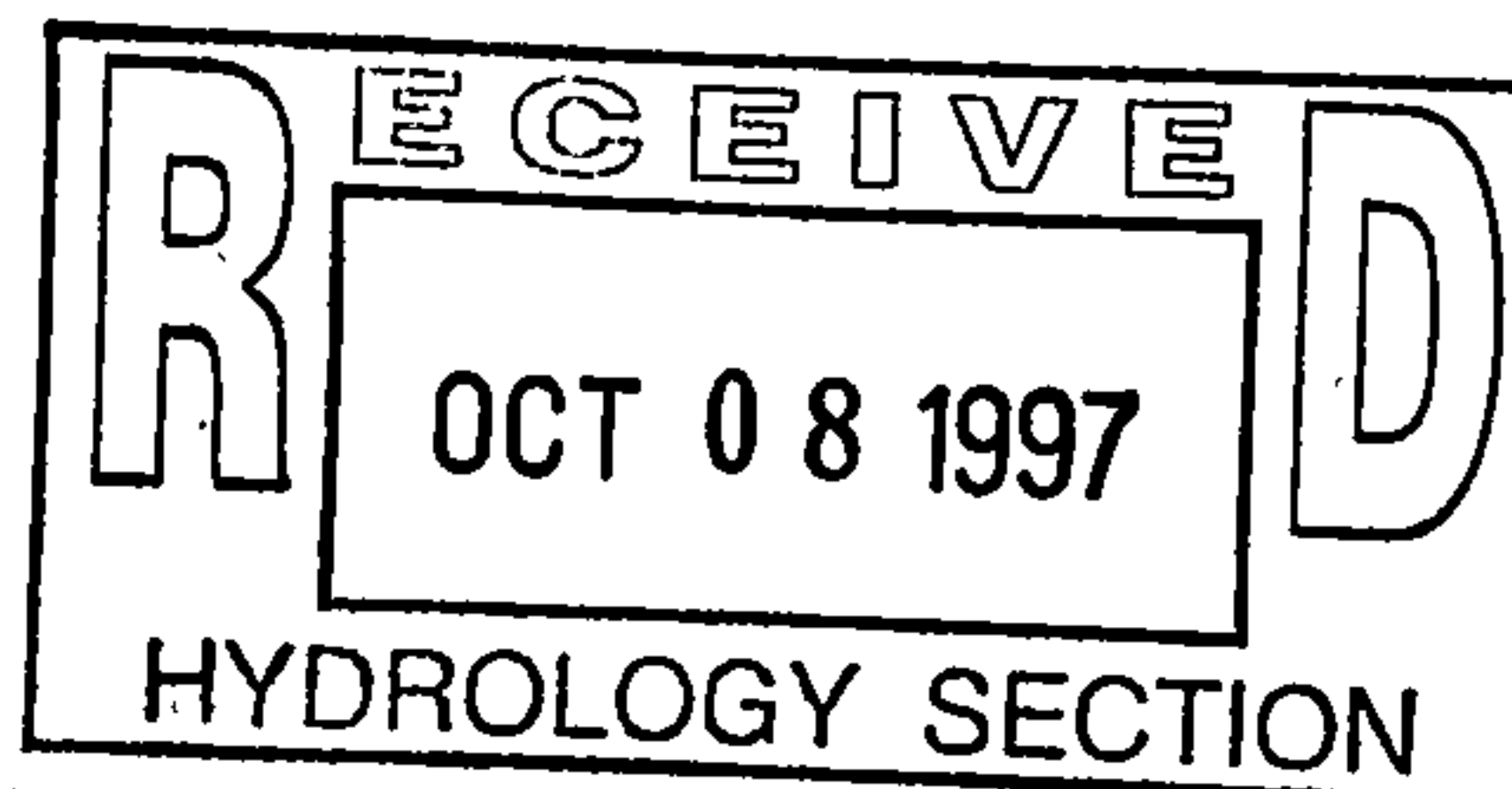
☐ YES
☒ NO
☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. PLAN FOR BLDG PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATION OF OCCUPANCY APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ S.A.D. DRAINAGE REPORT
☐ DRAINAGE REQUIREMENTS
☐ OTHER _____ (Specify)

DATE SUBMITTED: 7 OCT 97

BY: [Signature]



DRAINAGE INFORMATION SHEET

PROJECT TITLE: ECONOLIDGE ZONE ATLAS/DRNG, FILE #: J13/D9
 DNB #: _____ EPC #: _____ WORK ORDER #: _____
 LEGAL DESCRIPTION: LOTS 15 & 23 10' EAST, LOTS 13 & 14, 24 & 25 ALL, BLOCKS 1 & 2 OF TRACTION PARK
 CITY ADDRESS: _____

ENGINEERING FIRM: D. MARK GOODWIN & ASSOC. CONTACT: ROGER MARTINEZ
 ADDRESS: PO Box 90606 ALBQ, NM 87199 PHONE: 345-2010
 OWNER: ECONOLIDGE CONTACT: CARLOS DE LA TORRE
 ADDRESS: 7801 ACADEMY ROAD, ALBQ, NM 87109 PHONE: 828-9611
 ARCHITECT: DE LA TORRE ARCHITECTS CONTACT: CARLOS DE LA TORRE
 ADDRESS: 7801 ACADEMY ROAD, ALBQ, NM 87109 PHONE: 828-9611
 SURVEYOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CONTRACTOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☒ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION
☐ OTHER

PRE-DESIGN MEETING:

