

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT SERVICE / HYDROLOGY SECTION**

DATE: 9-12-11
CONFERENCE RECAP

ZONE ATLAS PAGE NO: J13
DRAINAGE FILE: J13 / 0011
ZONING: _____
DRB: _____
SUBJECT: _____
STREET ADDRESS (IF KNOWN): 1720 Central SW
SUBDIVISION NAME: _____

APPROVAL REQUESTED:

ATTENDANCE: Curtis Cherne, Genny Donart, JAY KEMBE

FINDINGS:

Allowable discharge 2.75 cfs/ac
attempt to discharge to more than one ROW. (Sheet)

THE UNDERSIGNED AGREES THAT THE ABOVE FINDINGS ARE SUMMARIZED ACCURATELY AND ARE SUBJECT TO CHANGE IF FURTHER INVESTIGATION REVEALS THAT THEY ARE NOT REASONABLE OR THAT THEY ARE BASED ON INACCURATE INFORMATION.

SIGNED: Curtis A. Cherne
NAME (PRINT): Curtis A. Cherne

SIGNED: Genevieve Donart
NAME (PRINT): GENEVIEVE DONART

****NOTE**** PLEASE PROVIDE A COPY OF THIS RECAP WITH YOUR DRAINAGE SUBMITTAL.

Cherne, Curtis

From: Cherne, Curtis
Sent: Thursday, October 17, 2013 2:32 PM
To: 'Jolene Rembe'; 'Mark Goodwin'
Cc: 'Jay Rembe'; 'Douglas Heller'
Subject: RE: Drainage meeting for Country Club Plaza

Remember, initially the City Hydrologist had the site at 0.1 cfs/ac. 2.75 cfs/ac is considerably more and I have done my best.

Curtis

From: Jolene Rembe [mailto:jolenerembe@comcast.net]
Sent: Thursday, October 17, 2013 1:41 PM
To: Mark Goodwin
Cc: Jay Rembe; Cherne, Curtis; Douglas Heller
Subject: Re: Drainage meeting for Country Club Plaza

Gents, that sounds fine. Curtis, please do your best to help me allow as much flow the central as possible so I can avoid large ponds or expensive generators to handle all the storm water. The future building in the back needs to be dense to make the economics work. I won't have much land for ponds as I need it for parking & quality exterior landscaped areas for my residents.

Ideally we can first naturally drain as much of the storm water to central & then in the existing landscape areas on the periphery of the site. I can't afford vaults and ideally want to use smaller surface detainage ponds.

If there was a way to push most the water to central including the water collected from the future building on the south portion of my site, I will have a better chance of making the Is project work financially. I have worked on this site now for 10 years and am having my issues and need all the help you can give me.

As always, I appreciate your consideration and help.

I still hope to be there but will not know until they call my group in to see which 6 jurors they need. Hope to see you at 3:00!

Sincerely,

Jay Rembe

On Oct 17, 2013, at 12:44 PM, Mark Goodwin <Mark@goodwinengineers.com> wrote:

Curtis – I need to make it 3.

Mark Goodwin, P.E.
 President

10/17/2013

MARK GOODWIN & ASSOCIATES, PA
(505) 828-2200
(505) 797-9539 FAX
mark@goodwinengineers.com

From: Jay Rembe [mailto:rembe@rembedesign.com]
Sent: Thursday, October 17, 2013 12:42 PM
To: Cherne, Curtis
Cc: Mark Goodwin; Douglas Heller; Jolene Brunacini Rembe
Subject: Re: Drainage meeting for Country Club Plaza

Curtis & mark, go for it as I am in jury duty and have 20 minutes to check my phone-no phones allowed. If I get out in time I will join you. Lets say 3:30 for now as who knows maybe I will not get selected.

Please respond to all as I will have my wife's iPad that if I am free can check.

Jay Rembe

rembe
urban design + development

c 505-453-7164
e rembe@rembedesign.com
w www.rembe@rembedesign.com

Sent from my iPhone

On Oct 17, 2013, at 11:15 AM, "Cherne, Curtis" <CCCherne@cabq.gov> wrote:

I am catching up an e-mail. I know this is late notice, I have time this afternoon at say 3 or 3:30. Please let me know as soon as you can so I do not book another meeting. My Friday is full already, Monday may work.

Curtis

From: Jay Rembe [mailto:rembe@rembedesign.com]
Sent: Wednesday, October 16, 2013 1:36 PM
To: Cherne, Curtis; Mark Goodwin (mark@goodwinengineers.com); Douglas Heller
Subject: Drainage meeting for Country Club Plaza

Curtis, Mark, me and potentially Doug would like to meet with you this week to review the G&D plans for country Club. Doug is trying to get a package in to DRB by the 29th so we were hoping to meet with you this week.

Mark, let me know if you think this will be premature but if not how does either Thursday or Friday work at 2:45. The only way I won't be there is if jury duty pulls me away which I start today at 3:30.

Sincerely;

10/17/2013

jay rembe-ceo
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albuquerque nm 87106
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CITY OF ALBUQUERQUE



PLANNING DEPARTMENT
URBAN DESIGN & DEVELOPMENT DIVISION
600 2nd Street NW, 3rd Floor, 87102
P.O. Box 1293, Albuquerque, NM 87103
Office (505) 924-3860 Fax (505) 924-3339

OFFICIAL NOTIFICATION OF DECISION

October 11, 2012

Dan Garcia/Garcia's Kitchen
1113 4th Street NW
Albuquerque, NM 87102

Project# 1004677
12EPC-40057 Site Development Plan for Building Permit
12EPC-40058 Site Development Plan for Subdivision Amendment
12EPC-40060 Sector Development Plan Map Amendment (Zone Change)

LEGAL DESCRIPTION:

for all or a portion of Lot 2, Garcia Properties Development, located on the south side of Central Avenue, between Laguna and San Pasquale containing approximately 1.34 acres.
Chris Hyer, Staff Planner.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

On October 4, 2012, the Environmental Planning Commission voted to APPROVE Project 1004677 / 12EPC-40057, a request for a Site Development Plan for Building Permit, 12EPC-40058 a Site Development Plan for Subdivision Amendment and 12EPC-40060 a Sector Development Plan Map Amendment (Zone Change), based on the following Findings and Conditions:

Project #1004677, 12EPC 40060 - Sector Development Plan Map Amendment

FINDINGS:

1. This request is for a sector development plan zone map amendment from SU-2/SU-1 for a Mixed Use Development to SU-2/SU-1/CLD and Food Production & Associated Warehousing to include all uses permitted in the CLD zone, and the production of food and the associated warehousing of food products and related materials for all or a portion of Lot 2, Plat of Lots 1 & 2, Garcia Properties Development, formerly Tract 131, MRGCD Property Map No. 28, an approximately 1.34-acre site located on the south side of Central Avenue SW, between Laguna Boulevard SW and San Pasquale Avenue SW – specifically, 1736 Central Avenue SW.
2. The subject site is in the Established Urban Area of the Comprehensive Plan and within the Huning Castle and Raynolds Addition Neighborhood Sector Development Plan (HCRANS DP).

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3. The requested zone change is accompanied by a site development plan for building permit request – Project #1004677, 12EPC-40057 and an amendment to the site development plan for subdivision – Project #1004677, 12EPC-40058. This request is contingent on the approval of those two requests as the site plan controls the zoning on all SU-1 zoned sites. Also, this zone change request applies to this site only – no other sites in the subdivision will be affected.
4. The Albuquerque/Bernalillo County Comprehensive Plan; the Huning Castle and Raynolds Addition Neighborhood Sector Development Plan and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
5. The subject site is adjacent to an Enhanced Transit Corridor, Central Avenue.
6. The request is justified per R-270-1980:
 - A. The proposed zone change is consistent with the health, safety, morals and general welfare of the City as the zone change request re-establishes the zoning that was established in the HCRANS DP and allows an expansion of uses for an established business. The request specifies uses that are controlled through an EPC approved site plan, which is beneficial to the community. In addition, the proposed development would also help to eliminate blight and would result in needed infill development on a vacant lot.
 - B. This change will not destabilize the land use and zoning in the area; the requested zone change is consistent with the existing zoning of the non-residential/commercial corridor of Central Avenue. The proposed zoning will require compliance with the HCRANS DP development regulations, which also provide stability to the area.
 - C. The request is not in significant conflict with adopted elements of the Comprehensive Plan or other city master plans including the following:
 - A) The zone change is not in significant conflict with adopted elements of the Comprehensive Plan or the HCRANS DP:

COMPREHENSIVE PLAN ESTABLISHED URBAN AREA POLICIES

- i. The requested zone change will not have an adverse effect on the surrounding area and will respect existing neighborhood values by allowing new commercial development on a site that is currently vacant. Eliminating blight and preventing deterioration of property values in the area will help to ensure integrity of the existing neighborhood. Since this request is for an expansion of an existing business, the surrounding area will not be greatly impacted by its expanded operations, thus maintaining existing neighborhood values - the SU-1 portion of the zoning descriptor requiring site plan control and allowing public review furthers these values.

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Also, since the CLD zoning is similar to permissive uses in the C-2 zone, the requested zoning is found to be appropriate and further compliments existing surrounding uses. (Comprehensive Plan Policies II.B.5.a, d and e)

- ii. This zone change will help to create increased opportunities for employment for the adjacent neighborhood and will act as a buffer from the Central Avenue corridor in minimizing adverse effects of noise, lighting, pollution, and traffic on the nearby residential environment. The site will be developed as per the regulations for CLD zoning in the HCRANS DP and one requirement is a 50' setback from residential areas that ensures these adverse effects are minimized. The uses allowed will also help improve the visual urban environment with landscaping and pedestrian pathways to the transit corridor along Central Avenue in this older neighborhood in the Established Urban Area. (Comprehensive Plan Policies II.B.5.i, m and o)

TRANSPORTATION AND TRANSIT POLICIES

The subject site is located adjacent to multiple transportation modes including an Enhanced Transit Corridor along Central Avenue. The availability of close by transit service helps to balance the circulation system as employees and patrons have easy access to the transit system, which encourages bicycling and walking. (Policy II.D.4.a)

ECONOMIC DEVELOPMENT

The requested zone change allows a greater variety of employment opportunities because of the need for personnel skilled in food preparation, catering and office jobs. Additionally, the development of the subject site is an expansion of a local business. This will help the business grow both at this location and Citywide. (Policy II.D.6.a and b)

B) Huning Castle and Raynolds Addition Neighborhood Sector Development Plan (HCRANS DP):

- i. The zone change request will re-establish the zoning that is specified by the HCRANS DP, the CLD zone. This zone allows for commercial and residential uses. As this site is between the commercial corridor of Central Avenue and the residential neighborhood to the south, the proposed development will buffer the neighborhood from negative impacts created along the Central corridor in terms of traffic, noise and litter. The proposed building and use compliments adjacent property's uses in that the catering and office uses are permissive in the CLD zone. The other allowed uses of this property, food production and associated warehousing, are in line with the function and operation of a restaurant use, also permissive in the CLD zone. (HCRANS DP Objective I - Land Use and Zoning)

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- ii. The proposed uses of the support facility will generate less traffic than the previously approved uses. This will reduce the amount of traffic exiting the property onto Central Avenue. (HCRANSDP Objective II - Transportation)
 - iii. The proposed development will help to stabilize the area by adding a new building to an empty (underutilized) and uninviting lot and encourage new activity in a mature neighborhood. (HCRANSDP Objective VII - Economic Development)
 - iv. The proposed zone is in line with the regulations of the HCRANSDP; the CLD zone was originally proposed in the sector development plan to meet goals that protect the neighborhood while allowing for the commercial corridor along Central Avenue – the 50' setback requirement is a result. (Chapter IV: Land Use and Zoning, HCRANSDP)
- D. The applicant has shown that the proposed zoning is more advantageous to the community by furthering a preponderance of goals and policies in the Comprehensive Plan and the Huning Castle and Raynolds Addition Neighborhood Sector Development Plan (D3). The request will help to provide certainty and stability in an area that is currently vacant and is becoming blighted.
- E. There are no permissive uses that would be harmful to the adjacent property, the neighborhood or the community. The site was previously zoned SU-2/CLD and the uses in the CLD zone have previously been approved by the City and surrounding neighborhoods in the HCRASDP. The addition of food processing and associated warehousing is an extension of the permissive restaurant use in the CLD zone. Further, the HCRANSDP has specific regulations for the CLD zone in order to protect residential neighborhoods from adverse effects and impacts of non-residential uses. There is a required 50' setback of non-residential buildings to a residential zone. This is combined with requirements of evergreen trees in the landscaping buffer to provide a year-round opaque landscape screen and a 6' high wall at the property line to help provide for mitigation purposes.
- F. The proposed zone change would not require any major or unprogrammed capital expenditures by the City are required. The property already has adequate infrastructure and services in place.
- G. The cost of land or other economic considerations are not the primary determining factors for the requested zone map amendment.
- H. The location on Central Avenue is not the sole justification for the request. The request also stimulates investment and jobs in the area, eliminates a vacant building and blighting influence, and allows for further education of individuals.

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- I. This request would result in a spot zone; however, the proposed zone map amendment clearly facilitates realization of the Comprehensive Plan and the HCRANS DP.
- J. The request does not constitute a strip zone.
- 7. A facilitated meeting was held September 26, 2012, between the applicant and the Huning Castle Neighborhood Association, the Downtown Neighborhood Association and the North Valley Coalition. There was neighborhood concern expressed over the following topics: the exact location of the loading docks and their impact to the residential homes regarding noise; noise from delivery trucks; concern about ponding adjacent to the residential neighborhood. The applicant is working with the neighborhood to try and resolve these concerns.
- 8. Staff has received letters of opposition and a letters of support to this request. Staff also received an email from the president of the Huning Castle Neighborhood Association stating that board members are equally divided in their support and opposition.

CONDITIONS:

- 1. The zone map amendment does not become effective until the accompanying site development plan is approved by the DRB pursuant to §14-16-4-1(C)(11) of the Zoning Code. If such requirement is not met within six months after the date of EPC approval, the zone map amendment is void. The Planning Director may extend this time limit up to an additional six months upon request by the applicant.

Project #1004677, 12EPC 40058 – Site Development Plan for Subdivision Amendment

FINDINGS:

- 1. The is a request to amend 1.34-acres of a 3.6-acre site development plan for subdivision located on Central Avenue, between Laguna Boulevard and San Pasquale Avenue, that was approved by the EPC on December 20, 2007 (07EPC 40073). This requested amendment will reflect the 2009 replat showing the subject site, Lot 2, Plat of Lots 1 & 2, Garcia Properties Development, formerly Tract 131, MRGCD Property Map No. 28, and the two lots abutting north, on the south side of Central Avenue, Lot 1, Plat of Lots 1 & 2, Garcia Properties Development, formerly Tract 131, MRGCD Property Map No.28, and Tract 132, MRGCD Property Map 38, on the east side of a common property line that divides the subdivision.

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2. The subject site is in the Established Urban Area of the Comprehensive Plan and within the Huning Castle and Raynolds Addition Neighborhood Sector Development Plan.
3. The Albuquerque/Bernalillo County Comprehensive Plan, the Huning Castle and Raynolds Addition Neighborhood Sector Development Plan and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
4. The requested site development plan for subdivision amendment is accompanied by an amendment to the Huning Castle and Raynolds Addition Neighborhood Sector Development Plan map, Project #1004677, 12EPC-40060, and a site development plan for building permit request – Project #1004677, 12EPC-40057. The sector plan's map amendment is contingent on the approval of this request and the approval of the site development plan for building permit as the site plan controls the zoning on all SU-1 zoned sites. These requests apply only to Lot 2, Plat of Lots 1 & 2, Garcia Properties Development – no other sites in the subdivision will be affected.
5. The subject site is adjacent to an Enhanced Transit Corridor, Central Avenue.
6. The required depiction of the site, vehicular and pedestrian circulation, ingress/egress points, max building height and minimum setbacks are shown on the amended site development plan for subdivision; the required maximum building F.A.R. is not shown.
7. The requested zone is shown on the site development plan for subdivision and the prohibited uses. The permissive uses are not shown. As only this site is affected by this request from the original 2007 EPC approved (07EPC 40073) site development plan for subdivision, the permissive uses should be included.
8. The applicant intends to keep the design standards that were approved in 2007 (07EPC 40073). The proposed development complies with these design standards.
9. The request is not in significant conflict with adopted elements of the Comprehensive Plan or other city master plans including the following:

A) Comprehensive Plan:

ESTABLISHED URBAN AREA POLICIES

This subdivision amendment will allow a variety of uses at an intensity and design similar to structures within the surrounding area on a site that is blighted, underutilized and relatively vacant. Eliminating blight and preventing deterioration of property values in the area will also help to ensure integrity of the existing neighborhood. Since this request is for an expansion of an existing business, the surrounding area will not be greatly impacted by its

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expanded operations, thus maintaining existing neighborhood values.
(Comprehensive Plan Policies II.B.5.d and e)

This change will also help to create increased opportunities for employment for the adjacent neighborhood and will act as a buffer from the Central Avenue corridor in minimizing adverse effects of noise, lighting, pollution, and traffic on residential environment. The site is to be developed as a support facility for an existing business on a relatively vacant lot; this will help improve the visual urban environment with landscaping and pedestrian pathways from the neighborhood to the transit corridor along Central Avenue in this older neighborhood in the Established Urban Area. (Comprehensive Plan Policies II.B.5.i, m and o)

TRANSPORTATION AND TRANSIT POLICIES

The subject site is located adjacent to multiple transportation modes including an Enhanced Transit Corridor along Central Avenue. The availability of close by transit service helps to balance the circulation system as employees and patrons have easy access to the transit system, which encourages bicycling and walking. (Policy II.D.4.a)

ECONOMIC DEVELOPMENT

The expansion of the current business provides greater variety of employment opportunities because of the need for personnel skilled in food preparation, catering and office jobs. This will help the business grow both at this location and Citywide. (Policy II.D.6.a and b)

B) The request furthers policies and objectives of the Huning Castle and Raynolds Addition Neighborhood Sector Development Plan (HCRANSDP):

- i. This amendment to the site development plan for subdivision will re-establish the zoning that is specified by the HCRANSDP, the CLD zone. The other allowed uses of this property, food production and associated warehousing, are in line with the function and operation of a restaurant use, also permissive in the CLD zone. Further, as this site is between the commercial corridor of Central Avenue and the residential neighborhood to the south, the proposed development will buffer the neighborhood from negative impacts created along the Central corridor in terms of traffic, noise and litter. (HCRANSDP Objective I - Land Use and Zoning)
- ii. This site proposes a support facility for the existing business and will generate less traffic than the previously approved uses. This will reduce the amount of traffic exiting the property onto Central Avenue. (HCRANSDP Objective II - Transportation)

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- iii. The proposed development will help to stabilize the area by adding a new building to an empty (underutilized) and uninviting lot and encourage new activity to in a mature neighborhood. (HCRANS DP Objective VII – Economic Development)
 - iv. The proposed zone is in line with the regulations of the HCRANS DP; the CLD zone was originally proposed in the sector development plan to meet goals that protect the neighborhood while allowing for the commercial corridor along Central Avenue – the 50' setback requirement is a result. (Chapter IV: Land Use and Zoning, HCRANS DP)
10. A facilitated meeting was held September 26, 2012, between the applicant and the Huning Castle Neighborhood Association, the Downtown Neighborhood Association and the North Valley Coalition. There was neighborhood concern expressed over the following topics: the exact location of the loading docks and their impact to the residential homes regarding noise; noise from delivery trucks; concern about ponding adjacent to the residential neighborhood. The applicant is working with the neighborhood to try and resolve these concerns.
11. Staff has received letters of opposition and a letters of support to this request. Staff also received an email from the president of the Huning Castle Neighborhood Association stating that board members are equally divided in their support and opposition.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. The Maximum building F.A.R of .61 (as listed in the Design Standards) shall be listed on the site development plan for subdivision.
4. A statement of allowed uses shall be stated under the zoning descriptor on the site plan for subdivision that reads: "Permissive Uses include all sector plan specific uses

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allowed in the CLD (commercial/low density apartment) zone and food production and associated warehousing.

5. Conditions from City Engineer, Municipal Development, Water Authority and NMDOT:
 - a. Please provide the site development for subdivision that will need to be amended for review and its' revisions.
 - b. A six feet wide pedestrian path is required from Central to the building.
 - c. A Cross Access Easement will be required with adjacent lots for DRB approval.
 - d. All easements need to be shown and labeled on Site Plan.

Project #1004677, 12EPC 40057- Site Development Plan for Building Permit

FINDINGS:

1. This is a request for site development plan for building permit for all or a portion of Lot 2, Plat of Lots 1 & 2, formerly Tract 131, MRGCD Property Map 28, an approximately 1.34-acre site located on the south side Central Avenue, between Laguna Boulevard and San Pasquale Avenue.
2. The subject site is in the Established Urban Area of the Comprehensive Plan and within the Huning Castle and Raynolds Addition Neighborhood Sector Development Plan.
3. The Albuquerque/Bernalillo County Comprehensive Plan, the Huning Castle and Raynolds Addition Neighborhood Sector Development Plan and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
4. The requested site development plan for building permit is accompanied by an amendment to the Huning Castle and Raynolds Addition Neighborhood Sector Development Plan map, Project #1004677, 12EPC-40060, and a site development plan for subdivision amendment – Project #1004677, 12EPC-40058. The sector plan's map amendment is contingent on the approval of this request and the approval of the site development plan for subdivision amendment as the site plan controls the zoning on all SU-1 zoned sites. These requests apply only to Lot 2, Plat of Lots 1 & 2, Garcia Properties Development, formerly Tract 131, MRGCD Property Map 28 – no other sites in the subdivision will be affected.
5. The subject site is adjacent to an Enhanced Transit Corridor, Central Avenue.
6. The request is not in significant conflict with adopted elements of the Comprehensive Plan or other city master plans including the following:

A) Comprehensive Plan:

ESTABLISHED URBAN AREA POLICIES

The site development plan for building permit will allow a variety of uses at an intensity and design similar to structures within the surrounding area on a site that is blighted, underutilized and relatively vacant. Eliminating blight and preventing deterioration of property values in the area will also help to ensure integrity of the existing neighborhood. Since this request is for an expansion of an existing business, the surrounding area will not be greatly impacted by its expanded operations, thus maintaining existing neighborhood values.

(Comprehensive Plan Policies II.B.5.d and e)

This change will also help to create increased opportunities for employment for the adjacent neighborhood and will act as a buffer from the Central Avenue corridor in minimizing adverse effects of noise, lighting, pollution, and traffic on residential environment. The site is to be developed as a support facility for an existing business on a relatively vacant lot; this will help improve the visual urban environment with landscaping and pedestrian pathways from the neighborhood to the transit corridor along Central Avenue in this older neighborhood in the Established Urban Area. (Comprehensive Plan Policies II.B.5.i, m and o)

TRANSPORTATION AND TRANSIT POLICIES

The subject site is located adjacent to multiple transportation modes including an Enhanced Transit Corridor along Central Avenue. The availability of close by transit service helps to balance the circulation system as employees and patrons have easy access to the transit system, which encourages bicycling and walking. (Policy II.D.4.a)

ECONOMIC DEVELOPMENT

The expansion of the current business provides greater variety of employment opportunities because of the need for personnel skilled in food preparation, catering and office jobs. This will help the business grow both at this location and Citywide. (Policy II.D.6.a and b)

B) The request furthers policies and objectives of the Huning Castle and Raynolds Addition Neighborhood Sector Development Plan (HCRANSDP):

- i. This site development plan for building permit will re-establish the zoning that is specified by the HCRANSDP, the CLD zone. The other allowed uses of this property, food production and associated warehousing, are inline with the function and operation of a restaurant use, also permissive in the CLD zone. Further, as this site is between the commercial corridor of Central Avenue and the residential neighborhood to the south, the proposed development will buffer the neighborhood from negative impacts

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created along the Central corridor in terms of traffic, noise and litter.
(HCRANS DP Objective I - Land Use and Zoning)

- ii. This site proposes a support facility for the existing business and will generate less traffic than the previously approved uses. This will reduce the amount of traffic exiting the property onto Central Avenue.
(HCRANS DP Objective II - Transportation)
 - iii. The proposed development will help to stabilize the area by adding a new building to an empty (underutilized) and uninviting lot and encourage new activity to in a mature neighborhood. (HCRANS DP Objective VII – Economic Development)
7. A facilitated meeting was held September 26, 2012, between the applicant and the Huning Castle Neighborhood Association, the Downtown Neighborhood Association and the North Valley Coalition. There was neighborhood concern expressed over the following topics: the exact location of the loading docks and their impact to the residential homes regarding noise; noise from delivery trucks; concern about ponding adjacent to the residential neighborhood. The applicant is working with the neighborhood to try and resolve these concerns.
8. Staff has received letters of opposition and a letters of support to this request. Staff also received an email from the president of the Huning Castle Neighborhood Association stating that board members are equally divided in their support and opposition.