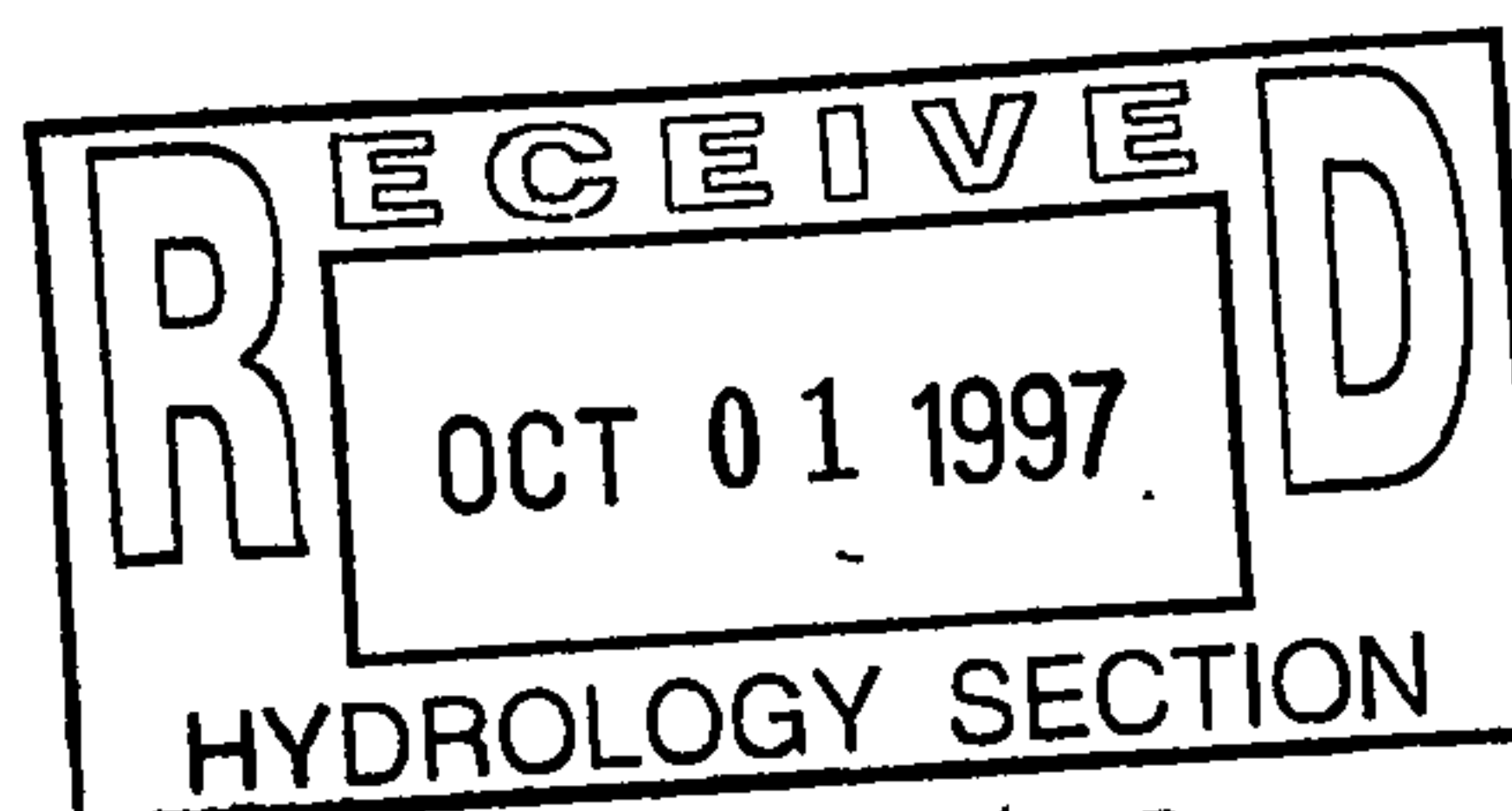
☐ YES
☒ NO
☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

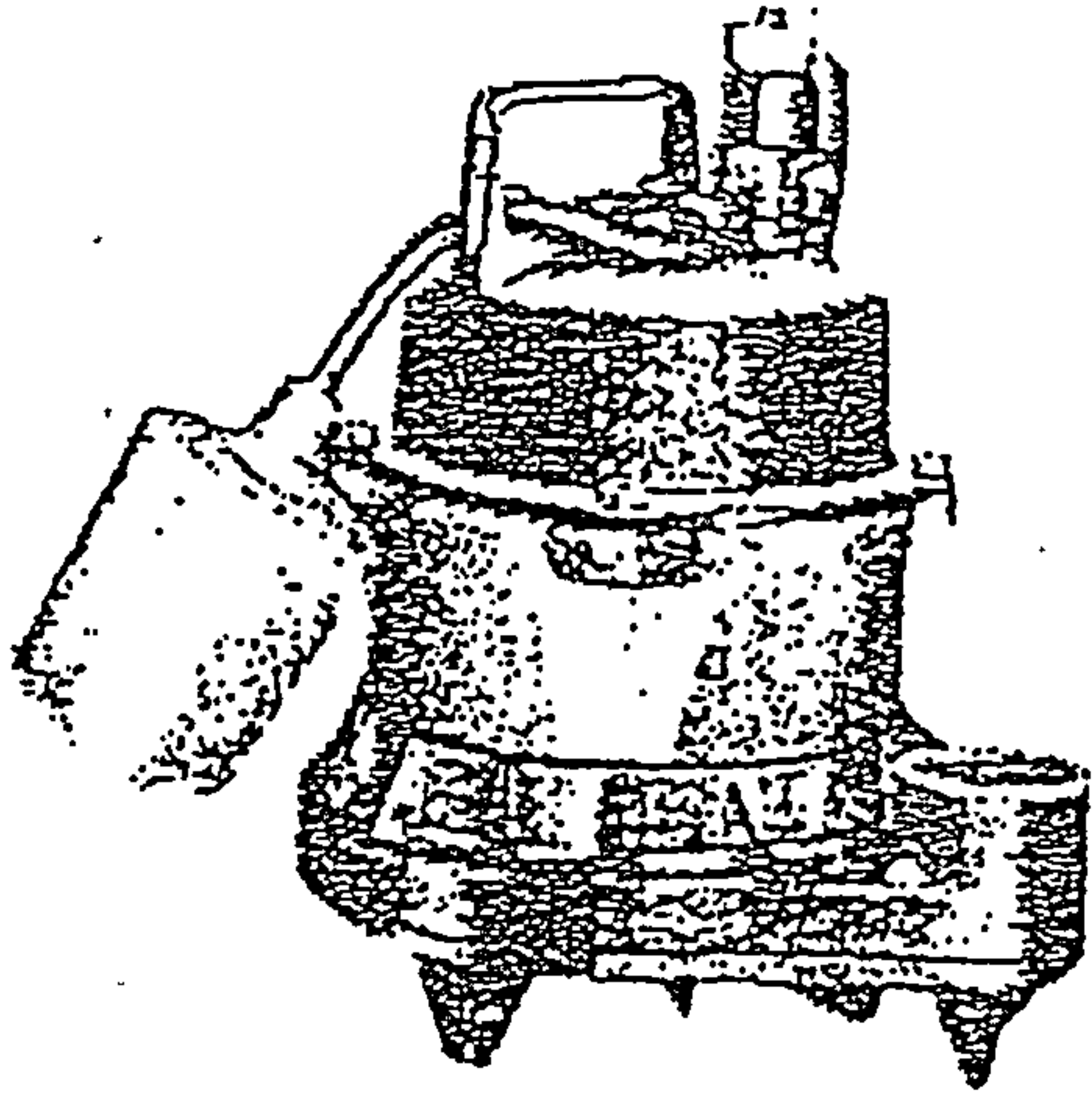
☐ SKETCH PLAT APPROVAL
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☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATION OF OCCUPANCY APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ S.A.D. DRAINAGE REPORT
☐ DRAINAGE REQUIREMENTS
☐ OTHER _____ (Specify)

DATE SUBMITTED: 1 OCT 97

BY: [Signature]



Verbal: 10/7/97
 one foot water block pump specs.
 sediment control
 valley gutter



MODEL

3871

APPLICATIONS

Specifically designed for the following uses:

- Effluent systems

- Homes

- Sewage duty pump

- Sewer transfer

- Sewer pump

SPECIFICATIONS

Effluent handling capability:
Maximum:

Capacity: up to 55 GPM.

Head: up to 24 feet.

Discharge size: 1 1/2" NPT.

Mechanical seal: carbon-

-graphite ceramic-stationary.

Seal: V-elastomers.

Temperature:

64-140°C continuous

103-160°C intermittent.

Fasteners: 300 series

Stainless steel.

Capacity of running

without damage to

components.

Motor:

- Single phase: 0.4 HP, 115 or 230 V, 60 Hz, 1550 RPM, built in overload with automatic reset.

- Power cord: 10 foot standard length, 16/3 SJTO with three prong grounding plug. Optional 20 foot length, 16/3 SJTW with three prong grounding plug.

- Fully submerged in high grade turbine oil for lubrication and efficient heat transfer.

Available for automatic and manual operation. Automatic models include Mercury Float Switch assembled and preset at the factory.

FEATURES

Impeller: Thermoplastic Semi-Vortex design with pump out vanes for mechanical seal protection.

Casing and Base: Rugged thermoplastic design provides superior strength and corrosion resistance.

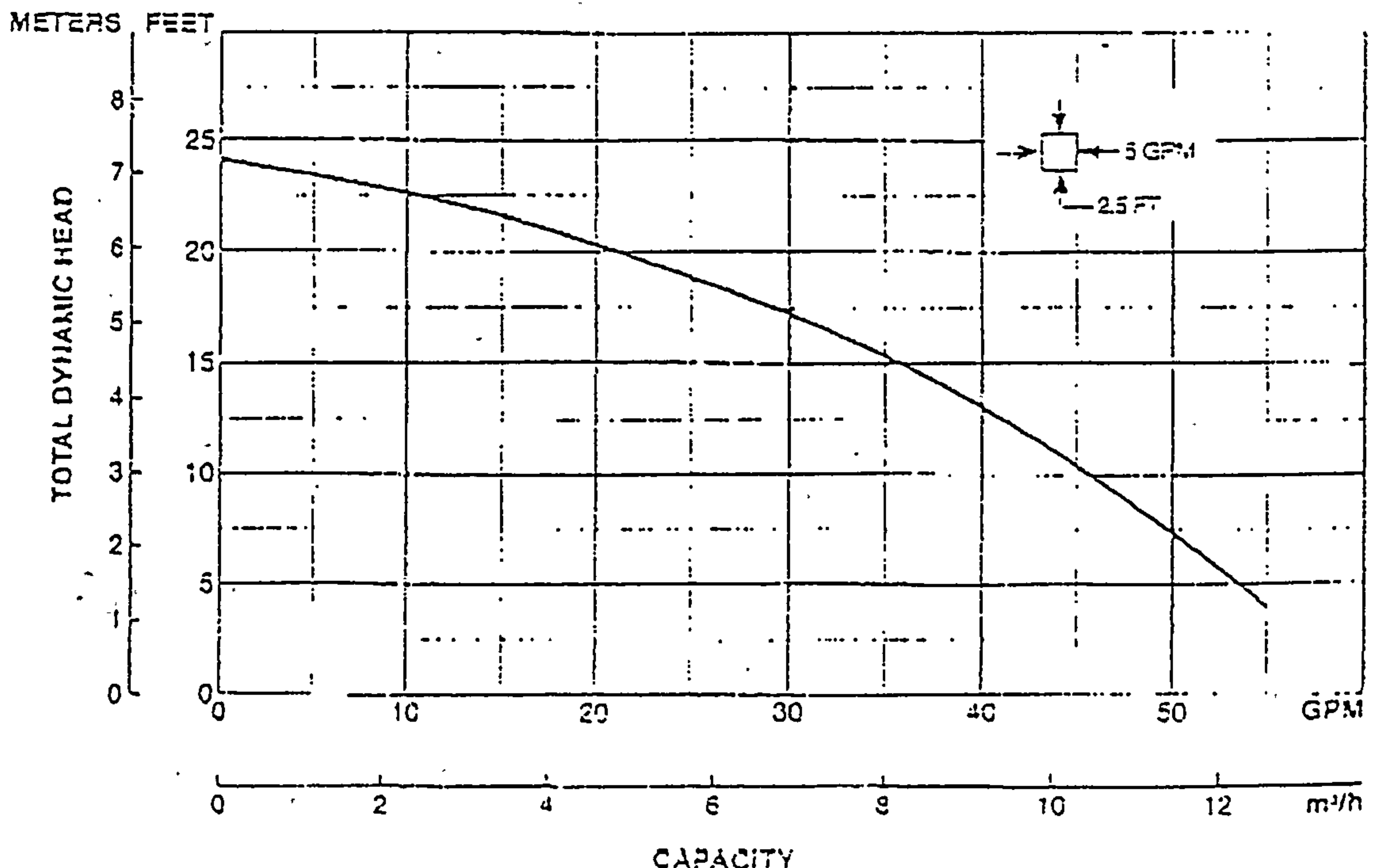
Motor Housing: Cast iron for efficient heat transfer, strength, and durability.