CONDITIONS:

- 1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
- 2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
- 3. The Proposed Zoning on the site development plan for building permit (sheet SD 1.0) shall read "SU-2/SU-1/CLD and Food Preparation & Associated Warehousing".
- 4. Landscaping:

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- a. All landscaping beds over 36 square-feet shall have 80% coverage of living vegetative material.
 - b. The landscaping shall meet the requirement in Section 14-16-3-10 (G)(1)(D) of the zoning code that "at least 75% of the required parking area trees shall be deciduous canopy-type shade trees, capable of achieving a mature canopy of at least 25 feet."
 - c. There shall be a canopy tree added to the planting bed in the front parking aisle at the front of the building.
 - d. There shall be a continuous line of coniferous trees along with the deciduous trees at the rear-landscaping buffer for the residential zone.
 - e. Cutouts for water harvesting shall be shown on all site curbs on the site development plan for building permit.
5. The wall along the residential zone to the south shall be considered to be raised to 8'.
6. The benches shown on the site development plan for building permit (page SD 1.0) shall conform to the regulations in Section 14-16-3-18 (C)(3) of the Zoning Code.
7. The dimensions of the building mounted sign shall match the actual sign area that is shown (approximately 53 square-feet).
8. Conditions from City Engineer, Municipal Development, Water Authority and NMDOT:
 - a. The "Traffic Circulation Plan" sheet C-3 will need to be re-named as an Exhibit for Truck Delivery circulation and the size and classification of the truck will need to be provided.
 - b. A six feet wide pedestrian path is required from Central to the building.
 - c. Handicap parking stall widths need to be 8'-6" instead of proposed 8'-3".
 - d. Site plan shall comply and be in accordance with DPM (Development Process Manual) and current ADA standards/ requirements.
 - e. Provide/label/detail all dimensions, classifications and proposed infrastructure for on-site.
 - f. Proposing ponding on the site is a conceptually correct; a Conceptual Grading and Drainage plan should be submitted to Hydrology for DRB (Development Review Board) approval of the site plan.
 - g. The site plan, sheet SD1.0, should indentify the ponding area as a pond, as well as a 'landscape buffer.'
 - h. A Cross Access Easement will be required with adjacent lots for DRB approval.
 - i. All easements need to be shown and labeled on Site Plan.
9. Condition from Public Service Company of New Mexico:

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Screening should be designed to allow for access to utility facilities. As a condition, all screening and vegetation surrounding ground-mounted transformers and utility pads are to allow 10 feet of clearance in front of the equipment door and 5-6 feet of clearance on the remaining three sides for safe operation, maintenance and repair purposes. Please refer to the PNM Electric Service Guide for specifications.

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY **OCTOBER 26, 2012** IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC'S DECISION.

Persons aggrieved with any determination of the Environmental Planning Commission (EPC) and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting a written application on the Planning Department form to the Planning Department **within 15 days** of the Planning Commission's decision. The date of the EPC's decision is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday, the next working day is considered as the deadline for filing the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY ZONING CODE MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

ZONE MAP AMENDMENTS: Pursuant to Zoning Code Section 14-16-4-1(C)(11), a change to the zone map does not become official until the Certification of Zoning (CZ) is sent to the applicant and any other person who requests it. Such certification shall be signed by the Planning Director after appeal possibilities have been concluded and after all requirements prerequisite to this certification are met. If such requirements are not met within six months after the date of final City approval, the approval is void. The Planning Director may extend this time limit up to an additional six months.

SITE DEVELOPMENT PLANS: Pursuant to Zoning Code Section 14-16-3-11(C)(1), if less than one-half of the approved square footage of a site development plan has been built or less than one-half of the site has been developed, the plan for the undeveloped areas shall terminate automatically seven

OFFICIAL NOTICE OF DECISION

Project # 1004677

October 4, 2012

Page 14 of 14

years after adoption or major amendment of the plan: within six months prior to the seven-year deadline, the property owners shall request in writing thorough the Planning Director that the Planning Commission extend the plan's life an additional five years.

DEFERRAL FEES: Pursuant to Zoning Code Section 14-16-4-1(B), deferral at the request of the applicant is subject to a \$110.00 fee.

Sincerely,

CMarrone

for

Suzanne Lubar

Acting Director, Planning Department

SL/CH/mc

cc: J.S. Rogers Architects, PC, 821 Mountain Road NW, Albuquerque, NM, 87102
Dan Garcia, 1113 4th Street NW, Albuquerque, NM, 87102
Jacqueline Wright, 509 11th Street NW, Albuquerque, NM, 87102
Robert Bello, 1424 Roma NW, Albuquerque, NM, 87104
Ranne B. Miller, 1521 Park SW, Albuquerque, NM 87104
Bill Biffle, 401 Laguna SW, Albuquerque, NM, 87104
Chris Catechis, 5733 Guadalupe Trail NW, Albuquerque, NM, 87107
David Wood, 158 Pleasant NW, Albuquerque, NM, 87107
Paul Bronstein, 1719 Chacoma Pl SW, Albuquerque, NM 87104
Kelly Adolph, 1717 Chacoma Pl SW, Albuquerque, NM 87104



1035 South Bosque Loop Bosque Farms, NM 87068
505-362-1530 fax 505-869-9195

August 19, 2013

Mr. Shahab Biazar, PE
Senior Engineer Planning Department
City of Albuquerque
Development and Building Services
600 Second Street NW
Albuquerque, NM 87102

RE: Re-submittal of Grading and Drainage Plan for Garcias Kitchen Food Prep & Catering J13/D096

Dear Mr. Biazar,

I am in receipt of your comments dated October 23, 2012 for this project and have the following responses to offer:

1. Please quantify the flows entering from the north
There are no off-site flows entering from the north to the site since Central Avenue has curb and gutter to direct flows down Central Avenue. All the flows from the Garcia's Kitchen site are being collected into our storm drainage retention pond.
2. Provide spot elevations abutting the site.
Spot elevations have been added to the plan.
3. Provide pond calculations.
Pond calculations are shown on the plan.
4. Provide Pond overflow locations.
Pond overflow locations are shown on the new plan. Essentially the overflow location is into the parking areas, thus the curb openings into the pond also serve as overflow locations.
5. Label Central Avenue.
Central Avenue has been labeled.
6. Per DPM Chapter 22 Section 9, runoff from the trash enclosure pad is required to drain to the sanitary sewer.
A drain to the sanitary sewer has been added and is shown on the site utility plan of which a copy is attached.

I believe that we have addressed your comments and the plan is ready for approval. If you have any questions or require additional information, please call me at 505-362-1530.

Sincerely,

Martin J. Garcia, PE
Anchor Engineering LLC



Supplemental Form (SF)

SUBDIVISION

- ☐ Major subdivision action
☐ Minor subdivision action
☐ Vacation
☐ Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- ☒ for Subdivision
☒ for Building Permit
☐ Administrative Amendment/Approval (AA)
☐ IP Master Development Plan
☐ Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- ☐ Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- ☐ Annexation
☐ Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
☐ Adoption of Rank 2 or 3 Plan or similar
☐ Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd Regulations
☐ Street Name Change (Local & Collector)
☐ L A APPEAL / PROTEST of...
☐ Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102.

Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any) JS ROGERS ARCHITECTS, P.C. PHONE 247-1168
 ADDRESS 821 MOUNTAIN ROAD, NW FAX 247-0262
 CITY ALBUQUERQUE STATE NM ZIP 87102 E-MAIL info@jsrogersarchitects.com

APPLICANT DAN GARCIA/GARCIA'S KITCHEN PHONE 362-2753
 ADDRESS 1113 4TH STREET NW FAX _____
 CITY ALBUQUERQUE STATE NM ZIP 87102 E-MAIL dangarcia@kitchen.com
 Proprietary interest in site NONE List all owners AG & FIVE, LLC

DESCRIPTION OF REQUEST: AMENDMENT TO THE SITE DEVELOPMENT PLAN FOR SUBDIVISION, SDP FOR BUILDING PERMIT, SECTOR DEV. PLAN AMEND & ZONE MAP AMEND.

Is the applicant seeking incentives pursuant to the Family Housing Development Program? ☐ Yes ☒ No

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No 2 Block _____ Unit _____
 Subdiv/Adm/DBKA GARCIA PROPERTIES DEVELOPMENT
 Existing Zoning SU-2/SU-1 MIXED USED Proposed zoning FOOD PROD. & ASSOC. WAREHOUSING MRGCD Map No _____
 Zone Atlas page(s): J.13 UPC Code 101305821512830914

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj, App, DRB, AX_Z_V_S, etc) PROJ.# 1004677, DRBPC 00143, DRBPC 40073, DRBPC 40074, DRBPC 40075, PROJ.# 1001646, DRBPC 1003

CASE INFORMATION:

Within city limits? ☒ Yes Within 1000FT of a landfill? No
 No of existing lots 1 No of proposed lots 1 Total site area (acres) 1.34
 LOCATION OF PROPERTY BY STREETS On or Near CENTRAL AVENUE, SW
 Between LAGUNA BLVD. and SAN PASQUALE AVE.
 Check if project was previously reviewed by Sketch Plat/Plan ☐ or Pre-application Review Team (PRT) ☒ Review Date 11/08/11

SIGNATURE [Signature] DATE 8/20/13
 (Print Name) JAMES S. ROGERS Applicant ☐ Agent ☐

FOR OFFICIAL USE ONLY

Revised: 4/2012

<input checked="" type="checkbox"/> INTERNAL ROUTING <input checked="" type="checkbox"/> All checklists are complete <input checked="" type="checkbox"/> All fees have been collected <input checked="" type="checkbox"/> All case #s are assigned <input checked="" type="checkbox"/> AGIS copy has been sent <input type="checkbox"/> Case history #s are listed <input type="checkbox"/> Site is within 1000ft of a landfill <input type="checkbox"/> F.H.D.P. density bonus <input type="checkbox"/> F.H.D.P. fee rebate	Application case numbers <u>13DRB: 70660</u> <u>_____ : 70661</u> <u>_____</u> <u>_____</u> Hearing date <u>Aug 28, 2013</u> <u>8-20-13</u> Staff signature & Date	Action <u>SBP</u> <u>CME</u> <u>SPS</u> <u>_____</u> <u>_____</u> Project # <u>1004677</u>	S.F. <u>_____</u> <u>_____</u> <u>_____</u> <u>_____</u> Total <u>\$20.00</u>	Fees <u>\$20.00</u> <u>\$20.00</u> <u>\$0</u> <u>_____</u> <u>_____</u> Total <u>\$20.00</u>
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FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

☐ SKETCH PLAT REVIEW AND COMMENT (DRB22)

Maximum Size: 24" x 36"

- ☐ Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - ☐ Zone Atlas map with the entire property(ies) clearly outlined
 - ☐ Letter briefly describing, explaining, and justifying the request
 - ☐ List any original and/or related file numbers on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

☐ SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB18)

Maximum Size: 24" x 36"

- ☐ 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
- ☐ Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
- ☐ Zone Atlas map with the entire property(ies) clearly outlined
- ☐ Letter briefly describing, explaining, and justifying the request
- ☐ Letter of authorization from the property owner if application is submitted by an agent
- ☐ Copy of the document delegating approval authority to the DRB
- ☐ Completed Site Plan for Subdivision Checklist
- ☐ Infrastructure List, if relevant to the site plan
- ☐ Fee (see schedule)
- ☐ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Bring the original to the meeting
Your attendance is required.

☐ SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB17)

Maximum Size: 24" x 36"

- ☐ 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
- ☐ Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
- ☐ Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. 6 copies.
- ☐ Solid Waste Management Department signature on Site Plan
- ☐ Zone Atlas map with the entire property(ies) clearly outlined
- ☐ Letter briefly describing, explaining, and justifying the request
- ☐ Letter of authorization from the property owner if application is submitted by an agent
- ☐ Copy of the document delegating approval authority to the DRB
- ☐ Infrastructure List, if relevant to the site plan
- ☐ Completed Site Plan for Building Permit Checklist
- ☐ Copy of Site Plan with Fire Marshal's stamp
- ☐ Fee (see schedule)
- ☐ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Bring the original to the meeting.
Your attendance is required.

☐ AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB01) Maximum Size: 24" x 36"

☐ AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB02) Maximum Size: 24" x 36"

- ☐ Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
- ☐ DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) 6 copies
- ☐ Zone Atlas map with the entire property(ies) clearly outlined
- ☐ Letter briefly describing, explaining, and justifying the request
- ☐ Letter of authorization from the property owner if application is submitted by an agent
- ☐ Infrastructure List, if relevant to the site plan
- ☐ Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
- ☐ Fee (see schedule)
- ☐ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Bring the original to the meeting
Your attendance is required.

☐ FINAL SIGN-OFF FOR EPC APPROVED SDP FOR BUILDING PERMIT (DRB05)

☐ FINAL SIGN-OFF FOR EPC APPROVED SDP FOR SUBDIVISION (DRB06)

- ☒ Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies
- ☒ Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) 6 copies
- ☒ Solid Waste Management Department signature on Site Plan for Building Permit
- ☒ Zone Atlas map with the entire property(ies) clearly outlined
- ☒ Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
- ☒ Infrastructure List, if relevant to the site plan
- ☒ Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
- ☒ List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Bring the original to the meeting.

Your attendance is required.
I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions

JAMES J. POWERS
Applicant name (print)
[Signature]
Applicant signature / date

Form revised October 2007



- ☒ Checklists complete
- ☒ Fees collected
- ☒ Case #s assigned
- ☒ Related #s listed

Application case numbers

13 - DRB - 70660

- - - 70661

- - -

Project #

1004677

Planner signature / date

8-20-13

GARCIA'S KITCHEN
FOOD PRODUCTION & ASSOCIATED WAREHOUSE FACILITY
DRB SUBMISSION - EPC PROJECT NO.: 1004677

August 15, 2013

Mr. Jack Cloud
DRB Chair
City Of Albuquerque
600 2nd Street, NW
Albuquerque, NM 87102

Dear Mr. Cloud:

The Environmental Planning Commission has delegated final sign-off authority on Site Development Plans for the Garcia's Kitchen Food Production and Associated Warehouse Facility to the Development Review Board (DRB). The following conditions imposed by the EPC in the Official Notice of Decision issued on October 11, 2013, have been addressed as described herein and on the Site Development Plan for Subdivision Amendment and Site Development Plan for Building Permit.

Project #1004677, 12EPC 40060 – Sector Development Plan Map Amendment

Conditions:

1. "The zone map amendment does not become effective until the accompanying site development plan is approved by the DRB pursuant to 14-16-4-1(C)(11) of the Zoning Code. If such requirement is not met within six months after the date of EPC approval, the zone map is void. The Planning Director may extend this time limit up to an additional six months upon request by the applicant."
 - a. Response: A request for a six month extension has been approved.

Project #1004677, 12EPC 40058 – Site Development Plan for Subdivision Amendment

Conditions:

1. "The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC Conditions. Unauthorized changes to this site plan, including before or after DRB sign-off, may result in forfeitures of approvals."
 - a. Response: This letter serves to describe all modifications that have been made to the site development plans since the hearing to meet the EPC Conditions.

2. "Prior to application to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met."
 - a. Response: The Applicant met with Staff Planner Chris Hyer on August 14, 2013 to review all modifications made the drawings. Mr. Hyer indicated at the time that the plans appeared to address the EPC Conditions adequately.
3. "The maximum building F.A.R. of .61 (as listed in the Design Standards) shall be listed on the site development plan for subdivision."
 - a. Response: See sheet SD1.0, Site Development Plan for Subdivision. The maximum F.A.R. stated above has been listed under Project Data, Applicable Design Standards.
4. "A statement of allowed uses shall be stated under the zoning descriptor on the site plan for subdivision that reads: 'Permissive uses include all sector plan specific uses allowed in the CLD (commercial/low density apartment) zone and food production and associated warehousing.'"
5. "Conditions from the City Engineer, Municipal Development, Water Authority and NMDOT:"
 - a. "Please provide the site development that will need to be amended for review and its' revisions."
 - i. Response: See sheet SD1.0, Site Development Plan for Subdivision.
 - b. "A six feet wide pedestrian path is required from Central to the building."
 - i. Response: See sheet SD1.0, Site Development Plan for Subdivision. The plan indicates a six foot wide pedestrian path from Central Avenue to the proposed building.
 - c. "A Cross Access Easement will be required with the adjacent lots for DRB approval."
 - i. Response: See sheet SD1.0, Site Development Plan for Subdivision, Existing Cross Access Easement Note which states the following:
"Reciprocal cross lot drainage, access, private water and private sewer easement for the benefit of lots 1, 2 and tract 132 granted by plat of lots 1 and 2 Garcia Properties Development, 1/27/2009 (Project #1007646, 09DRB 70033)."
 - d. "All easements need to be shown and labeled on Site Plan."
 - i. Response: See sheet SD1.0, Site Development Plan for Subdivision.

Project #1004677, 12EPC 40057 – Site Development Plan for Building Permit

Conditions:

1. "The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan

since the EPC hearing, including how the site plan has been modified to meet each of the EPC Conditions. Unauthorized changes to this site plan, including before or after DRB sign-off, may result in forfeitures of approvals.”

- a. Response: This letter serves to specify all modifications that have been made to the site plan since the EPC hearing and meets the EPC Conditions.
2. “Prior to application to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.”
 - a. Response: Meeting with the staff planner scheduled for August 14, 2013.
3. “The Proposed Zoning on the site development plan for building permit (sheet SD1.0) shall read “SU-2/SU-1/CLD and Food Preparation & Associated Warehousing.”
 - a. Response: See sheet SD1.0, Site Development Plan for Building Permit. The requested statement has been listed under Zoning Data, Proposed Zoning.
4. “Landscaping:
 - a. All landscaping beds over 36 square-feet shall have 80% coverage of living vegetative material.”
 - i. Response: See sheet L1.0, Landscape Plan, Landscape Data.
 - b. “The landscaping shall meet the requirements in Section 14-16-3-10 (G)(1)(D) of the zoning code that “at least 75% of the required parking area trees shall be deciduous canopy-type shade trees, capable of achieving a mature canopy of at least 25 feet.”
 - i. Response: See sheet L1.0, Landscape Plan. The Zoning Code requirement for parking area trees has been listed under General Note “N.” Three parking lot trees are required by Code, six trees have been provided on the proposed Landscape Plan.
 - c. “There shall be a canopy tree added to the planting bed in the front parking aisle at the front of the building.”
 - i. Response: See sheet L1.0, Landscape Plan. The requested tree has been provided.
 - d. “There shall be continuous line of coniferous trees along with the deciduous trees at the rear-landscaping buffer for the residential zone.”
 - i. Response: See sheet L1.0, Landscape Plan. The requested trees have been provided.
 - e. “Cutouts for water harvesting shall be shown on all site curbs on the site development plan for building permit.”
 - i. Response: See sheet L1.0, Landscape Plan. The curb cutouts are now shown on the site plan.
5. “The wall along the residential zone to the south shall be considered to be raised to 8’.”
 - a. Response: This issue has been discussed with the Staff Planner and the perimeter wall will remain at 6 feet above grade as shown in the Drawings.
6. “The benches shown on the site development plan for building permit (page SD1.0) shall conform to the regulations in Section 14-16-3-18 (C)(3) of the Zoning Code.”
 - a. Response: See sheet SD1.0, Site Development Plan for Building Permit, General Note “H.” A minimum of five seats are required by Zoning Code. Six seats are provided.

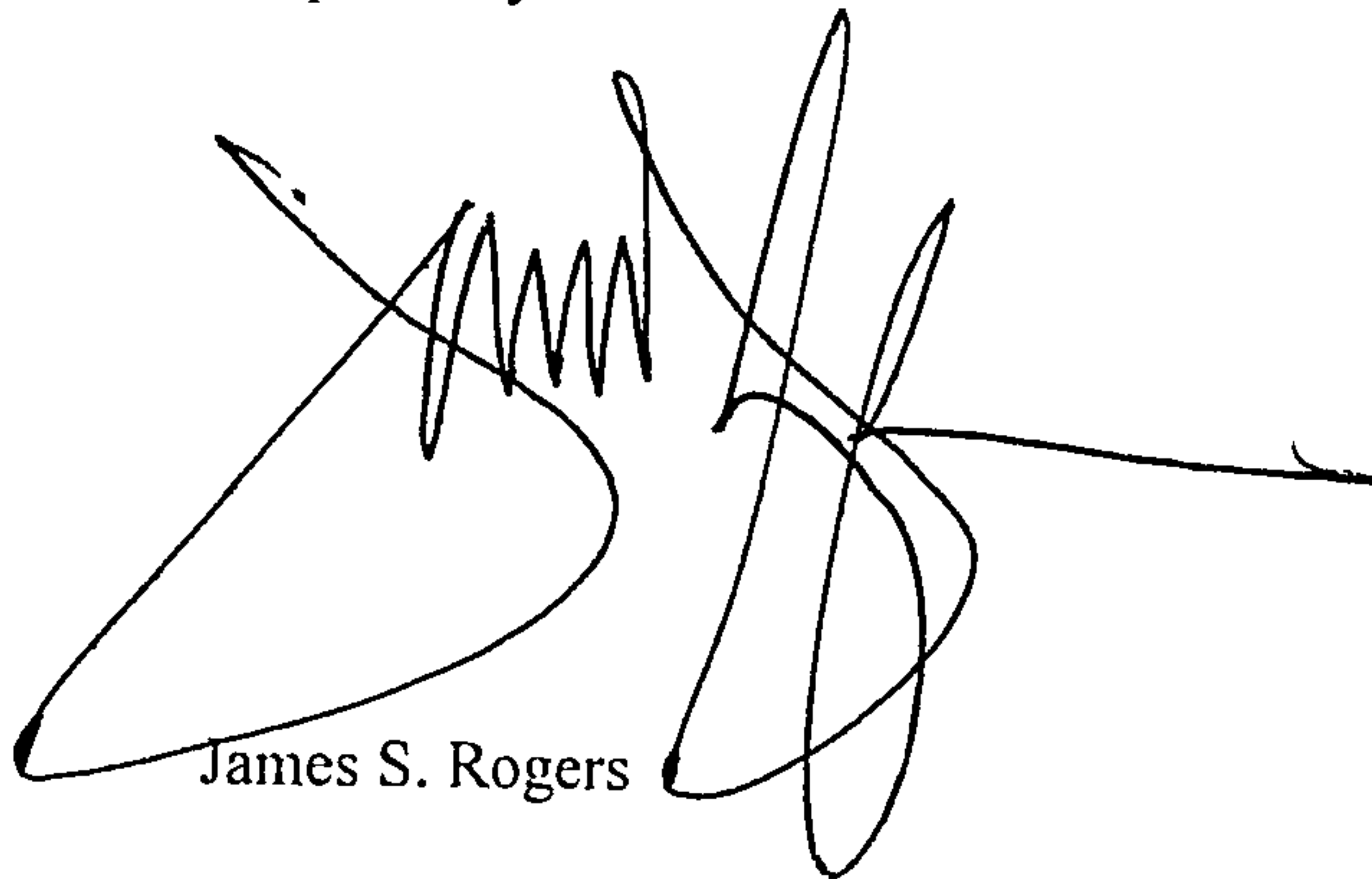
7. "The dimensions of the building mounted sign shall match the actual sign area that is shown (approximately 53 square-feet)."
- a. Response: See sheet A2.1, Exterior Elevations, Elevation #2 for revised dimensions. Sign area dimensions are 5'-4" tall X 9'-4" wide with an area of 49.7 square feet.
8. "Conditions from the City Engineer, Municipal Development, Water Authority and NMDOT:
 - a. The 'Traffic Circulation Plan' sheet C-3 will need to be renamed as an Exhibit for Truck Delivery circulation and the size and classification of the truck will need to be provided.
 - i. Response: See sheet C-3, Exhibit for Truck Delivery Circulation.
 - b. "A six feet wide pedestrian path is required from Central to the building."
 - i. Response: See sheet SD1.0, Site Development Plan for Building Permit. The plan indicates a six foot wide pedestrian path from Central Avenue to the proposed building.
 - c. "Handicap parking stall widths need to be 8'-6" instead of proposed 8'-3".
 - i. Response: See sheet SD1.0, Site Development Plan for Building Permit. The plan has been revised to show 8'-9" handicap parking stalls.
 - d. "Site plan shall comply and be in accordance with DPM (Development Process Manual) and current ADA standards/requirements."
 - i. Response: See sheet SD1.0, Site Development Plan for Building Permit, General Note "E."
 - e. "Provide/label/detail all dimensions, classifications and proposed infrastructure for on-site."
 - i. Response: See sheet SD1.0, Site Development Plan for Building Permit.
 - f. "Proposed ponding on the site is a conceptually correct; a Conceptual Grading and Drainage plan should be submitted to Hydrology for DRB approval of the site plan."
 - i. Response:
 - g. "The site plan, sheet SD1.0, should identify the ponding area as a pond, as well as a 'landscape buffer.'"
 - i. Response: See sheet SD1.0, Site Development Plan for Building Permit. The requested identifications have been added to the Site Plan.
 - h. "A Cross Access Easement will be required with the adjacent lots for DRB approval."
 - i. Response: See sheet SD1.0, Site Development Plan for Subdivision, Existing Cross Access Easement Note which states the following:
"Reciprocal cross lot drainage, access, private water and private sewer easement for the benefit of lots 1, 2 and tract 132 granted by plat of lots 1 and 2 Garcia Properties Development, 1/27/2009 (Project #1007646, 09DRB 70033)."
 - i. "All easements need to be shown and labeled on the Site Plan."
 - i. Response: See sheet SD1.0, Site Development Plan for Building Permit.
9. "Conditions from the Public Service Company of New Mexico:
 - a. Screening should be designed to allow for access to utility facilities. As a condition, all screening and vegetation surrounding ground-mounted transformers and utility

pads are to allow 10 feet of clearance in front of the equipment door and 5-6 feet of clearance on the remaining three sides for safe operation, maintenance and repair purposes. Please refer to the PNM Electric Service Guide for specifications.”