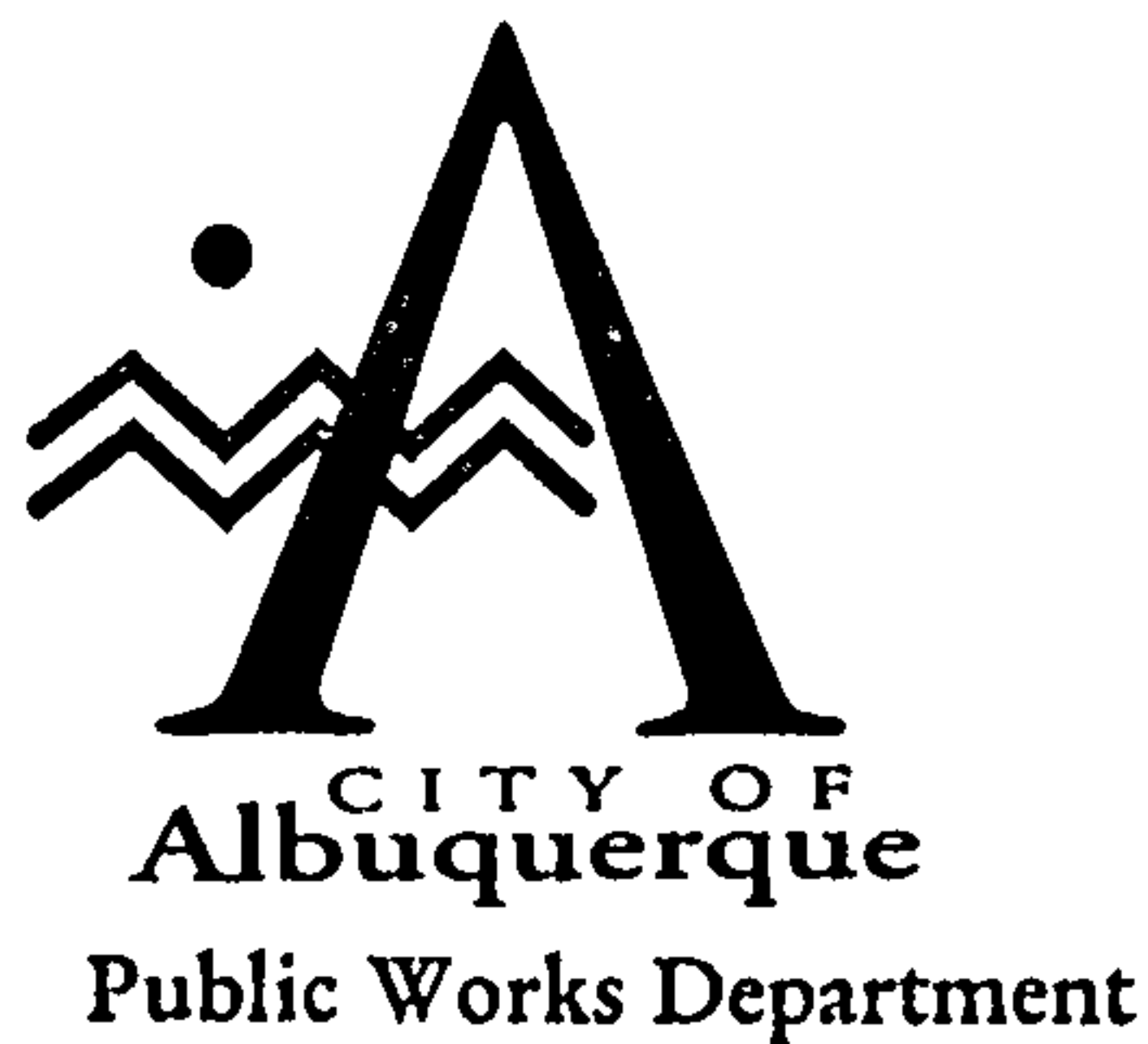
Motor Cover: Thermoplastic cover with integral handle and float switch attachment points.

Power Cable: Severe duty rated oil and water resistant.

O-ring: Provides positive sealing. No gaskets to replace during maintenance.

Stainless steel fasteners.





Martin J. Chávez, Mayor

Robert E. Gurulé, Director

April 11, 1997

Roger Martinez
D. Mark Goodwin & Associates
P.O. Box 90606
Albuquerque, New Mexico 87199

RE: DRAINAGE PLAN FOR ECONO LODGE (J13-D09) ENGINEER'S STAMP DATED
3/19/97

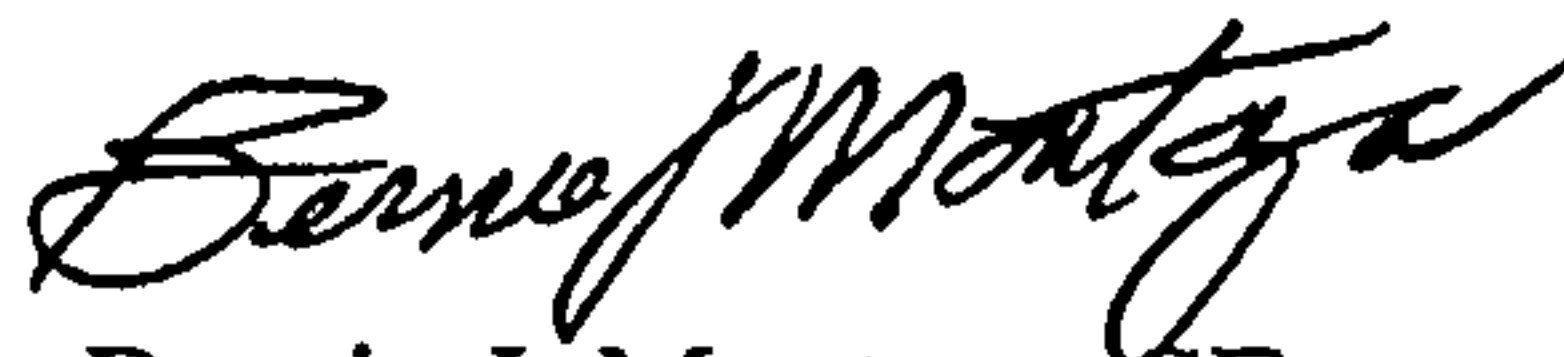
Dear Mr. Martinez:

It has been brought to our attention that the 1' foot water block at the property line within the proposed drivepads does not exist. Please provide this office with a revised plan addressing this concern.

If I can be of further assistance, please feel free to contact me 924-3986.

C: Andrew Garcia
Mike Zamora
File

Sincerely


Bernie J. Montoya CE
Engineering Associate

Good for You, Albuquerque!

P.O. Box 1293, Albuquerque, New Mexico 87103





CITY OF
Albuquerque
Public Works Department

Martin J. Chávez, Mayor

Robert E. Gurulé, Director

April 1, 1997

Mark Goodwin
D. Mark Goodwin & Associates
PO Box 90606
Albuquerque, New Mexico 87199

RE: DRAINAGE PLAN FOR ECONOLODGE (J13-D09) ENGINEER'S STAMP DATED
3/19/97

Dear Mr. Goodwin:

Based on the information provided on your March 19, 1997 submittal, the above referenced site is approved for Building Permit.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Also, a separate permit is required for construction within the City R/W. A copy of this approval letter must be on hand when applying for the excavation permit.

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If I can be of further assistance, please feel free to contact me at 924-3986.

C: Andrew Garcia
Arlene Portillo
File

Sincerely

Bernie J. Montoya CE
Engineering Associate

Good for You, Albuquerque!

P.O. Box 1293, Albuquerque, New Mexico 87103



DRAINAGE INFORMATION SHEET

PROJECT TITLE: ECONOLIDGE ZONE ATLAS/DRNG, FILE #: J13 D9
 DRB #: _____ EPC #: _____ WORK ORDER #: _____
 LEGAL DESCRIPTION: LOTS 15 & 23 10' EAST, LOTS 13/4, 24 & 25 ALL, BLOCKS 1 & 2 OF TRACTION PARK
 CITY ADDRESS: _____

ENGINEERING FIRM: D. MARK GOODWIN & ASSOC. CONTACT: ROGER MARTINEZ
 ADDRESS: P.O. Box 90606 ALBQ, NM 87199 PHONE: 345-2010
 OWNER: ECONOLIDGE CONTACT: CARLOS DE LA TORRE
 ADDRESS: 7801 ACADEMY ROAD, ALBQ, NM 87109 PHONE: 828-9611
 ARCHITECT: DE LA TORRE ARCHITECTS CONTACT: CARLOS DE LA TORRE
 ADDRESS: 7801 ACADEMY ROAD, ALBQ, NM 87109 PHONE: 828-9611
 SURVEYOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CONTRACTOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

____ DRAINAGE REPORT
☒ DRAINAGE PLAN
 ____ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN
 ____ EROSION CONTROL PLAN
 ____ ENGINEER'S CERTIFICATION
 ____ OTHER

PRE-DESIGN MEETING:

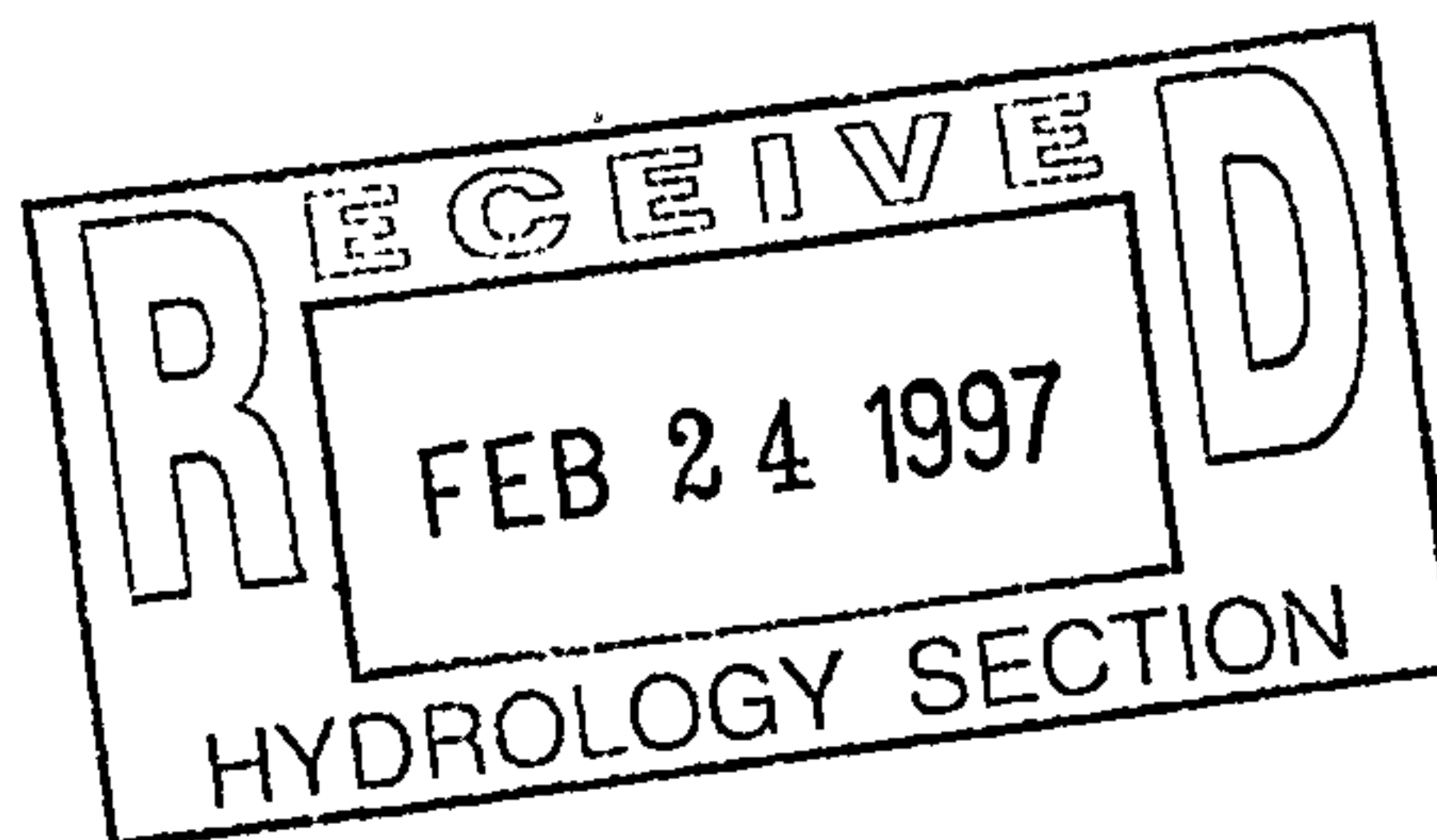
____ YES
☒ NO
 ____ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

____ SKETCH PLAT APPROVAL
 ____ PRELIMINARY PLAT APPROVAL
 ____ S. DEV. PLAN FOR SUB'D APPROVAL
 ____ S. DEV. PLAN FOR BLDG PERMIT APPROVAL
 ____ SECTOR PLAN APPROVAL
 ____ FINAL PLAT APPROVAL
 ____ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
 ____ CERTIFICATION OF OCCUPANCY APPROVAL
 ____ GRADING PERMIT APPROVAL
 ____ PAVING PERMIT APPROVAL
 ____ S.A.D. DRAINAGE REPORT
 ____ DRAINAGE REQUIREMENTS
 ____ OTHER _____ (Specify)

DATE SUBMITTED: 21 FEB 97

BY: Roger Martinez Jr.