- i. Response: See sheet SD1.0, Site Development Plan for Building Permit, General Note “J.”

The above represents our written response to the EPC Conditions in connection with this project.

Respectfully:

A handwritten signature in black ink, consisting of a large, stylized 'J' followed by a series of vertical strokes and a long horizontal line extending to the right.

James S. Rogers

Xc: Office
Dan Garcia

CITY OF ALBUQUERQUE



November 24, 2014

Diane Hoelzer, PE
Mark Goodwin & Associates, PA.
PO Box 90606
Albuquerque, NM 87110

**Re: Country Club Plaza
1700 Central Ave SW
Request Permanent C.O. - Accepted
Engineer's Stamp dated: 3-18-14 (J13D010)
Certification dated: 11-24-14**

Dear Ms. Hoelzer,

Based on the Certification received 11/24/2014, the site is acceptable for release of Certificate of Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3695 or Rudy Rael at 924-3977.

PO Box 1293

Albuquerque

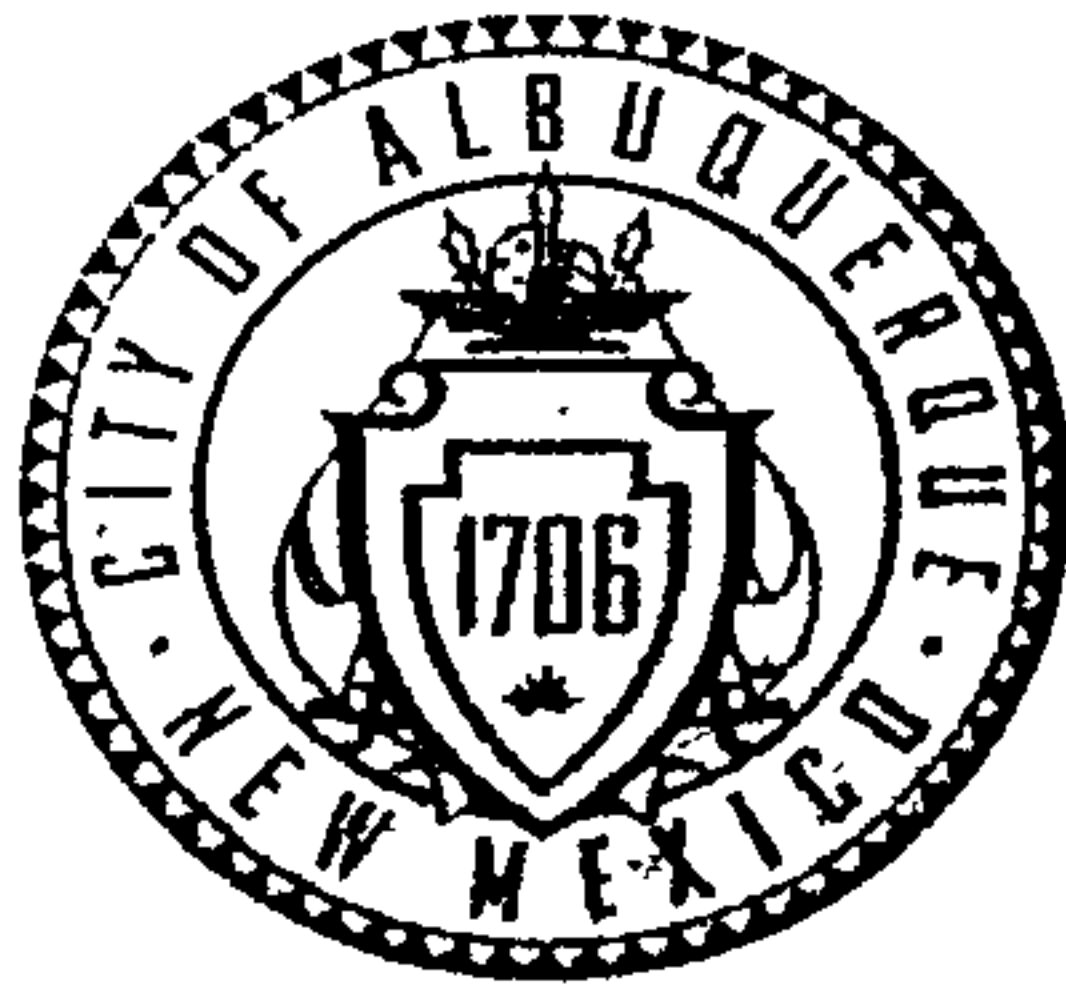
New Mexico 87103

Sincerely,

Curtis Cherne, P.E.
Principal Engineer, Planning Dept.
Development and Review Services

www.cabq.gov

C: RR/CC
email



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Waiting for Diane
11-24-14

Project Title: Country Club Plaza Building Permit #: _____ City Drainage #: J13 / D010
DRB#: 1004677 EPC#: _____ Work Order#: 752084
Legal Description: Remaining portion Tract B, Hunning Castle Addition, Tract A-1-A, Laguna Subdivisions Tracts A and B, lands of HB Horns and
City Address: Central and Laguna

Engineering Firm: MARK GOODWIN & ASSOCIATES, PA Contact: DIANE HOELZER, PE
Address: PO BOX 90606, ABQ, NM
Phone#: 828-2200 Fax#: _____ E-mail: DIANE@GOODWINENGINEERS.COM

Owner: COUNTRY CLUB PARTNERS, LLC Contact: JAY REMBE
Address: 117 B-RICHMOND NE, ABQ, NM 87106
Phone#: 453-7164 Fax#: _____ E-mail: REMBE@INFILLSOLUTIONS.COM

Architect: MULLEN HELLER ARCHITECTURE, PC Contact: MIKE SALVADOR
Address: 924 PARK AVE, STE B, ABQ, NM 87102
Phone#: 268-4144 Fax#: _____ E-mail: MIKE@MULLENHELLER.COM

Surveyor: CONSTRUCTION SURVEY TECHNOLOGIES INC. Contact: DAVID VIGIL
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

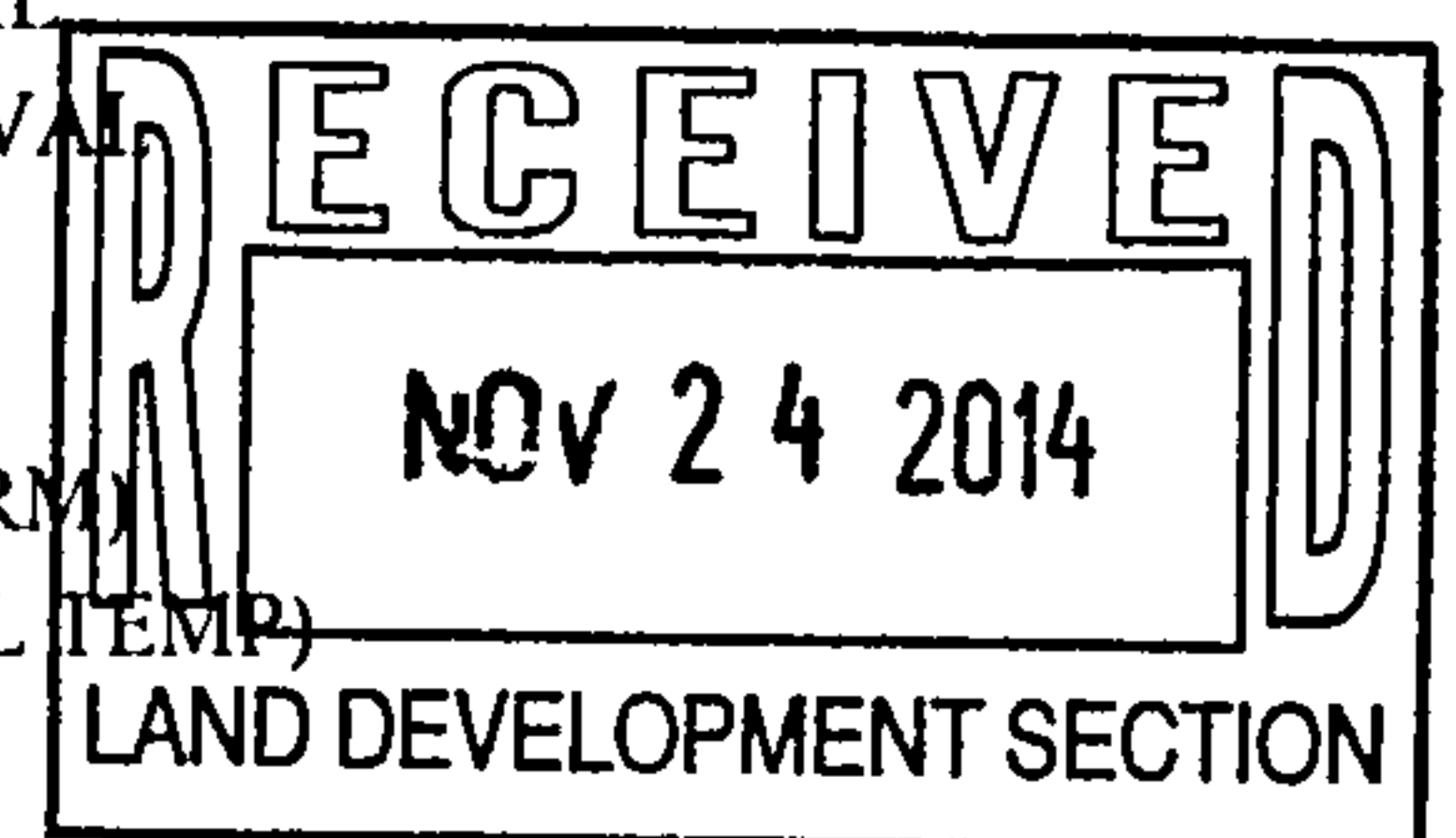
Contractor: INSIGHT CONSTRUCTION / PYTHON CONSTRUCTION Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☒ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY)

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM)
- ☒ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY)



WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes _____ No _____ Copy Provided

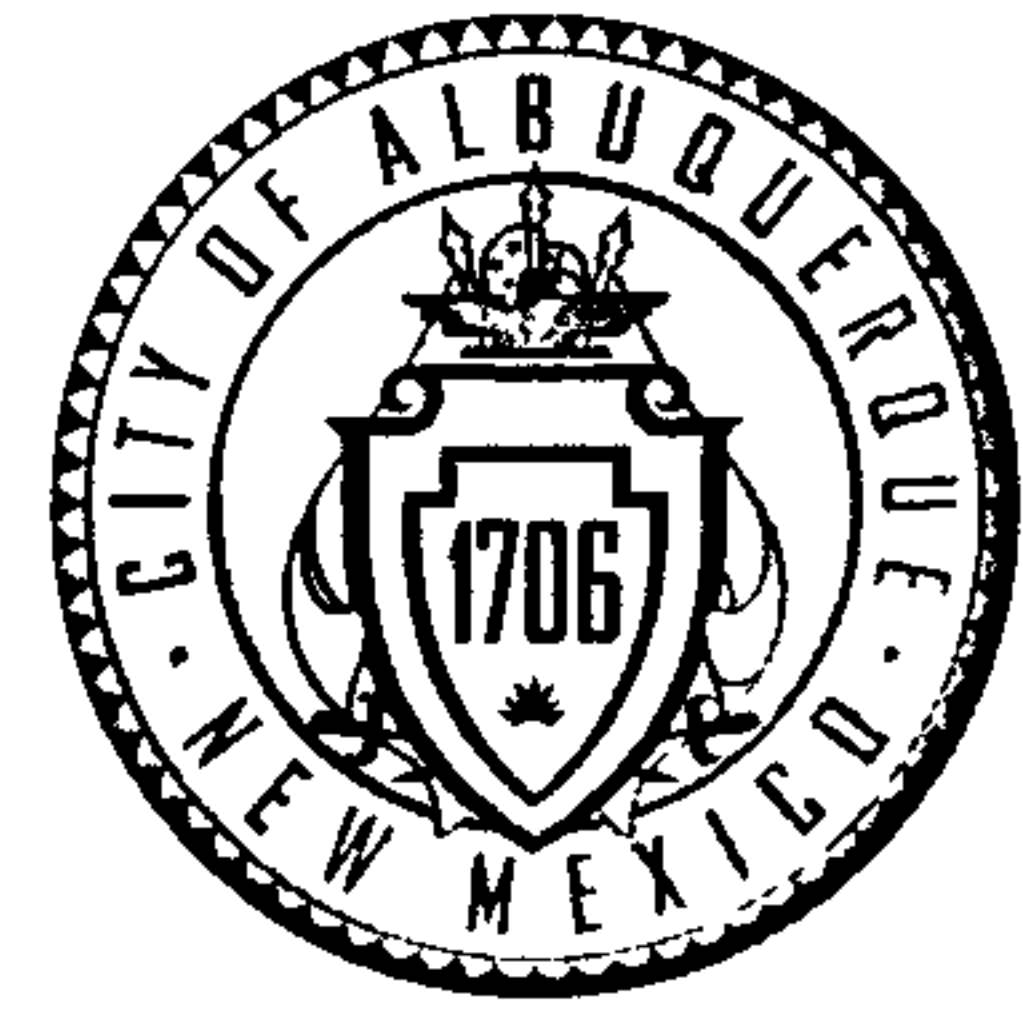
DATE SUBMITTED: NOVEMBER 24, 2014

By: DIANE HOELZER, PE

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1 **Conceptual Grading and Drainage Plan** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
- 2 **Drainage Plans** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
- 3 **Drainage Report** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
- 4 **Erosion and Sediment Control Plan** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

CITY OF ALBUQUERQUE



December 4, 2014

Diane Hoelzer, P.E.
Mark Goodwin and Associates
P.O. Box 90606
Albuquerque, NM 87199

Re: Country Club Plaza, 1700 Central Ave SE
Request for Release of Financial Guarantee Release
Certification dated: 11-24-14

Dear Ms. Hoelzer,

Based upon the information provided in the Certification received 11-24-14, the above referenced Grading and Drainage Certification is acceptable for Release of Financial Guarantee.

If you have any questions, you can contact me at 924-3986.

Sincerely,

Curtis A. Cherne, P.E.
Principal Engineer, Hydrology
Planning Department

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

C: File

CITY OF ALBUQUERQUE



December 4, 2007

Fred Arfman, PE
Isaacson & Arfman
128 Monroe NE
Albuquerque, NM 87108

Re: Country Club Plaza Unit 1 Grading and Drainage Plan

Engineer's Stamp dated 11-2-07, (J13/D11)

D/O

Dear Mr. Arfman,

Based upon the information provided in your submittal dated 11-9-07, the above referenced plan is approved for Site Development Plan for Subdivision, Site Development Plan for Building Permit and Preliminary Plat action by the DRB. Once that board approves the grading plan, please submit a mylar copy for my signature in order to obtain a Rough Grading Permit.

P.O. Box 1293

This project requires a National Pollutant Discharge Elimination System (NPDES) permit. In addition to submitting an NOI to the EPA and preparing a SWPPP, please send a copy of the SWPPP on a CD in .pdf format to the following address:

Albuquerque

Department of Municipal Development
Storm Drainage Division
P.O. Box 1293, One Civic Plaza, Rm. 301
Attn: Kathy Verhage
Albuquerque, NM 87103

New Mexico 87103

www.cabq.gov

If you have any questions about this permit, please feel free to call the Municipal Development Department, Hydrology section at 768-3654.

Prior to Release of SIA and Financial Guarantees, an Engineer's Certification of this grading plan will be required.

If you have any questions, you can contact me at 924-3986.

FLAG //

Work Order # 752082

*Does not match this
G & P Plan Dated 11-02-07.*

*Revise G & P Plan prior
to W.O. Approval.
per Brad. Aug
3/17/09*

Sincerely,

Bradley L. Bingham

Bradley L. Bingham, PE
Principal Engineer, Planning Dept.
Development and Building Services

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(Rev. 12/05)

PROJECT TITLE: Country Club Plaza – Unit 1 ZONE MAP/DRG. FILE # J-13 / D11
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Remaining Portion Of Tract 'B' Huning Castle Addition, Tract A-1-A , Laguna Subdivision, Tracts 'A' And 'B', Lands Of H.B. Horn And Calvin Horn, M.R.G.C.D. Tract '129-B-1-A', Property Map 38, Albuquerque, Bernalillo County, New Mexico

ENGINEERING FIRM: Isaacson & Arfman, P.A.
ADDRESS: 128 Monroe Street NE
CITY, STATE: Albuquerque, NM

CONTACT: Fred Arfman
PHONE: 268-8828
ZIP CODE: 87108

OWNER: Infill Solutions, LLC
ADDRESS: 723-B Silver Ave. SW
CITY, STATE: Albuquerque NM

CONTACT: Jay Rembe
PHONE: 242-1871
ZIP CODE: 87102

ARCHITECT: Precision Surveys
ADDRESS: 8500 Jefferson Street NE
CITY, STATE: Albuquerque

CONTACT: _____
PHONE: 856-5700
ZIP CODE: 87113

SURVEYOR: _____
ADDRESS: _____
CITY, STATE: Albuquerque, NM

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: Albuquerque NM

CONTACT: _____
PHONE: _____
ZIP CODE: _____

TYPE OF SUBMITTAL:

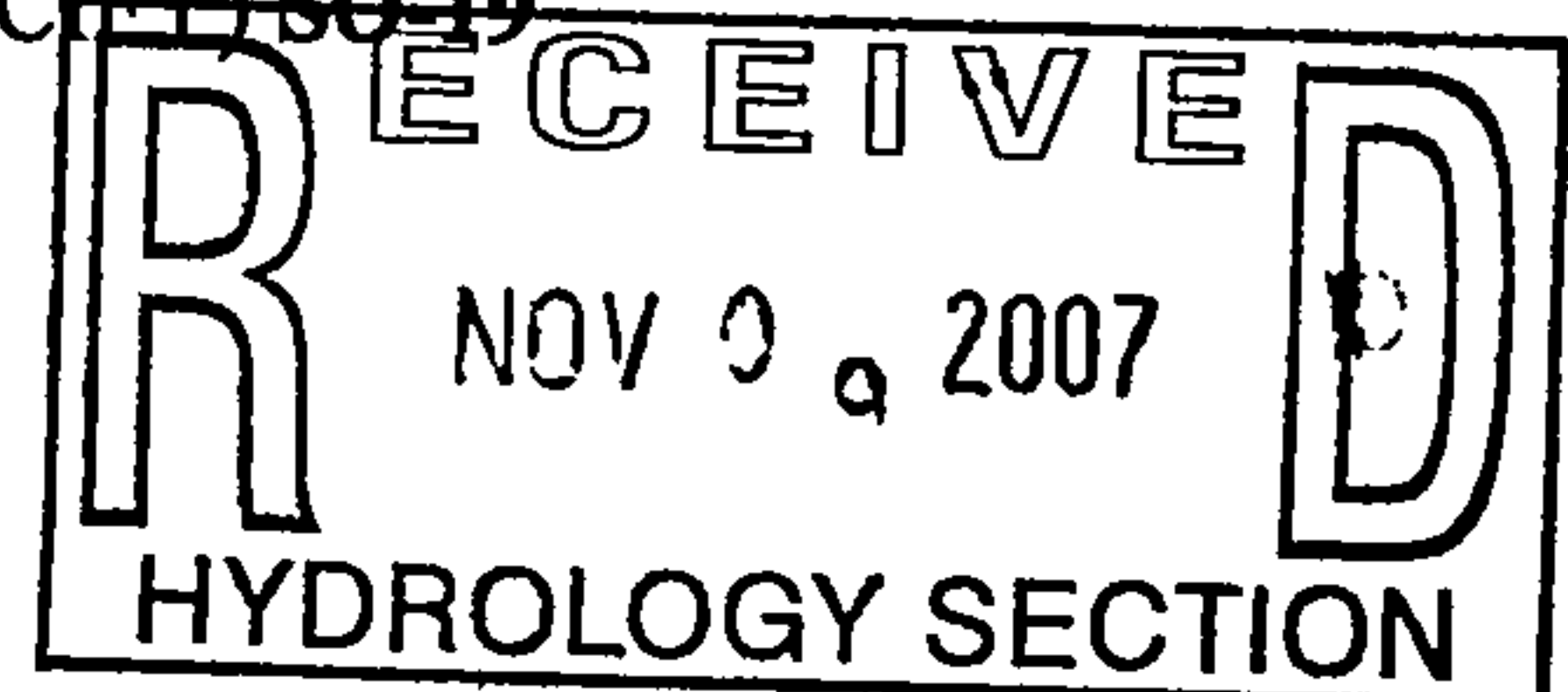
☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☒ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER/ARCHITECT CERT (TCL)
☐ ENGINEER/ARCHITECT CERT (DRB S.P.)
☐ ENGINEER/ARCHITECT CERT (AA)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

☐ SIA/FINANCIAL GUARANTEE RELEASE
☒ PRELIMINARY PLAT APPROVAL
☒ S. DEV. PLAN FOR SUB'D APPROVAL
☒ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☒ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) SO-19

WAS A PRE-DESIGN CONFERENCE ATTENDED:

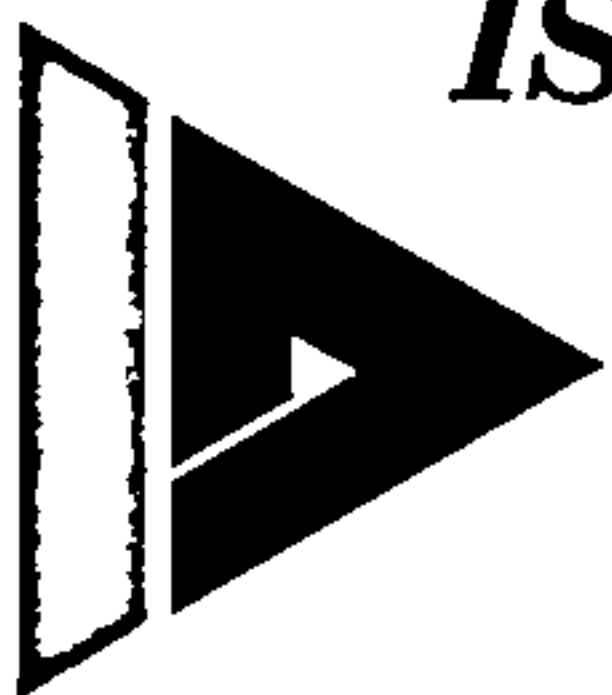
☐ YES
☐ NO
☐ COPY PROVIDED



SUBMITTED BY: Fred C. Arfman, PE DATE: November 2, 2007
for Isaacson & Arfman, P.A.