D. Mark Goodwin & Associates, P.A.
Consulting Engineers and Surveyors
P.O. BOX 90606, ALBUQUERQUE, NM 87199
(505) 345-2010

March 17, 1997

Ms Lisa Manwill
City Of Albuquerque, Hydrology
P.O. Box 1293
Albuquerque, NM 87103

RE: Econolodge J13-D9

Dear Ms Manwill:

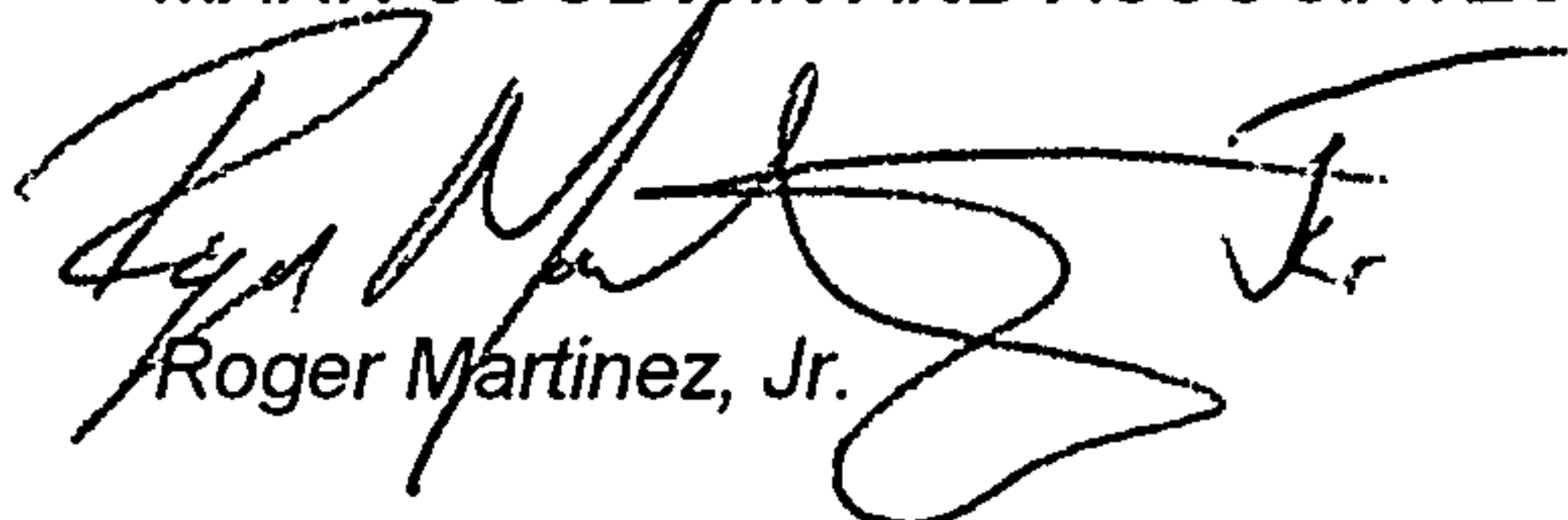
The intent of this letter is to respond to your concerns outlined in your letter dated March 6, 1997. Attached, please find the revised grading and drainage plan for the referenced project.

1. This site was developed prior to what is shown in the topographic survey. There are existing driveways in Central Blvd and signs of existing utilities on site. The prior drainage patterns indicate drainage flow south onto Central via the driveways. Current drainage patterns indicate the developed flow accumulate on site then flow north onto Soto Avenue. Current discharge from the site is $Q=2.49\text{cfs}$ with a land treatment type "C".
2. The areas have been verified, revised, and are reflected in the AHYMO analysis.
3. The western boundary of this site does not contain the 25' existing topographic border. This border was not completed due to a locked 10' high security fence with a barbed wire perimeter not allowing surveyors onsite.
4. The property has been platted and filed as described in the legal description of the attached grading and drainage plan. This has also been verified with the owner via the architect.

If you have any questions concerning this project or the letter, please contact me at 345-2010.

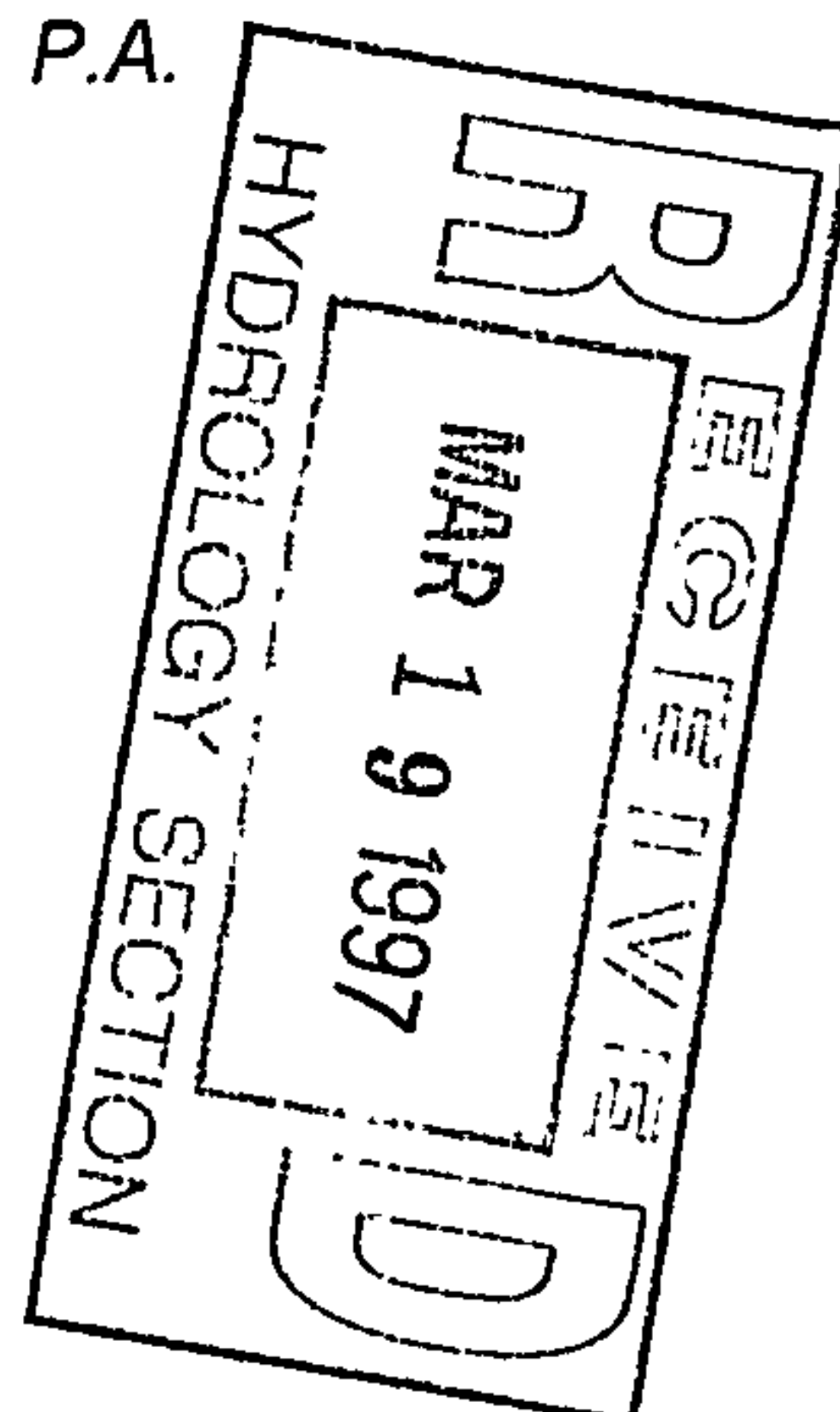
Sincerely,

MARK GOODWIN AND ASSOCIATES, P.A.


Roger Martinez, Jr.

Attachments

RM/bm





Martin J. Chávez, Mayor

Robert E. Gurulé, Director

April 1, 1997

Mark Goodwin
D. Mark Goodwin & Associates
PO Box 90606
Albuquerque, New Mexico 87199

RE: DRAINAGE PLAN FOR ECONO LODGE (J13-D09) ENGINEER'S STAMP DATED
3/19/97

Dear Mr. Goodwin:

Based on the information provided on your March 19, 1997 submittal, the above referenced site is approved for Building Permit.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Also, a separate permit is required for construction within the City R/W. A copy of this approval letter must be on hand when applying for the excavation permit.

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If I can be of further assistance, please feel free to contact me at 924-3986.

C: Andrew Garcia
Arlene Portillo

File

Sincerely

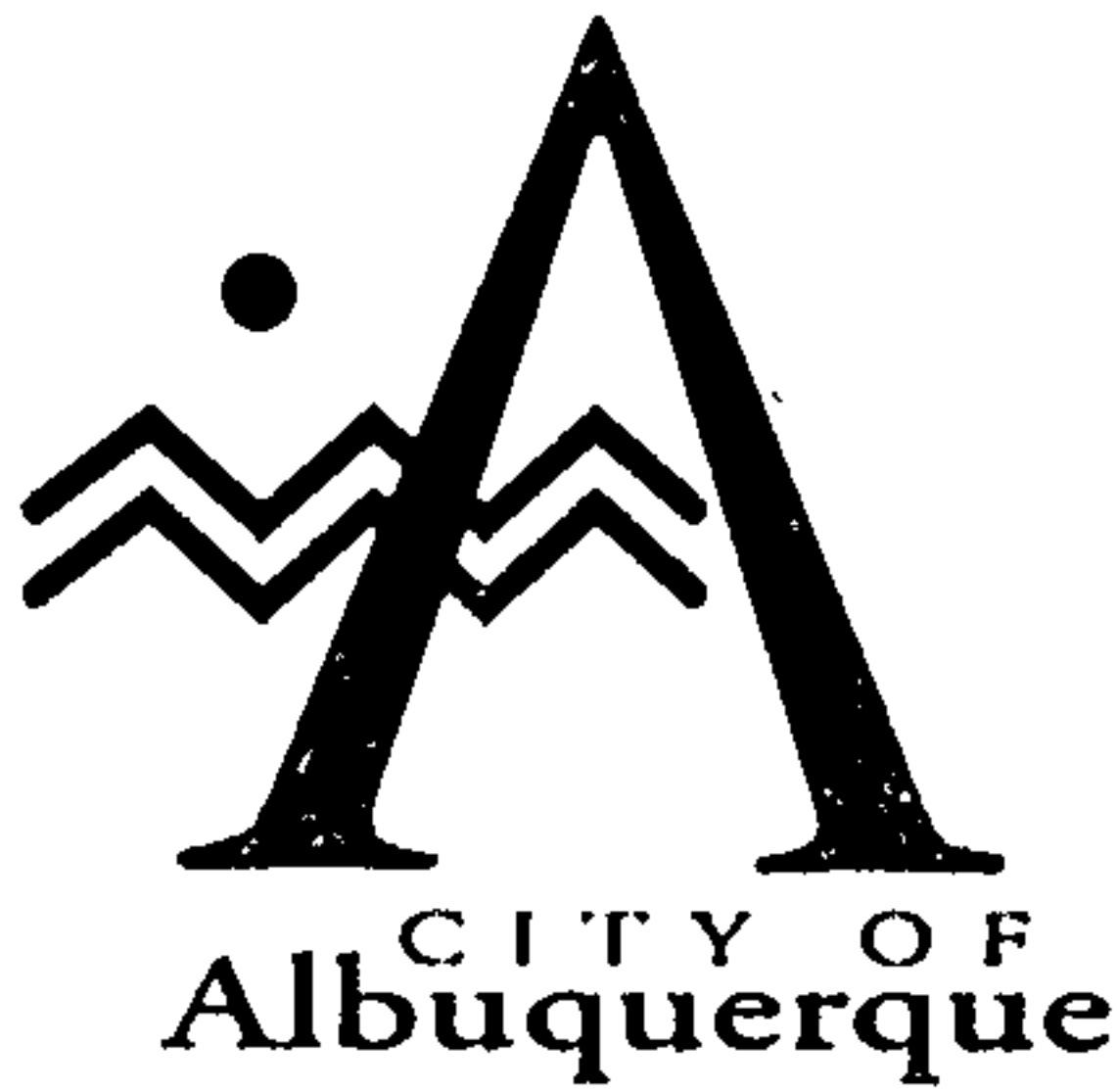
A handwritten signature in cursive script that reads 'Bernie J. Montoya'.