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



ISAACSON & ARFMAN, P.A.

Consulting Engineering Associates

*Thomas O. Isaacson, PE & LS • Fred C. Arfman, PE
Scott M. McGee, PE*

October 31, 2007

Mr. Jeremy Hoover, P.E., C.F.M.
Senior Engineer
Hydrology Section
City of Albuquerque
Development and Building Services

RE: COUNTRY CLUB PLAZA (J13 / D11)


Dear Mr. Hoover,

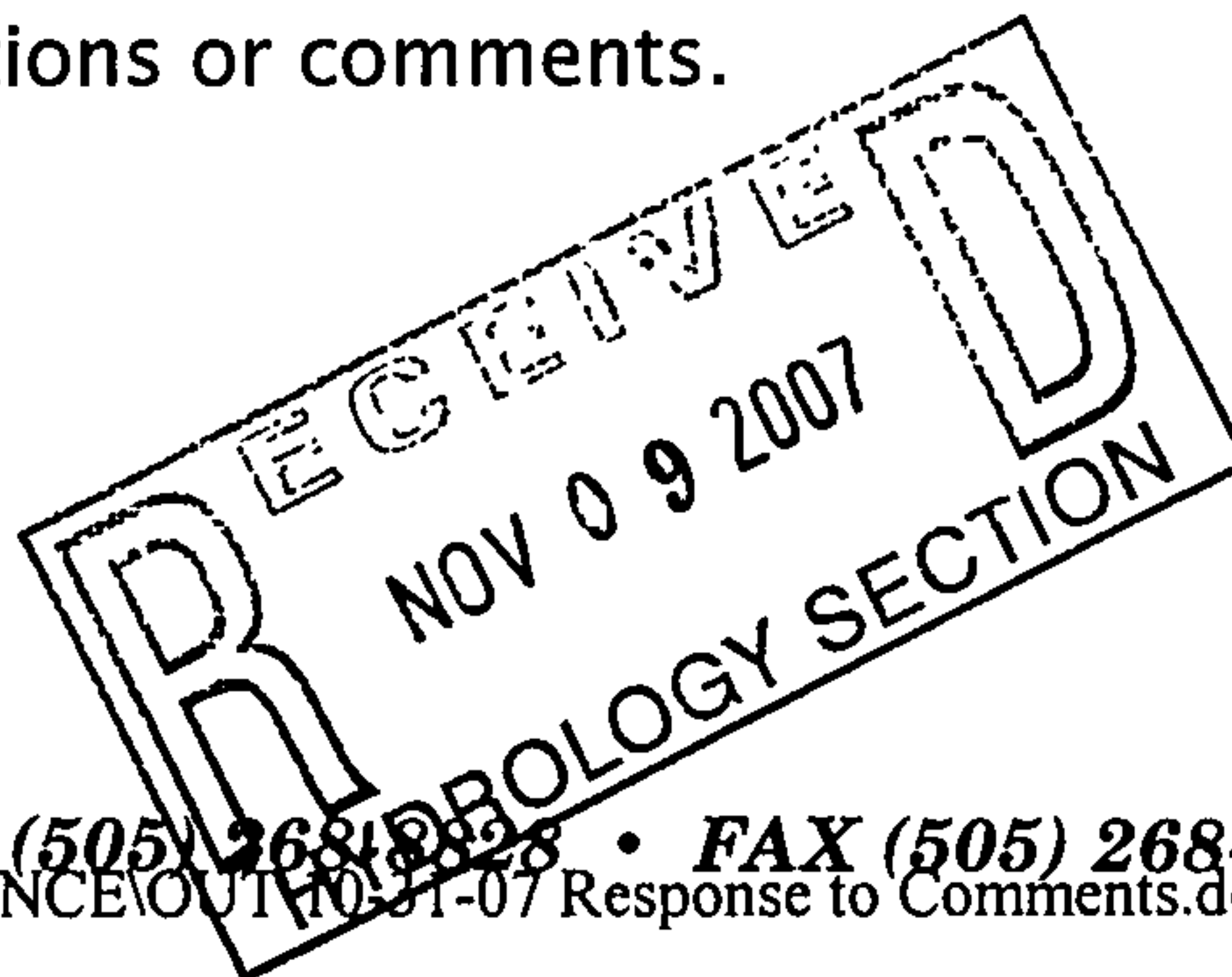
Enclosed with this letter are two copies of the revised Grading and Drainage Plan for the above referenced project. Revisions address minor site plan changes and your review comments dated October 3, 2007 as follows:

- Legal Description corrected.
- Regarding the existing Laguna storm drain. There is no record information available for this system. COA Maps and Records has documentation which references 14" RCP but has no design or as-built information. Notes have been added to Sheet C002 for "Contractor to field locate and determine invert of existing storm drain this area. Construct 4' dia. manhole per C.O.A. Std. Dwg. 2101. Extend proposed 2" force main and country club plaza storm drain (min. slope = 0.0067'/'') to new manhole. Notify engineer if positive drainage cannot be achieved."
- Keyed notes clarified.
- This area will be constructed in the future. Grades are shown for rough grading purposes which will be done as part of this phase. Notes and graphic representation have been revised to clarify.
- Elevation of the bottom of the storm water storage tank added to sheets C001 and C002.
- Roll curb and gutter will be used throughout the project. This will transition to 8" standard curb and gutter in the area of the proposed 'C' inlets. Notes revised to clarify.
- Storm drain system for the drive entrance from Laguna has been clarified.
- Proposed sump pump will be provided by TP Pump. Cut sheet / pump curve to follow.

Please don't hesitate to call me with any questions or comments.

Sincerely,


Fred C. Arfman, P.E.
ISAACSON AND ARFMAN



ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

PAID RECEIPT

APPLICANT NAME

AGENT

ISAACSON & ARFMAN

ADDRESS

PROJECT & APP #

PROJECT NAME

Country Club Plaza

\$ 441032/3424000 Conflict Management Fee

\$ 441006/4983000 DRB Actions

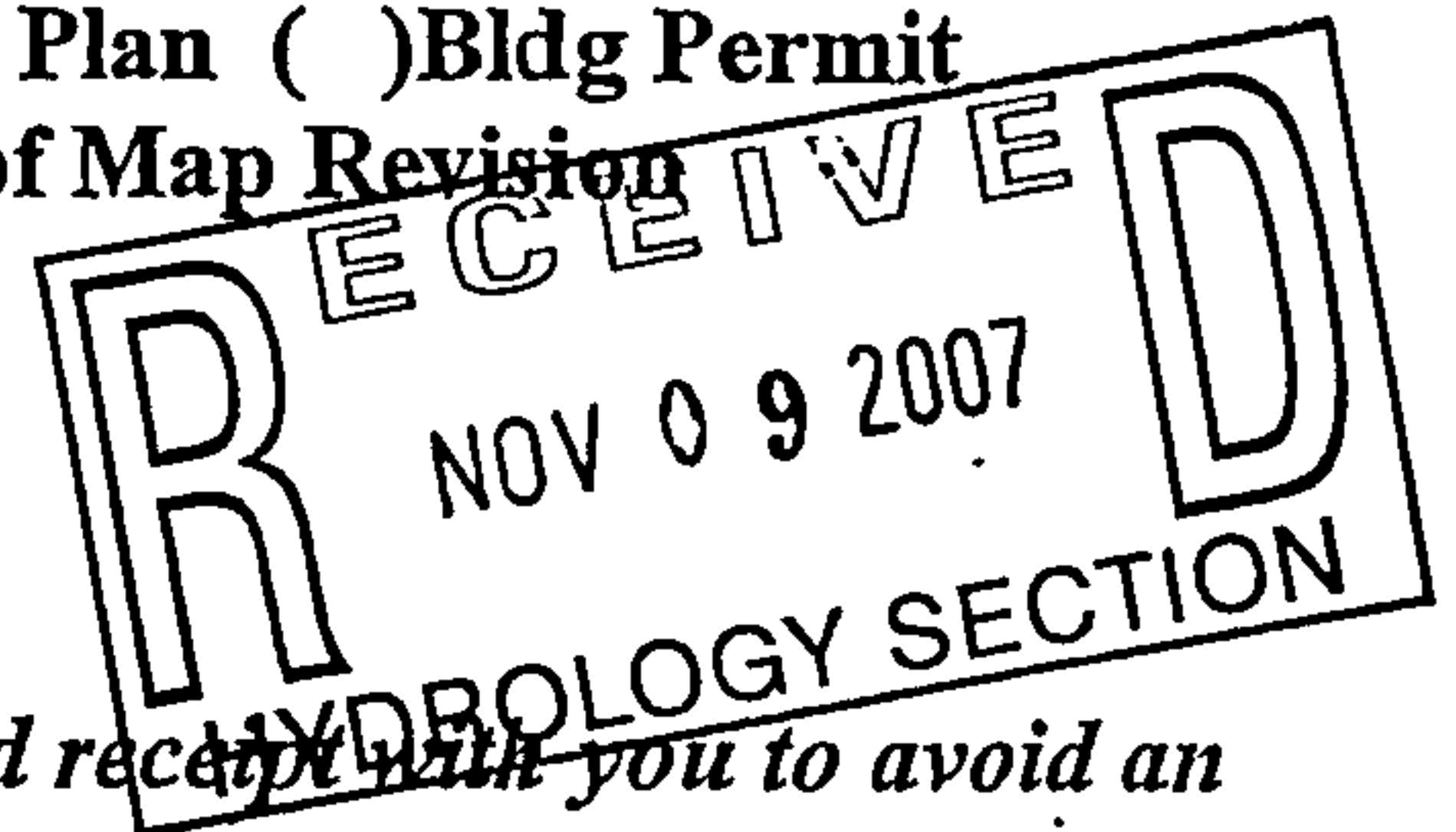
\$ 441006/4971000 EPC/AA/LUCC Actions & All Appeals

\$ 441018/4971000 Public Notification

\$ 100.00 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***

() Major/Minor Subdivision () Site Development Plan () Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study

\$ 100.00 TOTAL AMOUNT DUE



***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

ISAACSON AND ARFMAN P A
128 MONROE ST NE
ALBUQUERQUE, NM 87108-1247
268-8828

16933
95-219/1070 176
1350743997

DATE 2/7/06

PAY TO THE ORDER OF City of Albuquerque
One Hundred + 00/100

DUPLICATE
City of Albuquerque
Treasury Division

WELLS FARGO
Wells Fargo Bank, N.A.
New Mexico
wellsfargo.com

2/7/2006 3:10PM LOC: ANN
RECEIPT# 00052271 WSH 008 TRANS# 0041
Account 441006 Fund 0110
Activity 4983000 TRSCS
Trans Amt \$100.00

FOR SDP for S/D approval
1462 conceptual grid/dwg plan

00016933 1070021921 1350743997

Counterrec

CHANGE

Thank You

SEPTEMBER 26, 2007

SUPPLEMENTAL DRAINAGE INFORMATION

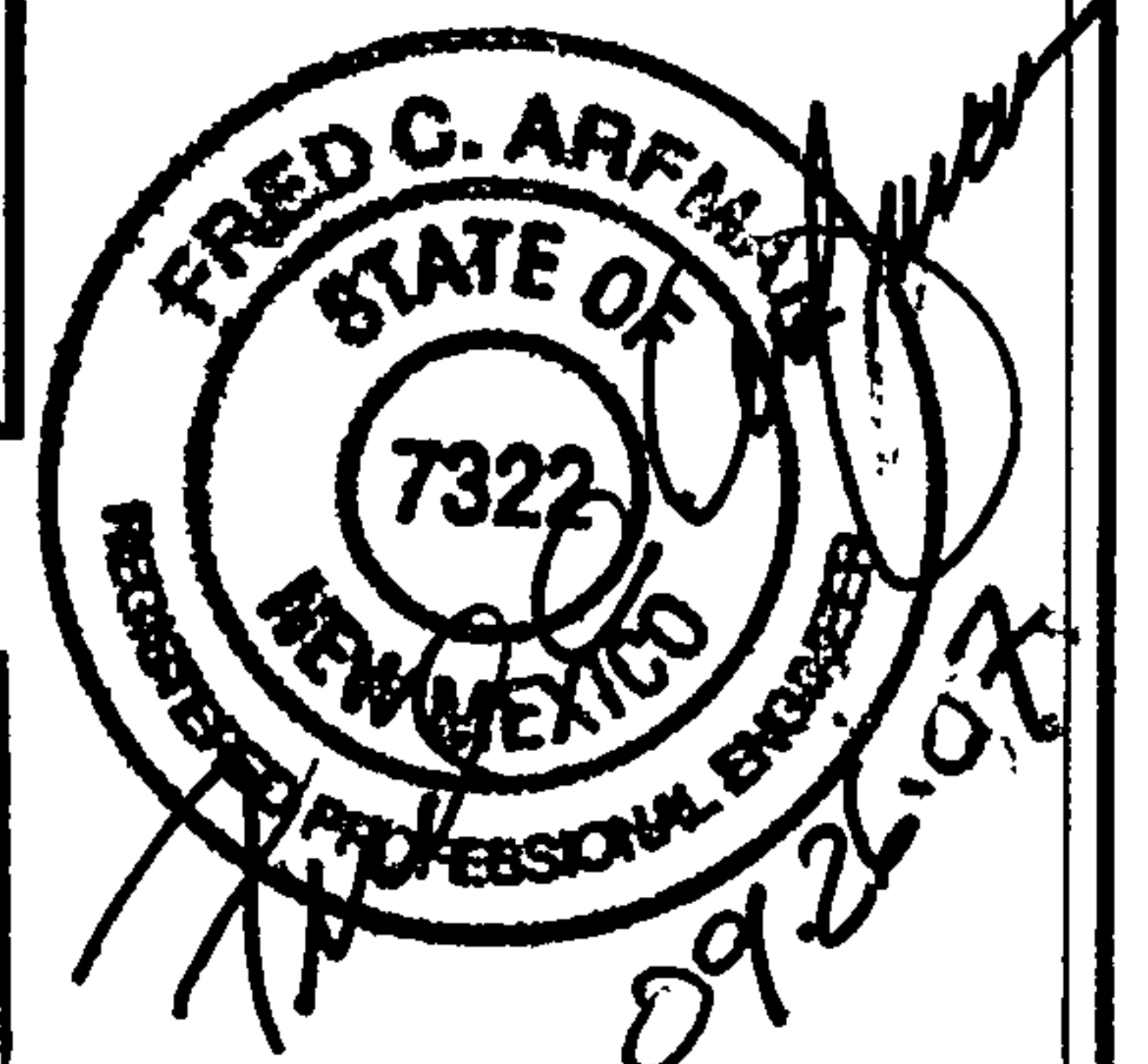
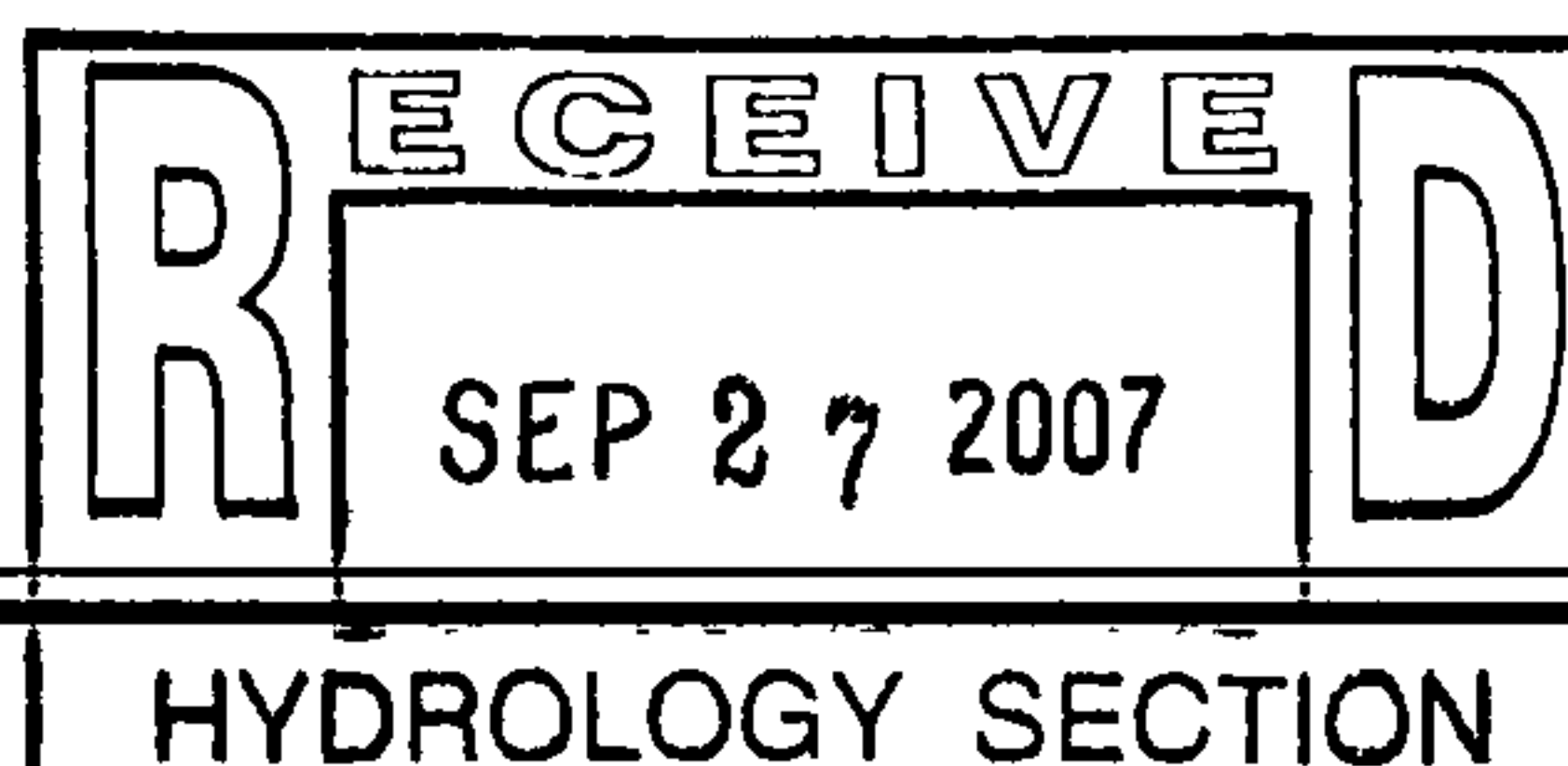
FOR

COUNTRY CLUB PLAZA
UNIT 1

BY



I&A Project No. 1462



**COUNTRY CLUB PLAZA – DRAINAGE REPORT
TABLE OF CONTENTS**

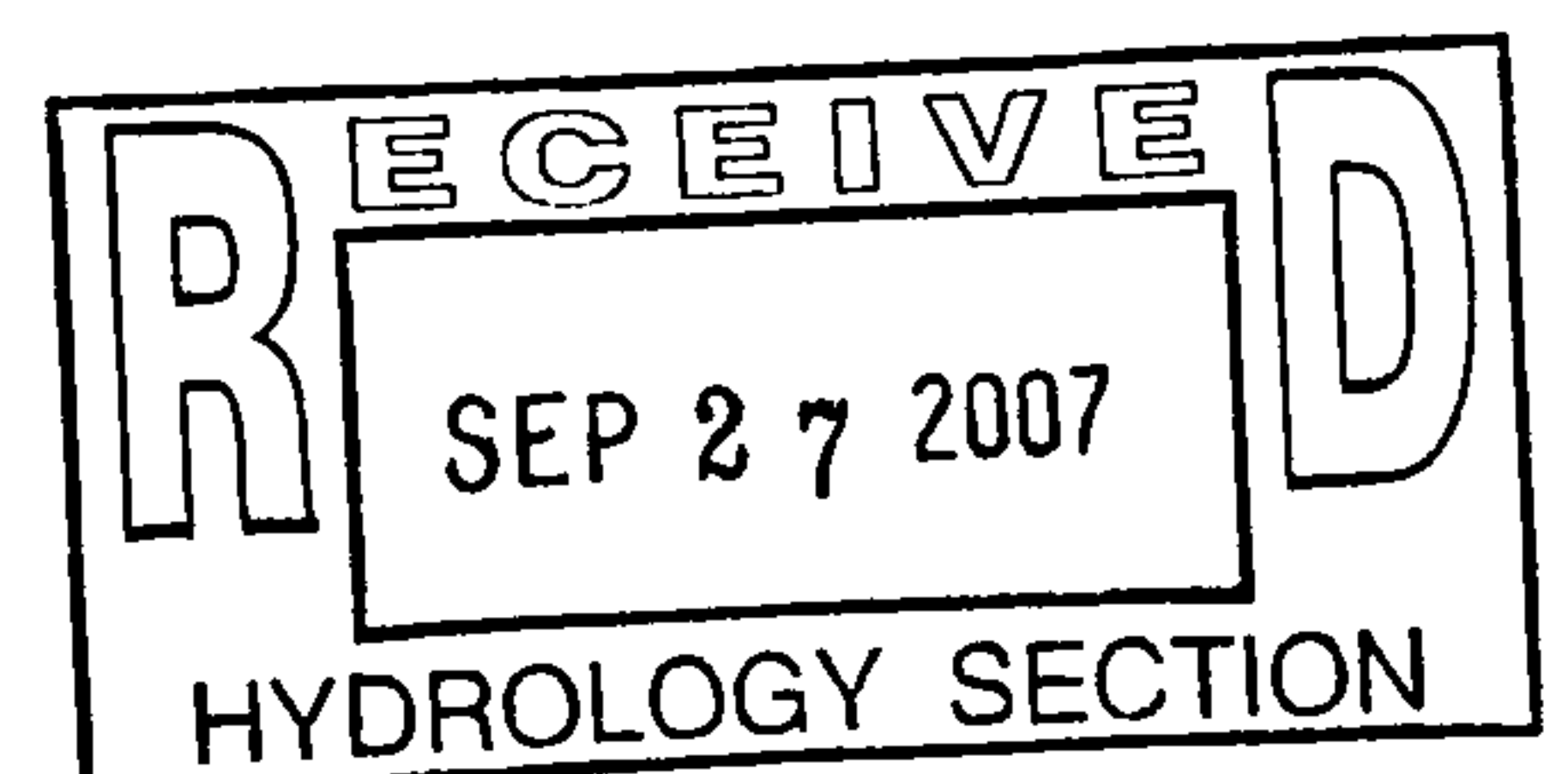
20 September 2007

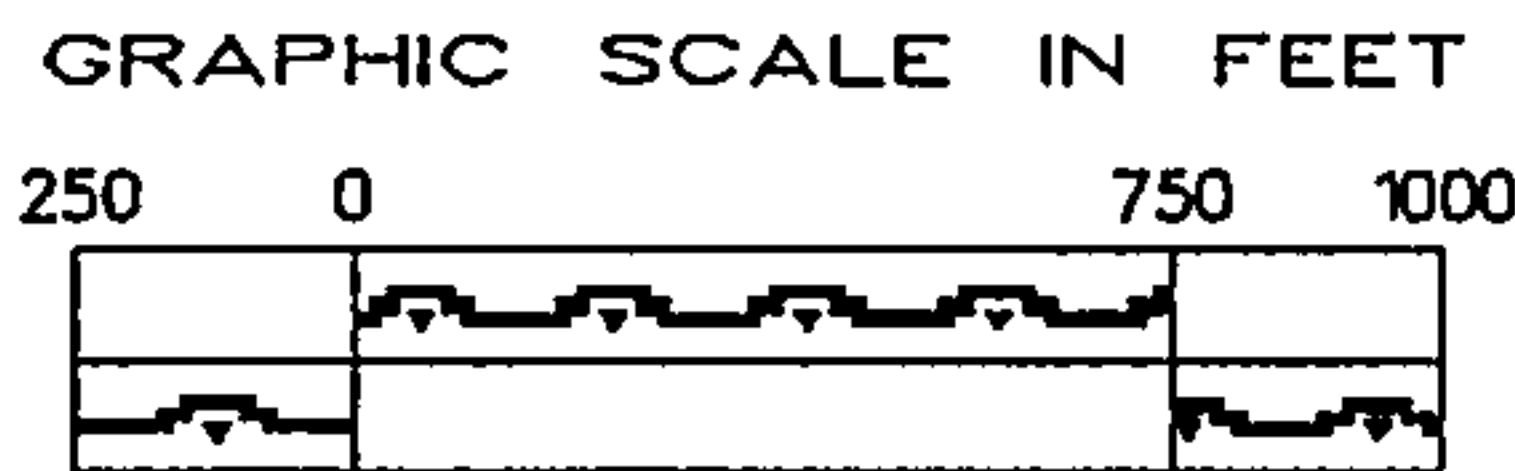
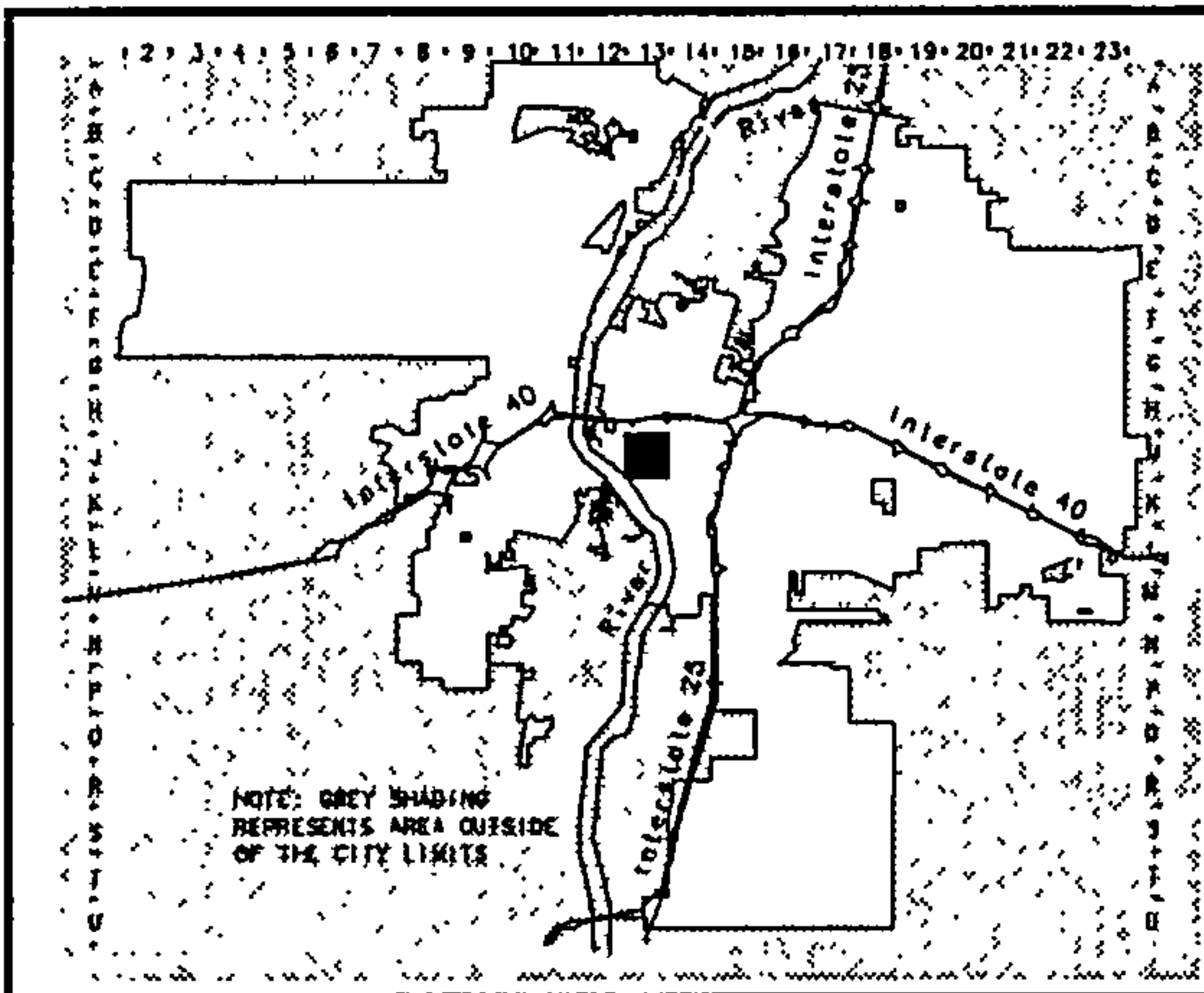
REPORT:

Vicinity Map J-13	1
General Information.....	2
Drainage Summary – Existing Conditions	3
Drainage Summary – Proposed Conditions.....	3
Historic / Developed Discharge – Overall Calculations	4

SUPPORTING EXHIBITS and CALCULATIONS:

Drainage Sub-Basin Map.....	5
Sub-Basin Calculations.....	6
Sub-Basin Summary	7
Stormwater Detention Vault Hydrograph.....	8
Type ‘C’ Inlet Capacity Calculations	9
Albuquerque GIS – 2006 Photo Image.....	10
FIRMette Map.....	11





ALBUQUERQUE Geographic Information System
PLANNING DEPARTMENT

© Copyright 2004

Zone Atlas Page

SEP 27 2007

J-13-Z

HYDROLOGY SECTION Map Amended through February 01, 2005

General Information:

Legal Description:

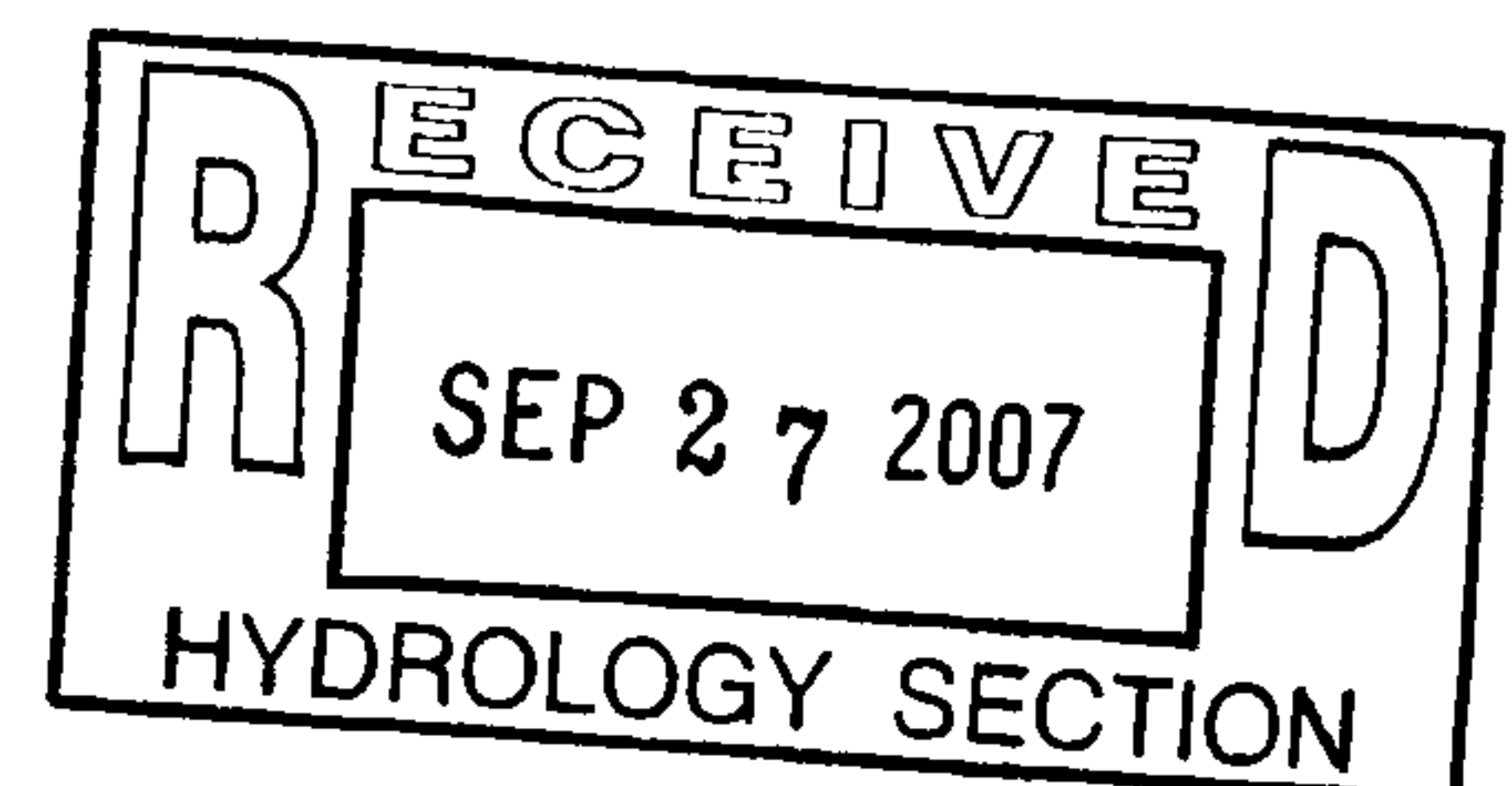
Country Club Plaza, City of Albuquerque, Bernalillo County, NM

Offsite Drainage:

Sub-basin 4 (see attached sub-basin map and calculations), consisting of a portion of M.R.G.C.D. Tract No. 129-A, will continue to discharge 0.6 cfs (100-year, 6-hour storm event) into on-site Basin 3 where it will enter the proposed storm drain system.

Flood Hazard:

Per Bernalillo County FIRM Map #333, the site is located within Floodzone 'X' designated as areas 500-year flood, areas of 100-year flood with average depths of less than 1 foot or with drainage areas less than 1 square mile and areas protected by levees from 100-year flood..



Existing Conditions:

The site historically consists of apartments and associated buildings with dirt parking with approximately 60% land treatment 'C' and 40% land treatment 'D'. Recent demolition of existing apartment complexes and associated parking has temporarily altered the land treatment. Historic drainage patterns indicate that the site, a natural playa, acted as a retention pond for the majority of developed flow.

Proposed Conditions:

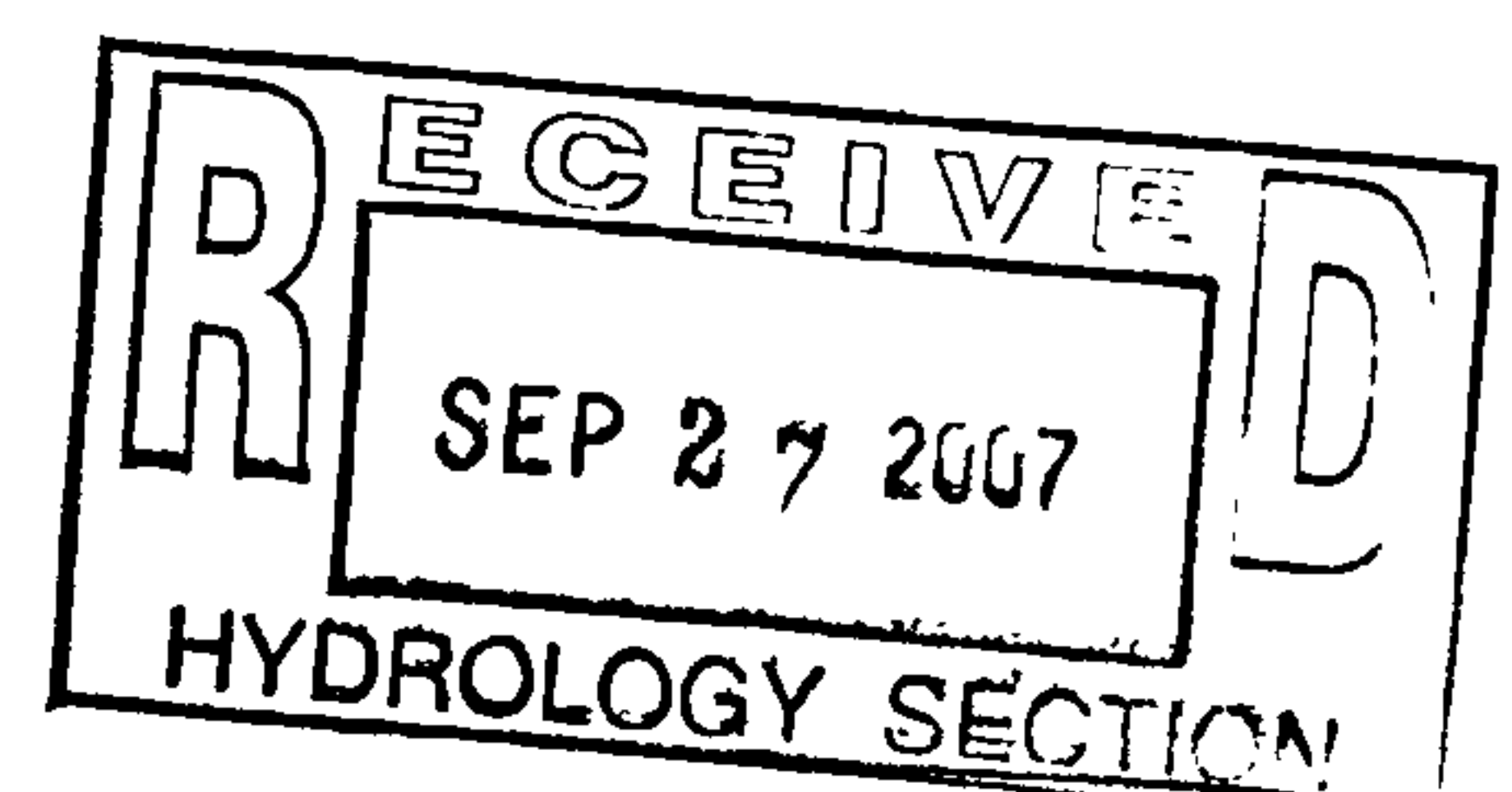
The overall property is divided into four sub-basins (see Sub-Basin Map and associated calculations).

Sub-basin 1 (8.3 acres) consists of a 17 multi-story townhome units with associated pavement, pedestrian walks and landscaping. The majority of the basin (approx. 5.0 cfs) will drain within the private road to the proposed double 'C' inlet located at the south corner of the traffic island. The remaining 3.3 cfs will be directed to individual lot storm drain inlets. All developed discharge will be routed to the proposed underground stormwater detention chamber located in the central landscaped traffic island.

Sub-basin 2 (1.8 cfs) and 3 (2.3 cfs) discharged from the proposed parking lot repaving phases for the portions fronting Central Ave. will be directed to area low points to enter the private storm drain system and pass to the proposed underground stormwater detention vault.

Sub-basin 4 (off-site: 0.6 cfs) will pass to Sub-basin 3 (following historic flowpath) and be directed to area low point to enter the private storm drain system.

The underground stormwater storage chamber shall detain a volume equal to or greater than the 100-year, 6-hour discharge for the fully developed properties (20854 cf – see Hydrograph calculations). This chamber will drain via a duplex pumping station through a 2" force main to Laguna Blvd. at a rate of 0.25 cfs. The total detained volume will discharge within a 24 hour period.



CALCULATIONS: 1462 Country Club Mix-Use Development : Sept. 19, 2007

Based on Drainage Design Criteria for City of Albuquerque Section 22.2, DPM, Vol 2, dated Jan., 1993

ON-SITE

Area draining to underground vault 136490 SF = 3.1 Ac.
 (includes sub-basins 1, 2, 3 and 4)

HISTORIC FLOWS:

On-Site Historic Land Condition

Area a	=	0	SF
Area b	=	0	SF
Area c	=	54596	SF
Area d	=	81894	SF
Total Area	=	136490	SF

DEVELOPED FLOWS:

On-Site Developed Land Condition

Area a	=	0	SF
Area b	=	13649	SF
Area c	=	27298	SF
Area d	=	95543	SF
Total Area	=	136490	SF

EXCESS PRECIP:

Precip. Zone 2

Ea = 0.53
 Eb = 0.78
 Ec = 1.13
 Ed = 2.12

On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)

$$\text{Weighted E} = \frac{EaAa + EbAb + EcAc + EdAd}{Aa + Ab + Ac + Ad}$$

Historic E	=	1.72 in.	Developed E	=	1.79 in.
------------	---	----------	-------------	---	----------

On-Site Volume of Runoff: $V_{360} = E \cdot A / 12$

Historic V_{360}	=	19609 CF	Developed V_{360}	=	20337 CF
--------------------	---	----------	---------------------	---	----------

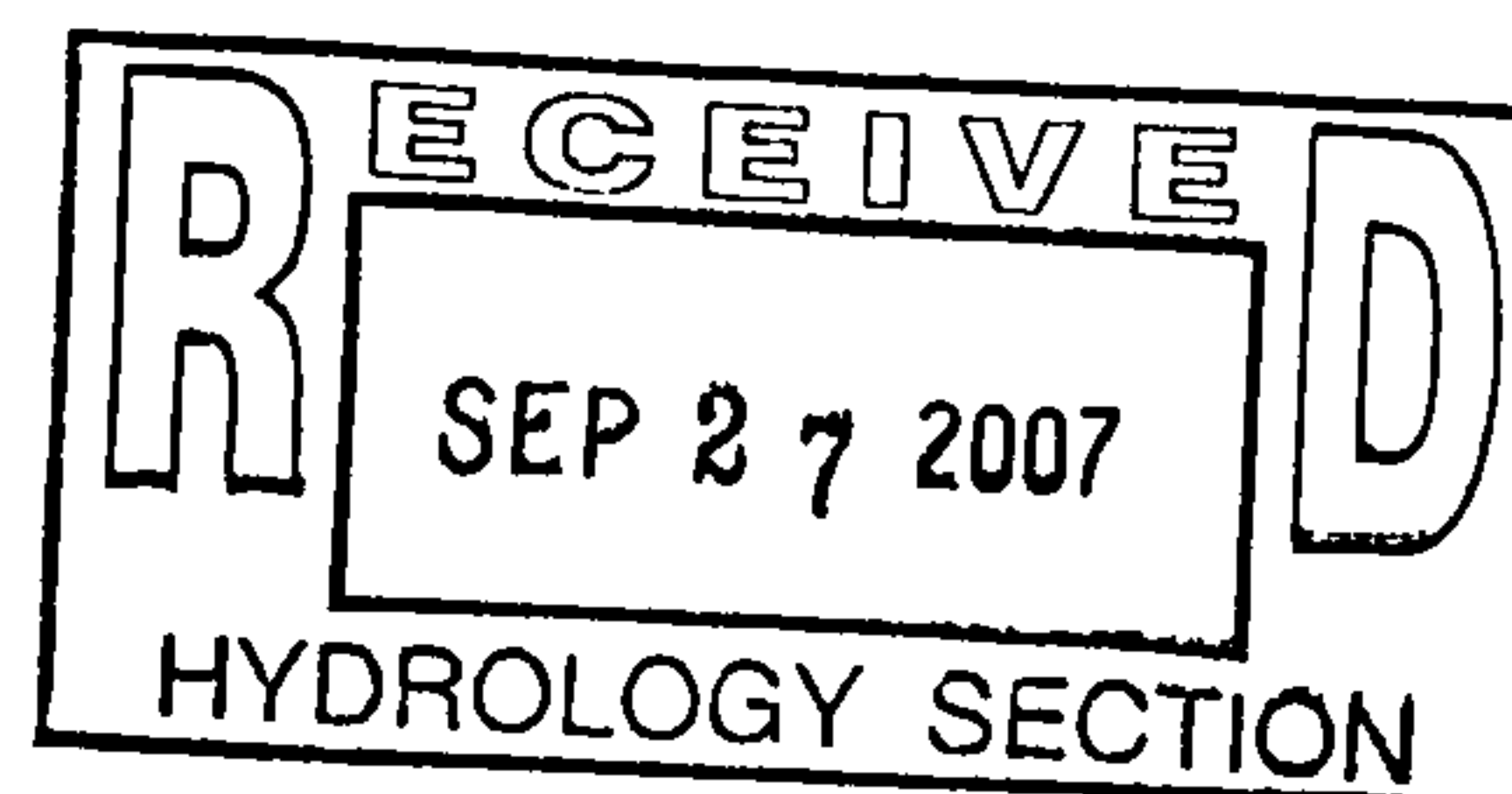
On-Site Peak Discharge Rate: $Q_p = Q_{pa}Aa + Q_{pb}Ab + Q_{pc}Ac + Q_{pd}Ad / 43,560$

For Precipitation Zone 2

$Q_{pa} = 1.56$ $Q_{pb} = 2.28$	$Q_{pc} = 3.14$ $Q_{pd} = 4.70$
------------------------------------	------------------------------------

Historic Q_p	=	12.8 CFS	Developed Q_p	=	13.0 CFS
----------------	---	----------	-----------------	---	----------

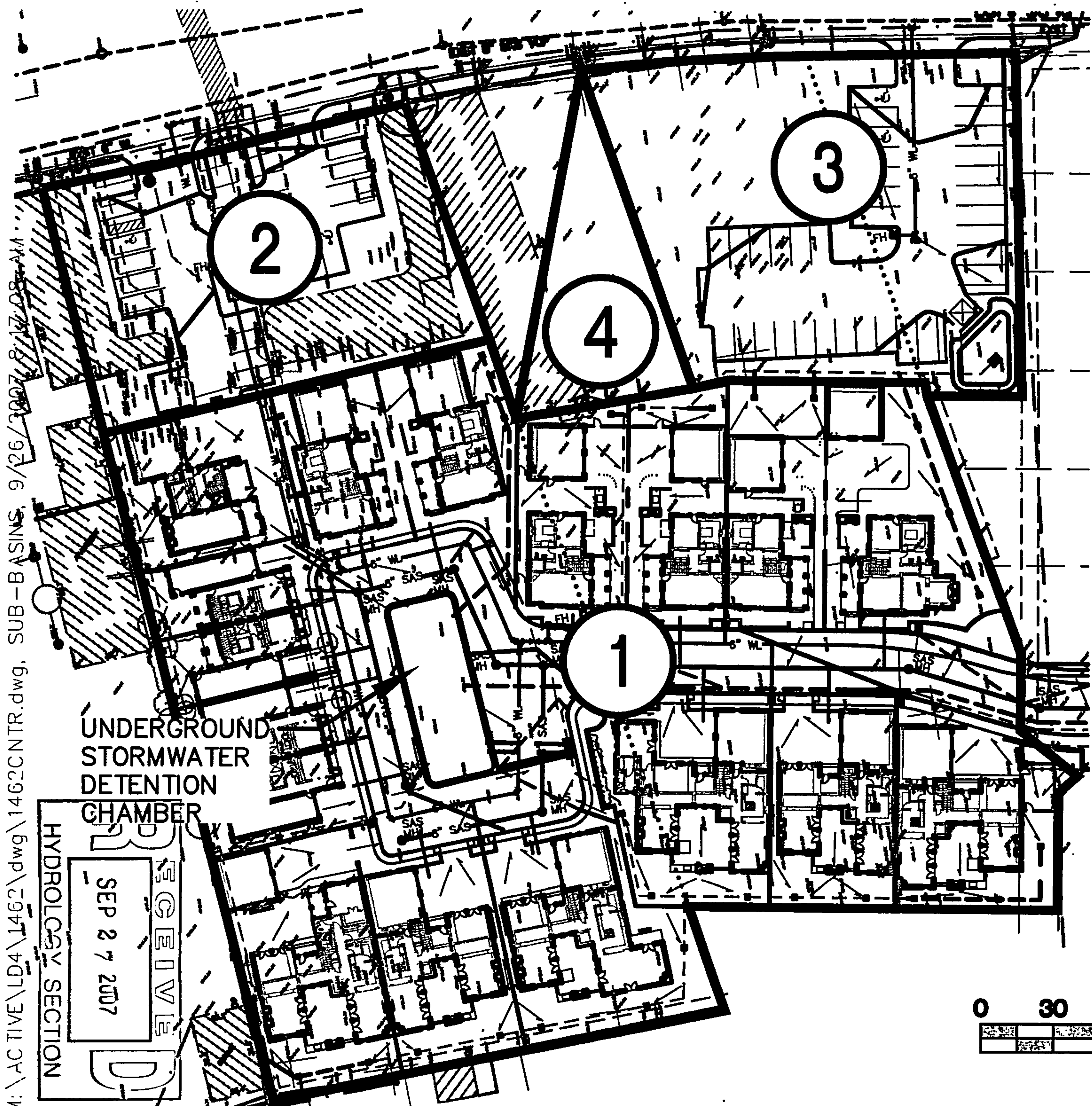
The overall site consists of 3.13337924701561 acre(s) located in Zone 2 which is designated as properties between the Rio Grande River and San Mateo Blvd.. The 100-year, 6-hour historic discharge is 12.8 cfs. The proposed developed discharge is 13 cfs.