Bernie J. Montoya CE
Engineering Associate

Good for You, Albuquerque!

P.O. Box 1293, Albuquerque, New Mexico 87103





Public Works Department

March 6, 1997

Martin J. Chávez, Mayor

Robert E. Gurulé, Director

Roger Martinez Jr.
Mark Goodwin & Assoc.
P.O. Box 90606
Albuquerque, NM 87199

**RE: ECONO LODGE (J13-D9). GRADING AND DRAINAGE FOR BUILDING PERMIT
APPROVAL. ENGINEER'S STAMP DATED 2-21-97. ENGINEER'S STAMP
DATED 2-21-97.**

Dear Mr Martinez:

Based on the information provided on your February 24, 1997 submittal, City Hydrology has the following comments:

1. Discuss the historic (current) discharge of this site. It looks like a ponding area. What is the existing land treatment type(s)?
2. The area of the northern basin does not look equal to the area of the southern basin as shown in your AHYMO run.
3. Existing contours need to be shown at least 25-feet beyond the property line.
4. You will be required to re-plat this lot. The proposed hotel can encompass one lot only.

If I can be of further assistance, please feel free to contact me at 924-3984.

Sincerely,


Lisa Ann Manwill, P.E.
Engineering Assoc./Hyd.

c: Andrew Garcia
File

Good for You, Albuquerque!

P.O. Box 1293, Albuquerque, New Mexico 87103





D. Mark Goodwin & Associates, P.A.
Consulting Engineers and Surveyors
P.O. BOX 90606, ALBUQUERQUE, NM 87199
(505) 345-2010

March 17, 1997

Ms Lisa Manwill
City Of Albuquerque, Hydrology
P.O. Box 1293
Albuquerque, NM 87103

RE: Econolodge J13-D9

Dear Ms Manwill:

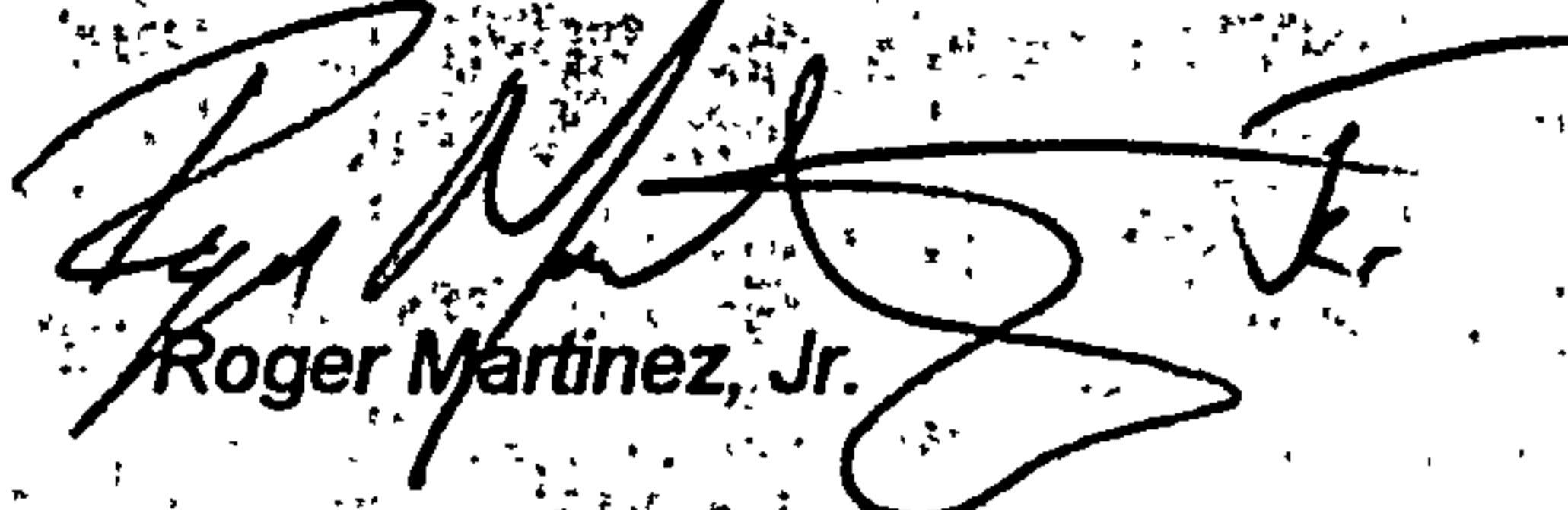
The intent of this letter is to respond to your concerns outlined in your letter dated March 6, 1997. Attached, please find the revised grading and drainage plan for the referenced project.

1. This site was developed prior to what is shown in the topographic survey. There are existing driveways in Central Blvd and signs of existing utilities on site. The prior drainage patterns indicate drainage flow south onto Central via the driveways. Current drainage patterns indicate the developed flow accumulate on site then flow north onto Soto Avenue. Current discharge from the site is $Q=2.49\text{cfs}$ with a land treatment type "C".
2. The areas have been verified, revised, and are reflected in the AHYMO analysis.
3. The western boundary of this site does not contain the 25' existing topographic border. This border was not completed due to a locked 10' high security fence with a barbed wire perimeter not allowing surveyors onsite.
4. The property has been platted and filed as described in the legal description of the attached grading and drainage plan. This has also been verified with the owner via the architect.

If you have any questions concerning this project or the letter, please contact me at 345-2010.

Sincerely,

MARK GOODWIN AND ASSOCIATES, P.A.


Roger Martinez, Jr.

Attachments

RMbm