I:\ACTIVE\LD4\1462\dwg\1462CNTR.dwg, SUB-BASINS, 9/26/2007, 8:17:08 AM

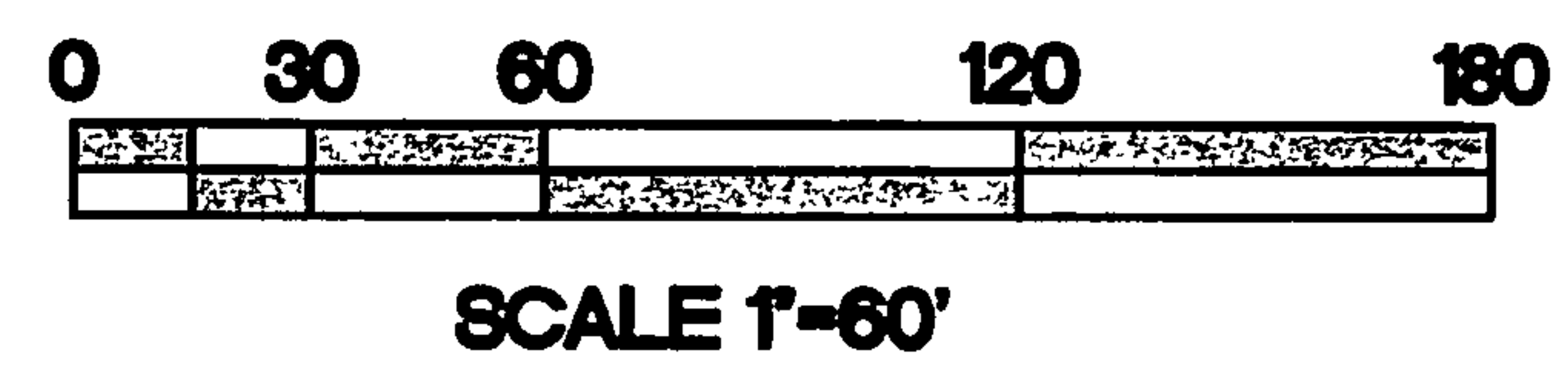
SUB-BASIN EXHIBIT

SUB-BASIN	AREA
1	91580 SF
2	17147 SF
3	22423 SF
4	5340 SF



UNDERGROUND
STORMWATER
DETENTION
CHAMBER

HYDROLOGY SECTION
SEP 27 2007
RECEIVED



BASIN NO.	1	DESCRIPTION
-----------	---	-------------

Area of basin flows = 91580 SF = 2.1 Ac.

The following calculations are based on Treatment areas as shown in table to the right

Sub-basin Weighted Excess Precipitation (see formula above)

Weighted E = 1.74 in.

Sub-basin Volume of Runoff (see formula above)

V360 = 13294 CF

Sub-basin Peak Discharge Rate: (see formula above)

Qp = 8.3 cfs

TREATMENT

A = 0%

B = 5%

C = 10%

D = 75%

BASIN NO.	2	DESCRIPTION
-----------	---	-------------

Area of basin flows = 17147 SF = 0.4 Ac.

The following calculations are based on Treatment areas as shown in table to the right

Sub-basin Weighted Excess Precipitation (see formula above)

Weighted E = 2.02 in.

Sub-basin Volume of Runoff (see formula above)

V360 = 2888 CF

Sub-basin Peak Discharge Rate: (see formula above)

Qp = 1.8 cfs

TREATMENT

A = 0%

B = 0%

C = 10%

D = 90%

BASIN NO.	3	DESCRIPTION
-----------	---	-------------

Area of basin flows = 22423 SF = 0.5 Ac.

The following calculations are based on Treatment areas as shown in table to the right

Sub-basin Weighted Excess Precipitation (see formula above)

Weighted E = 2.02 in.

Sub-basin Volume of Runoff (see formula above)

V360 = 3776 CF

Sub-basin Peak Discharge Rate: (see formula above)

Qp = 2.3 cfs

TREATMENT

A = 0%

B = 0%

C = 10%

D = 90%

BASIN NO.	4	DESCRIPTION
-----------	---	-------------

Area of basin flows = 5340 SF = 0.1 Ac.

The following calculations are based on Treatment areas as shown in table to the right

Sub-basin Weighted Excess Precipitation (see formula above)

Weighted E = 2.02 in.

Sub-basin Volume of Runoff (see formula above)

V360 = 899 CF

Sub-basin Peak Discharge Rate: (see formula above)

Qp = 0.6 cfs

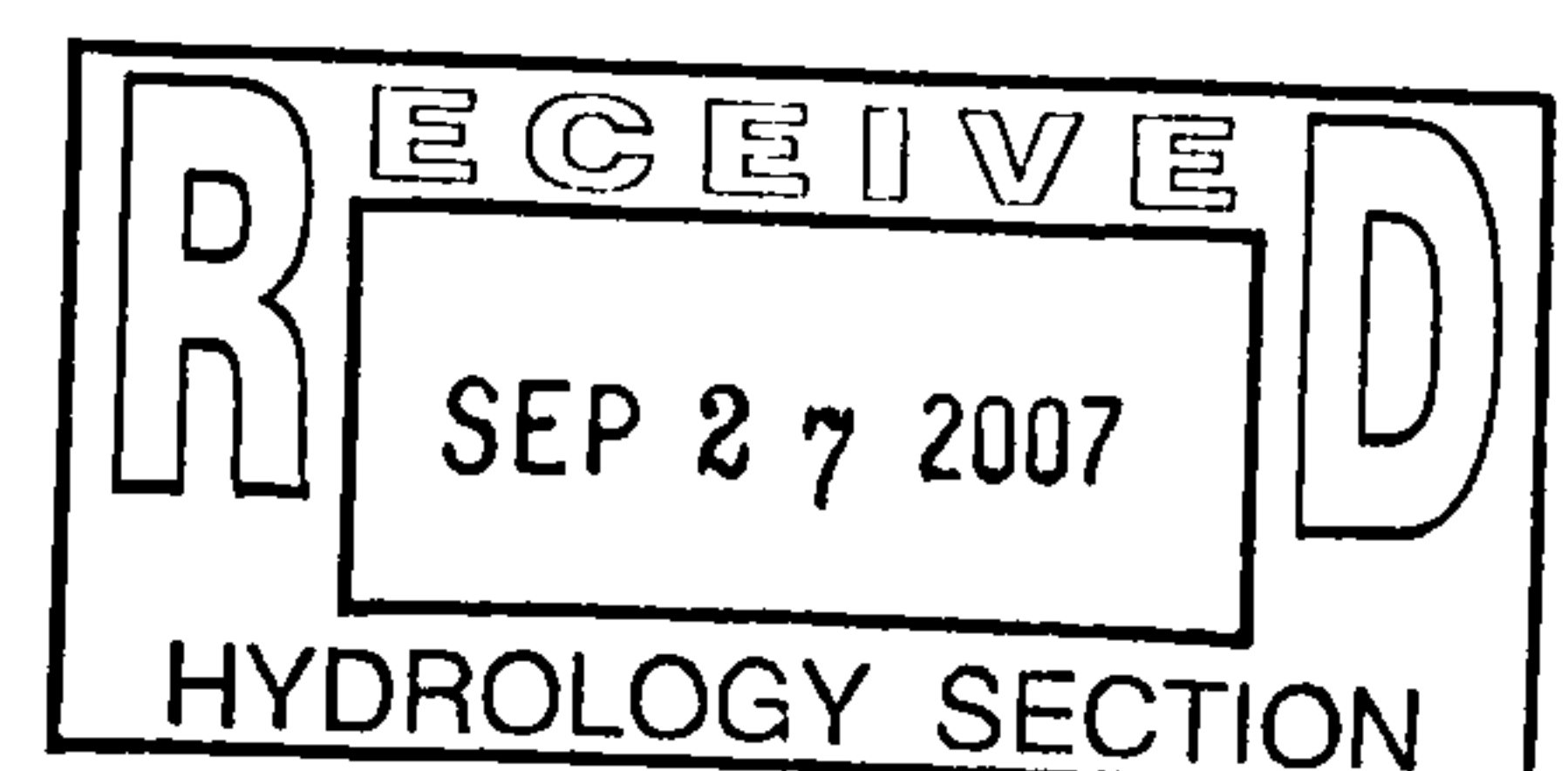
TREATMENT

A = 0%

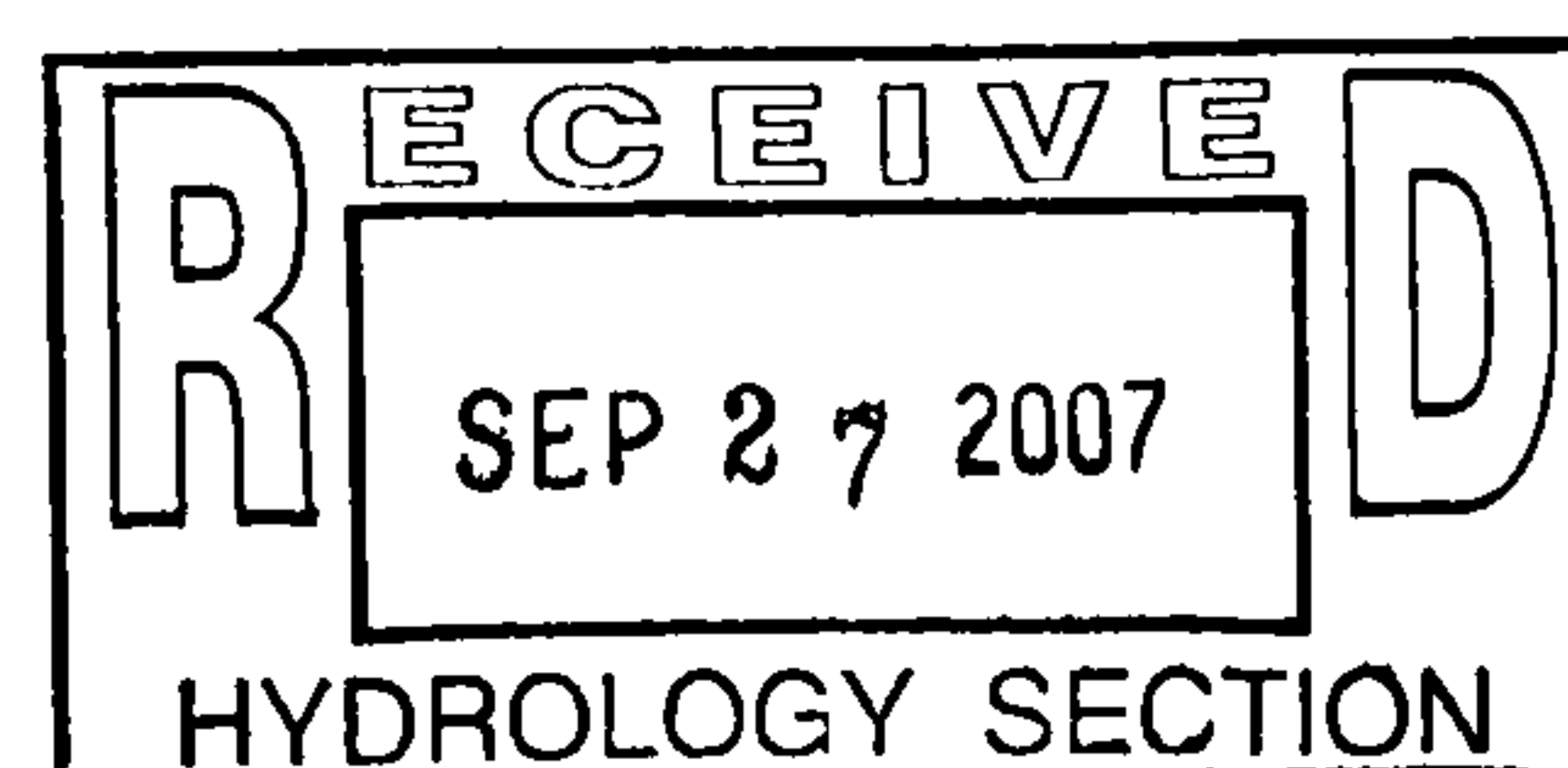
B = 0%

C = 10%

D = 90%



SUMMARY					
Basin No.	Description		DISCHARGE		Comments
1		=	8.3	cfs	
2		=	1.8	cfs	
3		=	2.3	cfs	
4		=	0.6	cfs	
TOTAL DISCHARGE		=	13.0	CFS	



Hydrograph

CALCULATIONS: 1462 Country Club Mix-Use Development : ='DPM Calculations'!C6

HYDROGRAPH FOR SMALL WATERSHED

DPM SECTION 22-2 * PAGE A-13/14

Base time, t_B , for a small watershed hydrograph is,

$$t_B = (2.107 * E * AT / QP) - (0.25 * AD / AT)$$

Where

E	=	1.79 inches
AT	=	3.13 acres
AD	=	2.19 acres
QP	=	13.0 cfs

$$t_B = 0.73 \text{ hours}$$

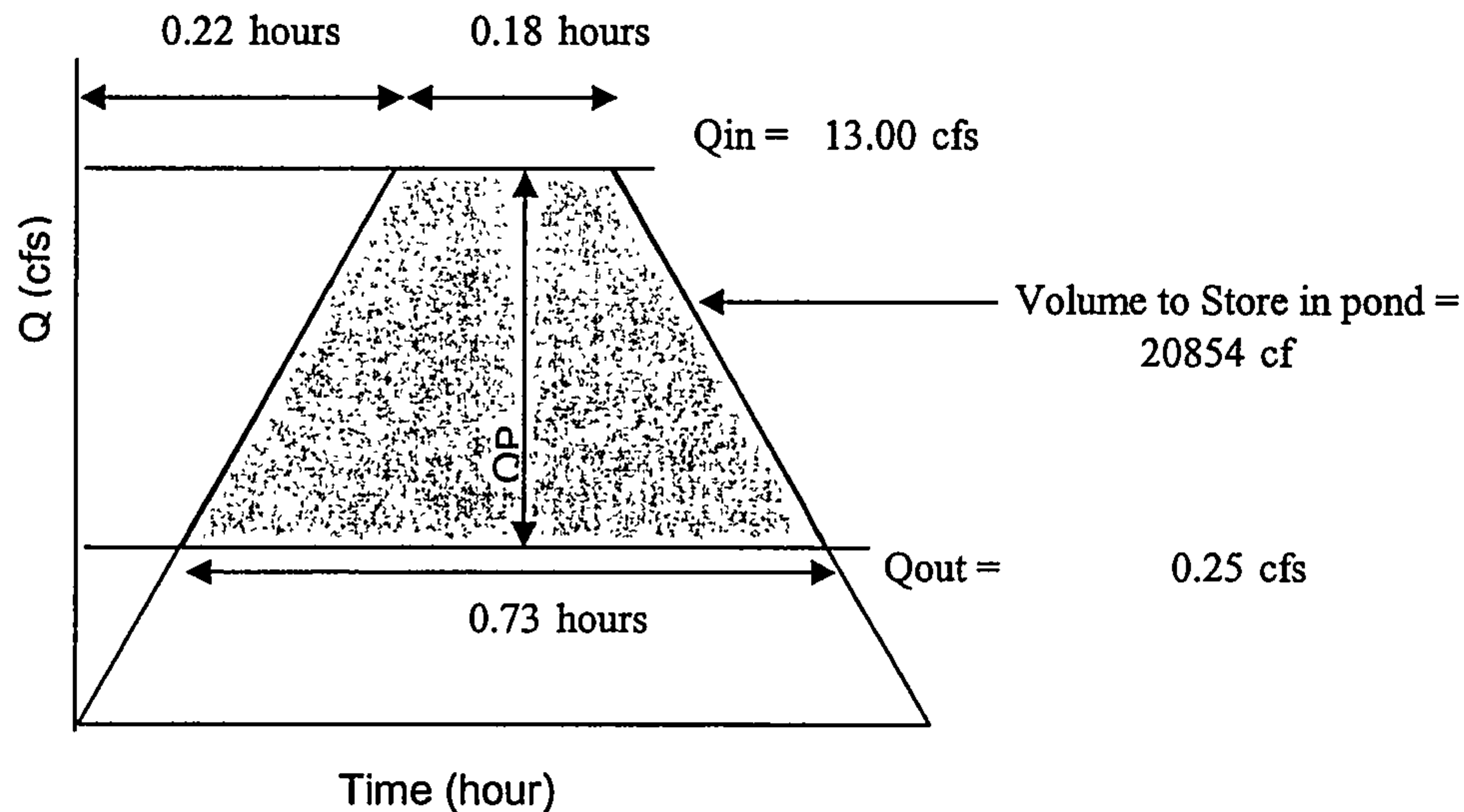
E is the excess precipitation in inches (from DPM TABLE A-8), QP is the peak flow, AD is the area (acres) of treatment D, and AT is the total area in acres. Using the time of concentration, t_C (hours), the time to peak in hours is:

$$t_P = (0.7 * t_C) + ((1.6 - (AD / AT)) / 12)$$

Where $t_C = 0.20$ hours

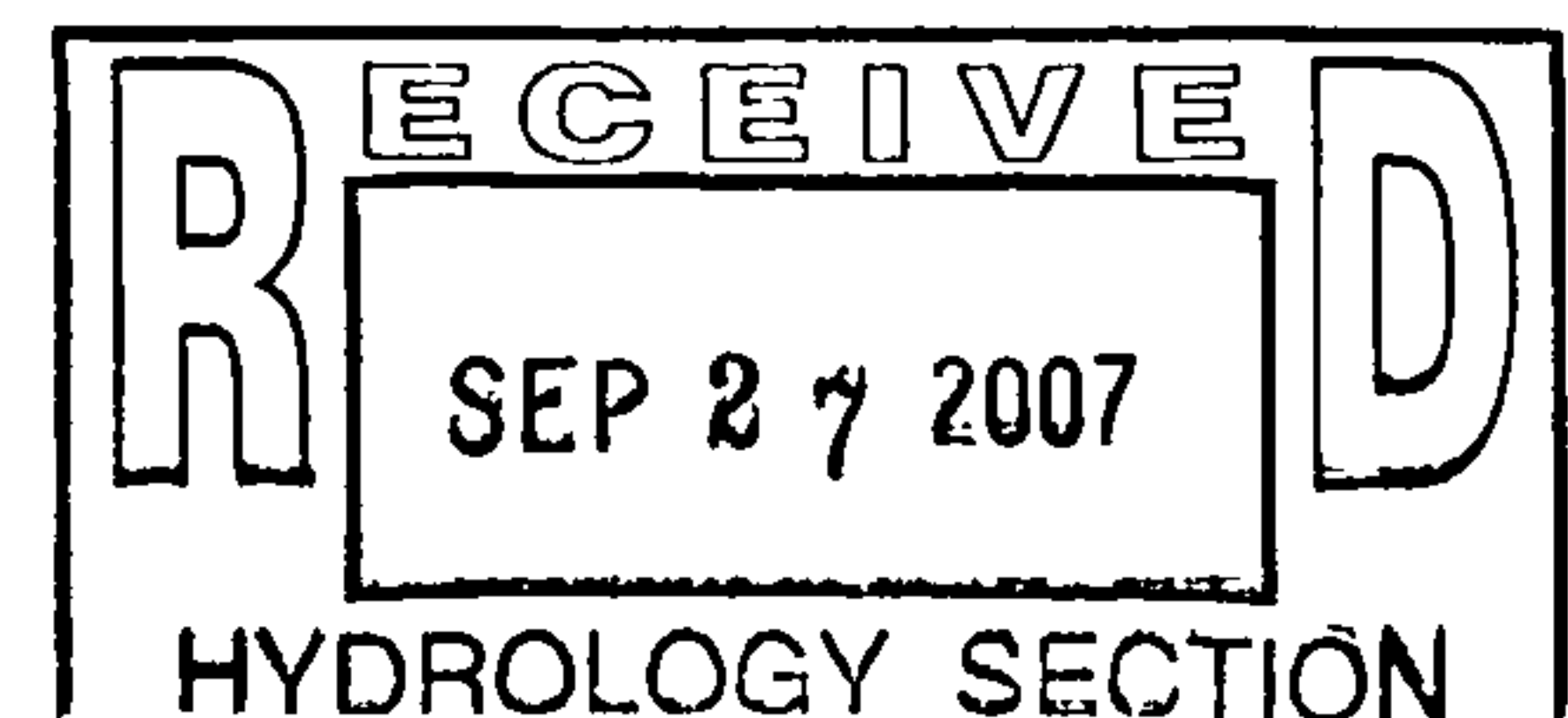
$$t_P = 0.22 \text{ hours}$$

Continue the peak for $0.25 * AD / AT$ hours. When AD is zero, the hydrograph will be triangular. When AD is not zero, the hydrograph will be trapezoidal. see the graph below:



INFLOW / OUTFLOW HYDROGRAPH

at a rate of 0.25 cfs, the pond will empty within 23.17 hours



ANALYZE SUMP INLETS

GRATE OPEN AREA:

(per COA std dwg #2220, single grate)

$$\begin{aligned}\text{GROSS AREA FOR ONE GRATE} &= (25 \text{ in}/12)(40 \text{ in}/12) = & 6.94 \text{ SF} \\ \text{LESS BEARING BARS} &= (0.5 \text{ in}/12)(3.33 \text{ ft})(13) = & 1.80 \text{ SF} \\ \text{LESS CROSS BARS} &= (0.5 \text{ in}/12)(7)[(25 \text{ in}/12)-(13)(0.5 \text{ in}/12)] = & 0.45 \text{ SF}\end{aligned}$$

$$\text{NET GRATE OPEN AREA} = 4.69 \text{ SF}$$

$$\text{GRATE OPEN AREA (assuming 50\% clogging factor)} = 2.35 \text{ SF}$$

ORIFICE EQUATION:

$$Q = CA(2gh)^{1/2}$$

Where:

$$C = 0.67$$

$$A = 2.35 \text{ ft}^2$$

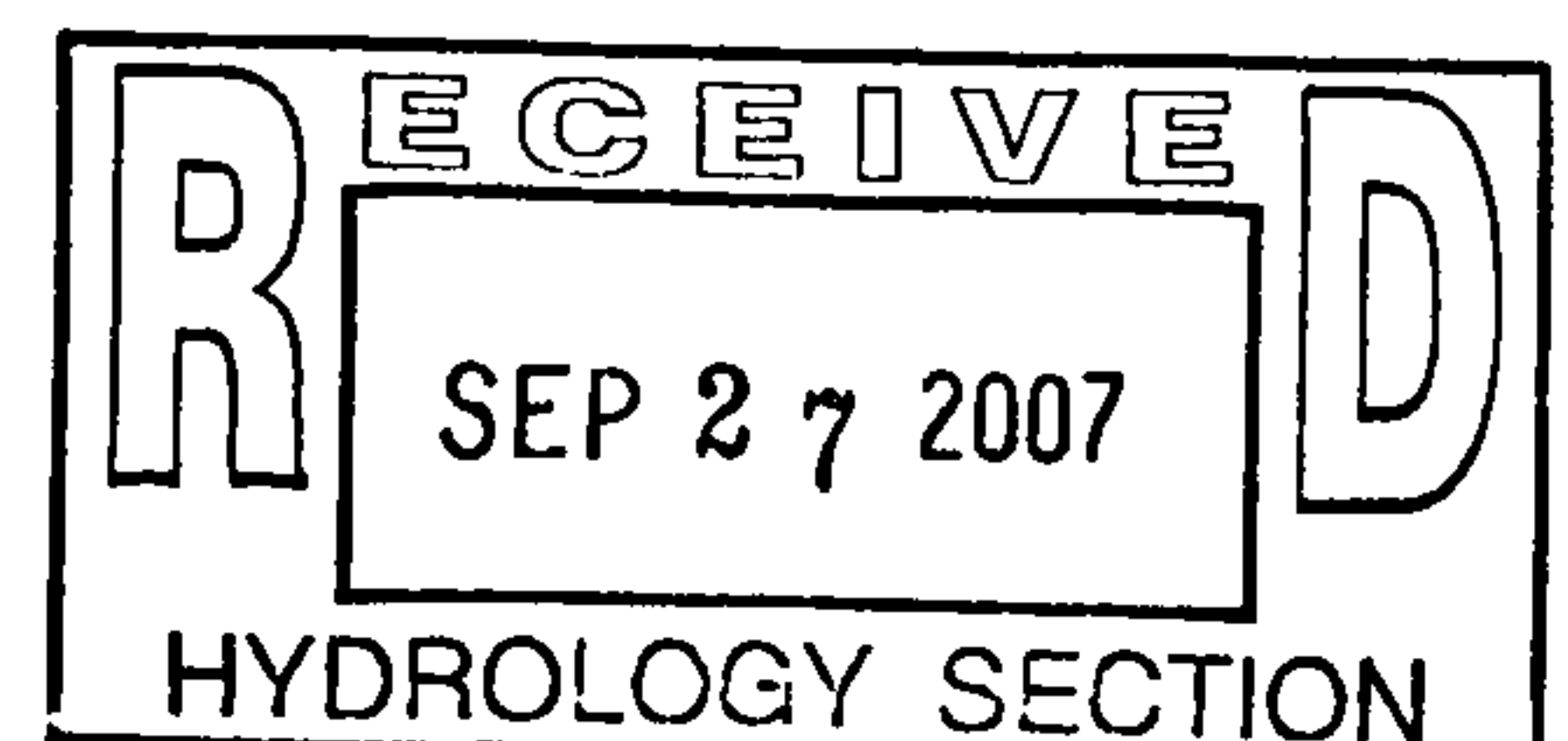
$$g = 32.2 \text{ ft/sec}^2$$

h = height of the water surface above the grate

CAPACITY CALCULATIONS:

INLET #	
LOCATION:	
$h = $ <input type="text" value="0.67"/> ft	
$Q_{(\text{capacity})} = 10.32273 \text{ cfs}$	REQUIRED $Q = $ <input type="text" value="5"/> cfs
NUMBER OF GRATES REQUIRED =	<u>1</u>

2 PROVIDED





A vertical scale bar with markings at 500 and 1000 feet, and 0, 450, and 900 meters.

FIRM
FLOOD INSURANCE RATE MAP
BERNALILLO COUNTY,
NEW MEXICO
AND INCORPORATED AREAS
PANEL 333 OF 825

(SEE MAP INDEX FOR FIRM PANEL LAYOUT)

CONTAINS:	COMMUNITY	NUMBER	PANEL	SUFFIX
	ALBUQUERQUE, CITY OF	360002	0333	E
	BERNALILLO COUNTY	360001	0333	E

Notice to User: The Map Number shown below should be used when placing map orders; the Community Number shown above should be used on insurance applications for the subject community.



MAP NUMBER
35001C0333E
MAP REVISED
NUMBER 19, 2003

Federal Emergency Management Agency

This is an official copy of a portion of the above referenced flood map. It was extracted using F-MIT On-Line. This map does not reflect changes or amendments which may have been made subsequent to the date on the title block. For the latest product information about National Flood Insurance Program flood maps check the FEMA Flood Map Store at www.msc.fema.gov



CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development Review Services



March 24, 2014

Richard J. Berry, Mayor

Ms. Diane Hoelzer, P.E.
Mark Goodwin & Associates, PA
P.O. Box 90606
Albuquerque, New Mexico 87199

RE: **Country Club Plaza - 1720 Central Avenue SW** File: **J13-D010**
Grading and Drainage Plan for Site Plan, Building Permit and Work Order
PE Stamp: **3-18-2014**

Dear Ms. Hoelzer,

Based upon the information provided in your submittal received 3/18/14, the subject Grading and Drainage Plan meets the criteria for Site Plan, Building Permit & Work Order approval.

Since this site exceeds 1.0 acre, an Erosion and Sediment Control (ESC) Plan, prepared by a NM PE and approved by the City's Stormwater Engineer, will be required for this site, prior to Hydrology approval of a Building Permit.

PO Box 1293

Please include a copy of this plan in the Building Permit plan set, prior to seeking Hydrology signoff.

Albuquerque

Hydrology is asking for an electronic copy of this signed plan in .pdf format, for our records. This plan can be e-mailed to me at: GROlson@cabq.gov.

New Mexico 87103 Prior to Certificate of Occupancy release by Hydrology, an Engineer's Certification of the Grading Plan per the DPM checklist will be required.

www.cabq.gov

If you have questions, please email me or telephone 505-924-3994.

Sincerely,

Gregory R. Olson, P.E.
Senior Engineer
Development and Building Services

Orig: Drainage file **J13/D010**
c.pdf Addressee via Email Diane@GoodwinEngineers.com



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Country Club Plaza Building Permit #: _____ City Drainage #: J!# / D010
DRB#: 1004677 EPC#: _____ Work Order#: 752084
Legal Description: Remaining portion Tract B, Hunning Castle Addition, Tract A-1-A, Laguna Subdivisions Tracts A and B, lands of HB Horns and
City Address: Central and Laguna

Engineering Firm: MARK GOODWIN & ASSOCIATES, PA Contact: DIANE HOELZER, PE
Address: PO BOX 90606, ABQ, NM
Phone#: 828-2200 Fax#: _____ E-mail: DIANE@GOODWINENGINEERS.COM

Owner: COUNTRY CLUB PARTNERS, LLC Contact: JAY REMBE
Address: 117 B-RICHOMD NE, ABQ, NM 87106
Phone#: 453-7164 Fax#: _____ E-mail: REMBE@INFILLSOLUTIONS.COM

Architect: MULLEN HELLER ARCHITECTURE, PC Contact: MIKE SALVADOR
Address: 924 PARK AVE, STE B, ABQ, NM 87102
Phone#: 268-4144 Fax#: _____ E-mail: MIKE@MULLENHELLER.COM

Surveyor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

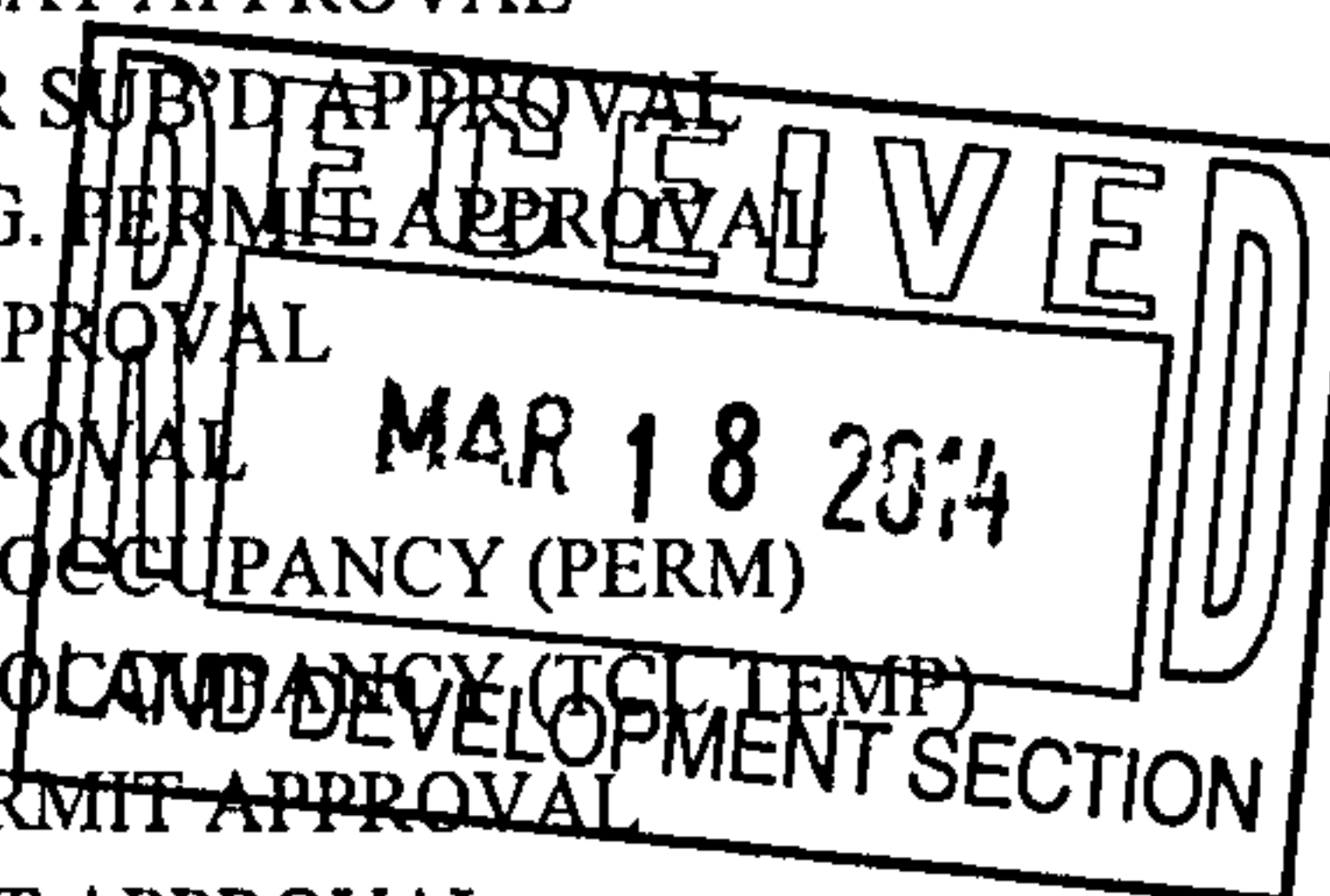
Contractor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☒ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☒ SO-19
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUBD APPROVAL
- ☒ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) _____



WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes _____ No _____ Copy Provided

DATE SUBMITTED: MARCH 18, 2014 By: DIANE HOELZER, PE

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



D. Mark Goodwin & Associates, P.A.
Consulting Engineers

P.O. BOX 90606, ALBUQUERQUE, NM 87199
(505) 828-2200 FAX 797-9539

~ 2012 ACEC/NM Award Winner for Engineering Excellence ~
~ 2008 ACEC/NM Award Winner for Engineering Excellence ~

March 17, 2014

Mr. Gregory Olson, PE
City Hydrology
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

Re: Country Club Plaza Grading and Drainage Plan
Revised Engineers stamp date 3-18-14 (J13/D010)

Dear Mr. Olson:

In response to your comment letter dated March 7, 2014:

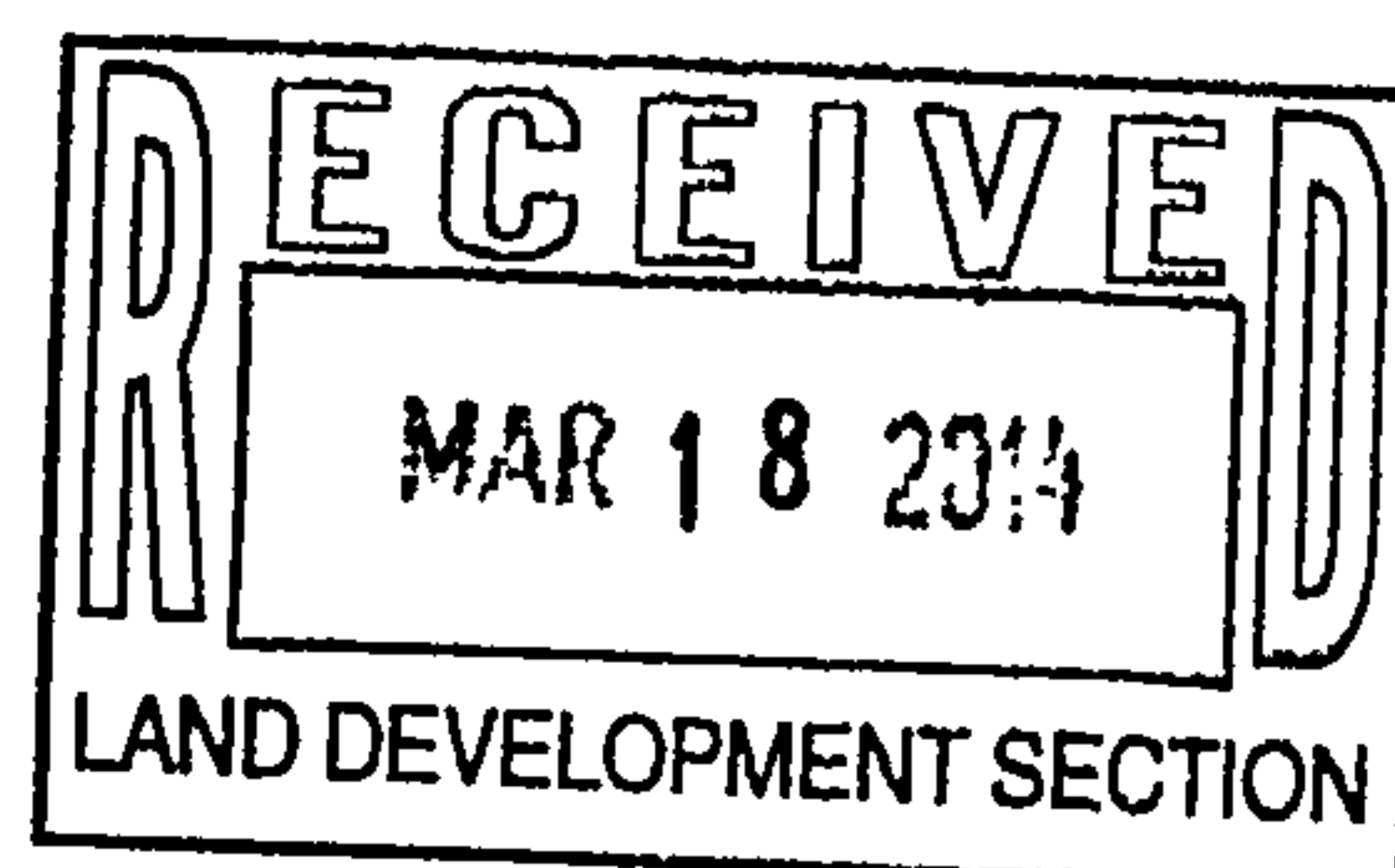
1. The location of the existing roof drains have been labeled on the plan with special notation for draining to Central Avenue.
2. The area between the existing building and new building #2 will drain to Central through a sidewalk culvert. Clarification has been shown on the revised plan.
3. New and 'to be closed' driveways have been labeled on the plan.
4. The area between the two existing buildings will drain to the south to the pond. Clarification has been made on the revised plan.
5. The 6" PVC drainage pipe is no longer needed and has been deleted.
6. Proposed elevations have been adjusted to ensure the sidewalk drainage flows to Central Avenue.
7. The lot adjacent to Laguna Blvd. is not part of this project and will not be graded. Existing runoff from this lot flows towards Laguna Blvd. The existing condition will remain unchanged.
8. Allowable discharge from site has been recalculated accordingly.
9. Retention pond design parameters have been added for clarification on the plan.

If you have any further questions, please contact me.

Sincerely,
MARK GOODWIN & ASSOCIATES, PA


Diane Hoelzer, PE
Senior Engineer

DLH/dlh

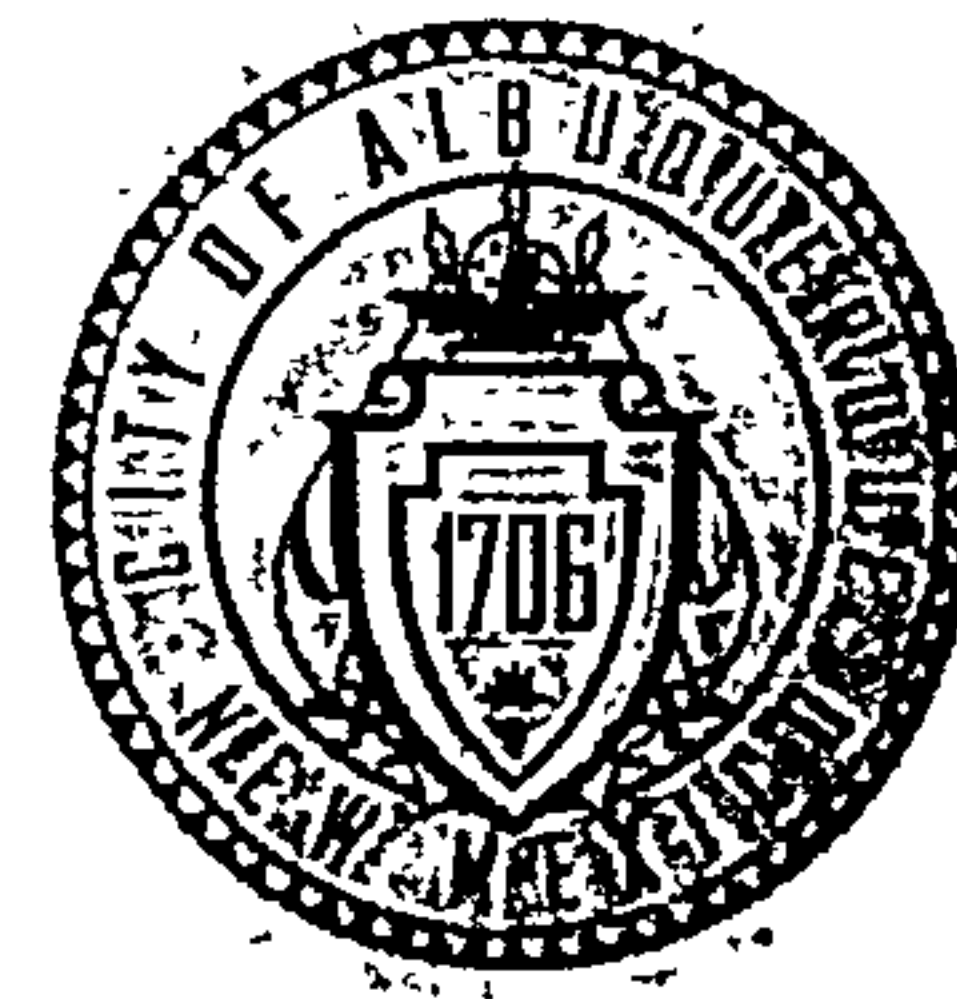


Get a Cleaner
Print of Seal

Send Approval
Letter or Mon 3/24
Guy

CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development Review Services



March 7, 2014

Ms. Diane Holzer, P.E.
Mark Goodwin & Associates, PA
P.O. Box 90606
Albuquerque, New Mexico 87199

Richard J. Berry, Mayor

RE: **Country Club Plaza - 1720 Central Avenue SW**
Grading and Drainage Plan for Building Permit

File: **J13-D010**

PE Stamp: **3-3-2014**

Dear Ms. Holzer,

Based upon the information provided in your submittal received 2/14/14, and the revised plan received 3/4/14, the subject Grading and Drainage Plan cannot be approved for Building Permit.

Please address the following items for approval:

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

1. Show where the existing building roof drains enter the basins?
2. Show how the courtyard between the existing service station building and Future Bldg #2 drain to Central. Spot elevations appear to be below top of curb grades.
3. Show on this plan the driveways to remain open and which are to be closed by Work Order (cpn-752084?). Driveways may be outfall points for drainage.
4. The area between the existing buildings appears to drain to the dashed line that runs to the south pond. If so that's in Basin B and draining to Basin A, rather than B to Central. Does the pond volume accommodate that runoff?
5. Clearly label the dashed line (6" PVC Drain to pond) with grades and bend locations.
6. The sidewalk culverts proposed for the Bldg #1 roof runoff appear to discharge at the high point on the drive lane, and could potentially drain back south to Basin A. Provide more detail to ensure flows go to Central.
7. There is an existing CMU wall crossing the portion of the site that leads to Laguna? Show how runoff will get through it to the pond.
8. On the calculations table, include a value for the site acreage used to establish the allowable Q.

Handwritten signature/initials

March 7, 2014

Country Club Plaza - 1720 Central Avenue SW

File: J13-D010

Page 2

9. Label the Retention Pond with WSE, Volume Required, and Volume Provided.
Confirmation of these features will be required as part of the Certification for CO.

Since this site exceeds 1.0 acre, an Erosion and Sediment Control (ESC) Plan, prepared by a NM PE and approved by the City's Stormwater Engineer, will be required for this site, prior to Hydrology approval of a Building Permit.

If you have questions, please email me or telephone 505-924-3994.

Sincerely,

Handwritten signature of Gregory R. Olson, dated 3/7/14.

Gregory R. Olson, P.E.

Senior Engineer

Development and Building Services

Orig: Drainage file **J13/D010**

c.pdf Addressee via Email Diane@GoodwinEngineers.com

MARK GOODWIN & ASSOCIATES, PA

LETTER OF TRANSMITTAL

TO: Greg Olson

DATE: March 24, 2014

Hydrology

1st Floor – One Stop

RE: Country Club Plaza

Plaza del Sol

ITEMS BEING TRANSMITTED

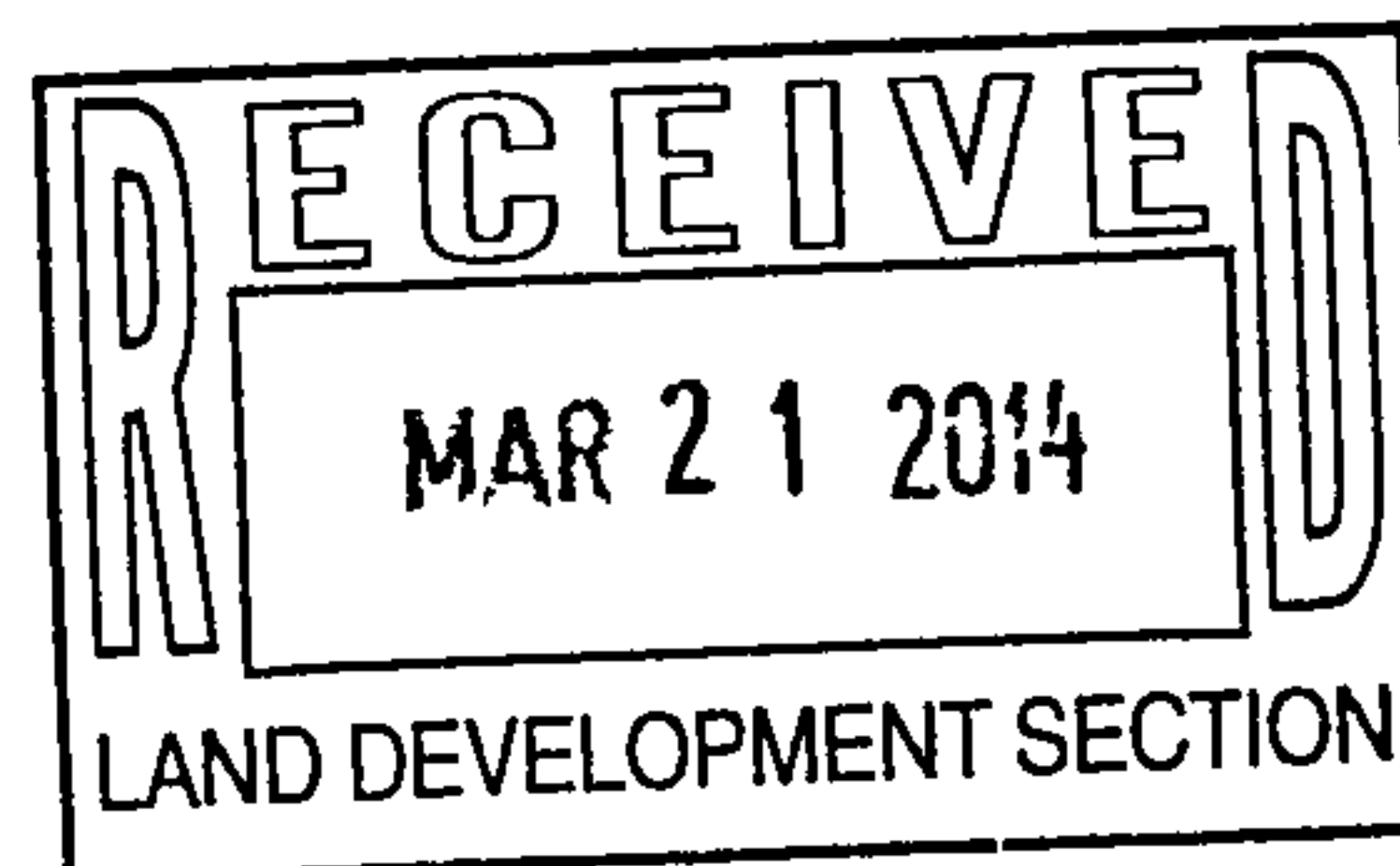
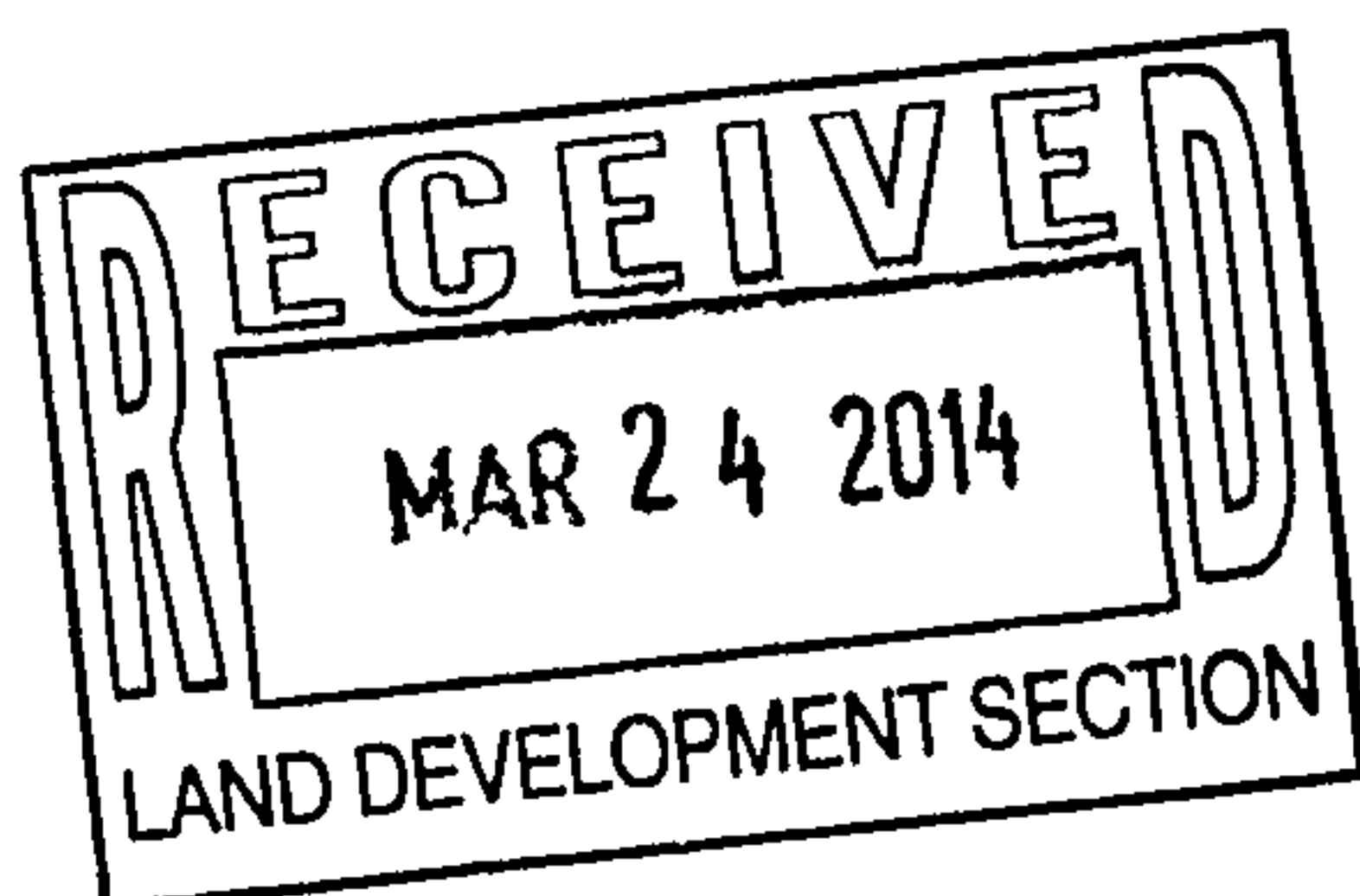
2	Country Club Plaza Grading Plan

X as requested

Notes: Legible copy as requested.

PROJECT ENGINEER:

Diane Hoelzer, PE



Results of the DRC DDTS Database Query

You Provided a Project number of: **752084**

project_id: 752084

DRCInitiationDate: 1/7/2014 1:18:18 PM

ProjectName: Country Club Plaza

ProjectType: AHBA

Developer: Country Club Partners, LLC

Jay Rembe
(REMBE@InfillSolutions.com)

Design Engineer:

Consultant Inspector:

Laboratory:

Surveyor:

Contractor:

Begin Construction:

Pro-Rata:

Paving: ~~no~~ yes - Drive way Closures

Storm: ~~no~~ yes - 50-19

Sewer: yes

Water: yes

Landscape: no

Miscellaneous Infrastructure: no

Unknown Infrastructure: no

Construction Deadline:

Proposed Construction Cost:

Intial Engineering Fees:

project_location: 1700 Central SW

zone_map_pg: J-13

Acceptance_Date:

Status:

Status_Code:

Inspector:

CityConstEgnr:

CloseOutRecd:

CITY OF ALBUQUERQUE



April 28, 2016

Diane Hoelzer, PE
Mark Goodwin & Associates, PA.
PO Box 90606
Albuquerque, NM 87199

**Re: Country Club Plaza-Build 2
1720 Central
Request Permanent C.O. - Accepted
Engineer's Stamp dated: 3-18-14 (J13D010)
Certification dated: 4-27-16**

Dear Ms. Hoelzer,

Based on the Certification received 4/28/2016, the above mentioned business is acceptable for release of Certificate of Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3695 or Rudy Rael at 924-3977.

PO Box 1293

Albuquerque

Sincerely,

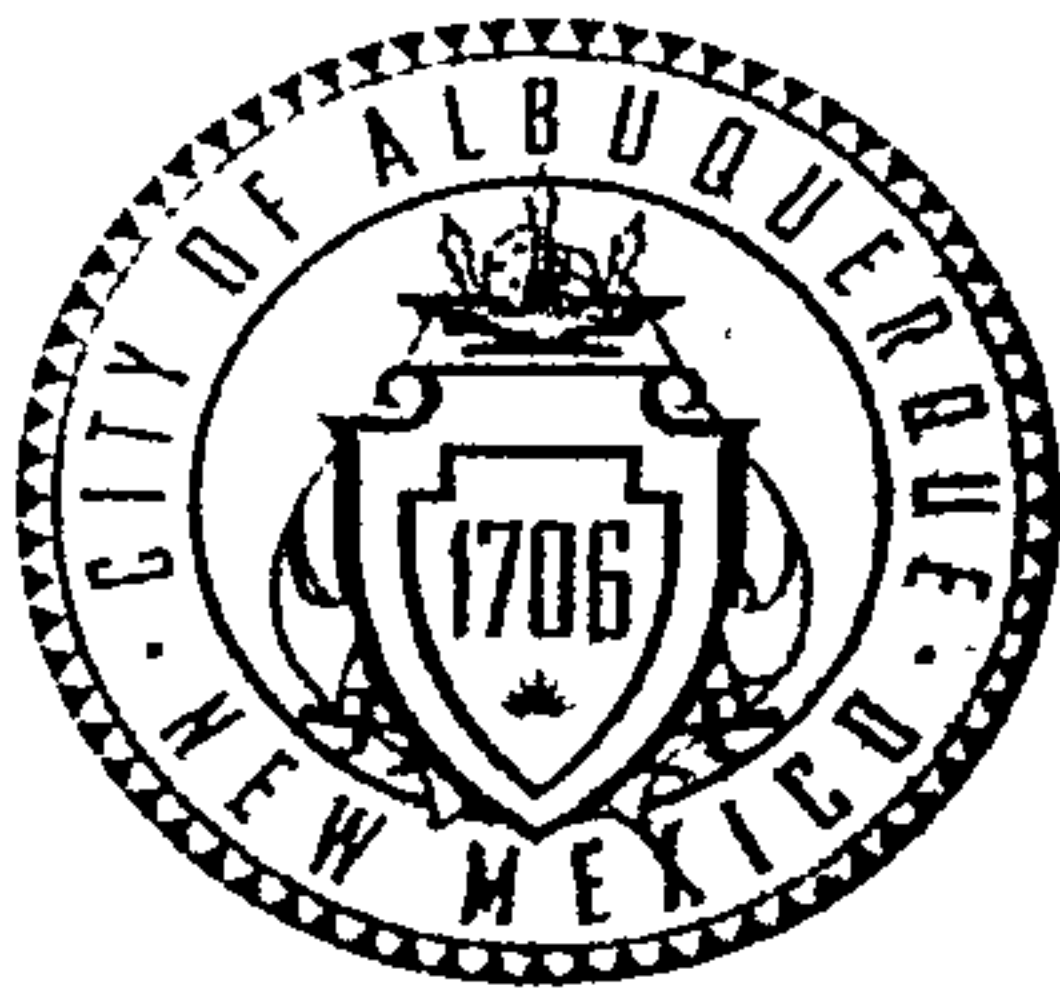
Abiel Carrillo, P.E.

New Mexico 87103 Principal Engineer, Planning Department
Development and Review Services

www.cabq.gov

RR/AC

C: email Cordova, Camille C.; Miranda, Rachel; Sandoval, Darlene M.; Blocker,
Lois



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Country Club Plaza - BUILDING 2 Building Permit #: _____ City Drainage #: J13 / D010
DRB#: 1004677 EPC#: _____ Work Order#: 752084
Legal Description: Remaining portion Tract B, Hunning Castle Addition, Tract A-1-A, Laguna Subdivisions Tracts A and B, lands of HB Horns and
City Address: Central and Laguna

Engineering Firm: MARK GOODWIN & ASSOCIATES, PA Contact: DIANE HOELZER, PE
Address: PO BOX 90606, ABQ, NM
Phone#: 828-2200 Fax#: _____ E-mail: DIANE@GOODWINENGINEERS.COM

Owner: COUNTRY CLUB PARTNERS, LLC Contact: JAY REMBE
Address: 117 B-RICHMOND NE, ABQ, NM 87106
Phone#: 453-7164 Fax#: _____ E-mail: REMBE@INFILLSOLUTIONS.COM

Architect: MULLEN HELLER ARCHITECTURE, PC Contact: MIKE SALVADOR
Address: 924 PARK AVE, STE B, ABQ, NM 87102
Phone#: 268-4144 Fax#: _____ E-mail: MIKE@MULLENHELLER.COM

Surveyor: TM SURVEYING Contact: TIM MARTINEZ
Address: _____
Phone#: 869-0711 Fax#: _____ E-mail: _____

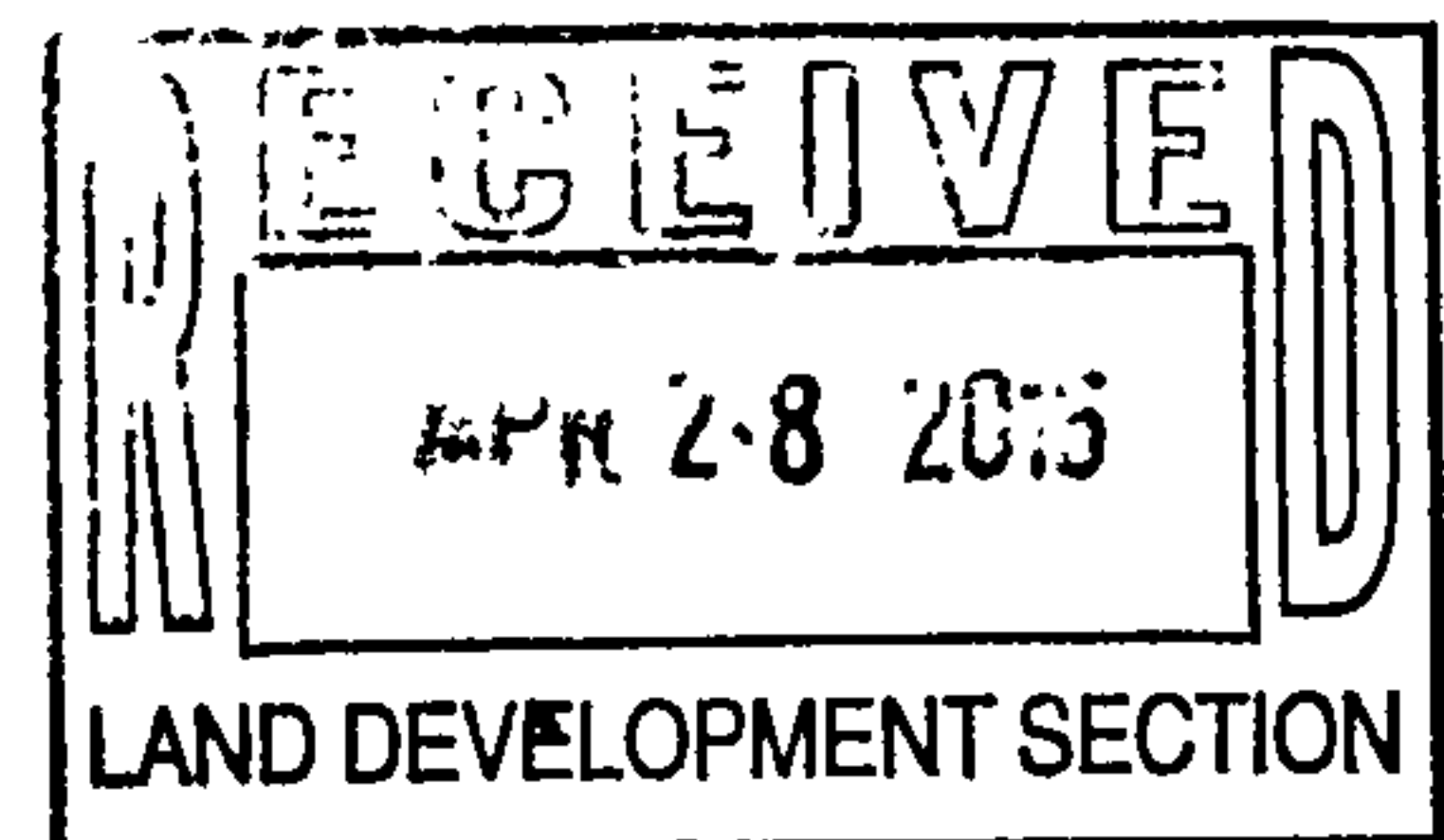
Contractor: INSIGHT CONSTRUCTION / PYTHON CONSTRUCTION Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☒ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY)

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY)



WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes _____ No _____ Copy Provided

DATE SUBMITTED: APRIL 28, 2016 By: DIANE HOELZER, PE

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1 **Conceptual Grading and Drainage Plan** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
- 2 **Drainage Plans** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
- 3 **Drainage Report** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
- 4 **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

Kay Brashear

From: Kay Brashear
Sent: Thursday, April 28, 2016 7:30 AM
To: 'plndrs@cabq.gov'
Cc: Diane Hoelzer
Subject: COUNTRY CLUB PLAZA - BUILDING 2 HYDROLOGY CERTIFICATION
Attachments: SCAN220.pdf; scan780.pdf; scan779.pdf

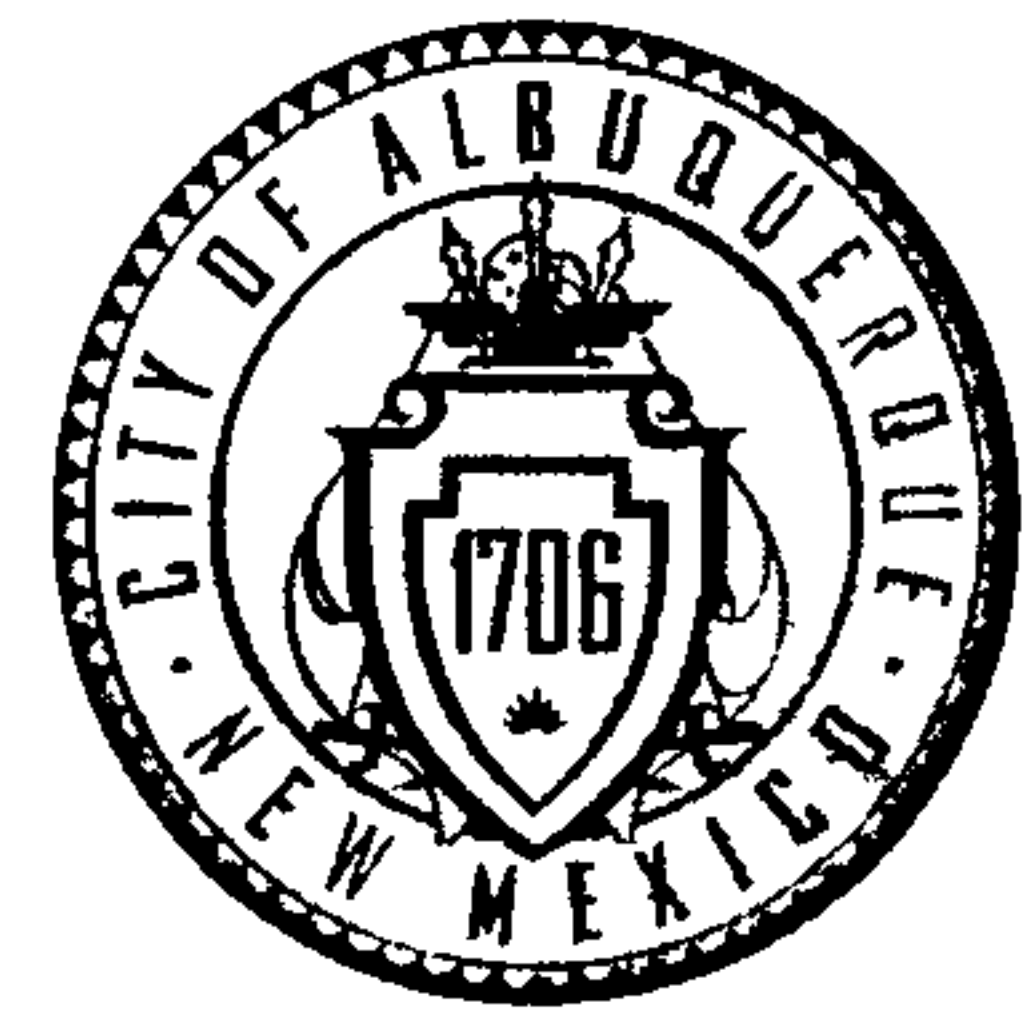
Attached, please see the Drainage Info Sheet and Grading and Drainage Plan for Country Club Plaza, DRB#1004677.

Hard copies will be delivered this morning.

Thanks,

*Kay Brashear
Mark Goodwin & Associates, PA*

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services**

June 11, 2015

Doug Heller, AIA
Mullen Heller Architecture, P.C.
924 Park Ave., SW
Albuquerque, NM 87102

**Re: Country Club Plaza – Commercial Building 1
1718 Central Ave., SW
Certificate of Occupancy – Transportation Development
Engineer's/Architect's Stamp dated 3-28-14 (J13-D010)
Certification dated 6-10-15**

Dear Mr. Heller,

Based upon the information provided in your submittal received 6-10-15, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact me at (505)924-3924.

Sincerely,

Jeanne Wolfenbarger, P.E.
Senior Engineer, Planning Dept.
Development Review Services

c: File
CO Clerk

Rael, Rudy E.

From: Rodriguez, Jason T.
Sent: Tuesday, April 26, 2016 9:38 AM
To: Rael, Rudy E.
Cc: Elliott, Stanice; Ortiz, Monica; Harmon Rita T.
Subject: RE: 1720 Central SE
Attachments: DSCN1746.JPG; DSCN1748.JPG

Thanks Rudy It look like the plan called for one 24 inch culvert and they have two 18 inch, all they need to do is to bolt the plates down and a little painting. So as soon as they do it's a pass. If you need more let me know Jason Rodriguez C.O.A. Storm Maintenance Office 505-857-8607

Cell 505-235-8016

E-mail jtrodriguez@cabq.gov

-----Original Message-----

From: Rael, Rudy E.
Sent: Tuesday, April 26, 2016 9:27 AM
To: Rodriguez, Jason T.
Subject: 1720 Central SE

Here it is Jason

Rudy E. Rael, CE, CFM
Engineer Associate, Hydrology
Planning Department
600 2nd St. NW Suite 201
Albuquerque NM 87102
(505) 924-3977

-----Original Message-----

From: plnnh11@cabq.gov [<mailto:plnnh11@cabq.gov>]
Sent: Tuesday, April 26, 2016 9:22 AM
To: Rael, Rudy E.
Subject: Scanned from a Xerox multifunction device

Please open the attached document. It was scanned and sent to you using a Xerox multifunction device.

Attachment File Type: pdf, Multi-Page

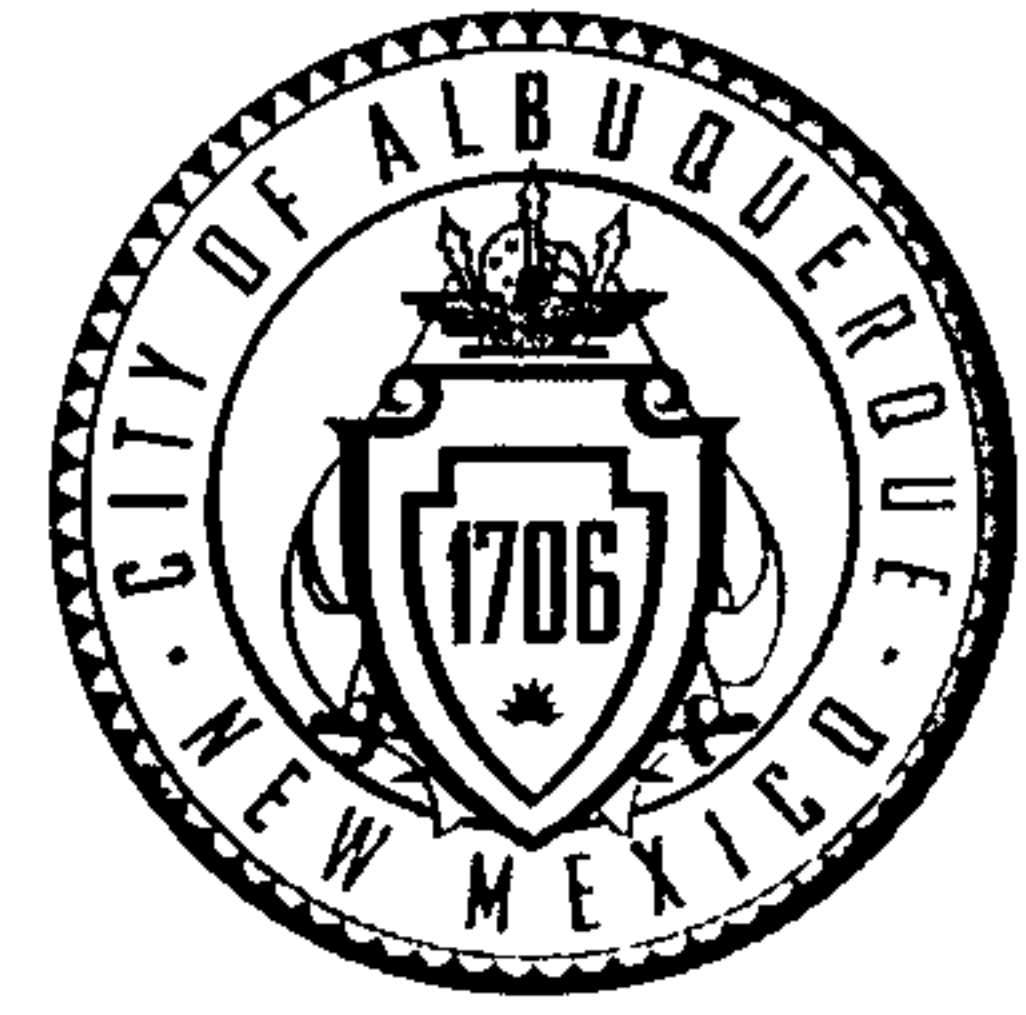
multifunction device Location: machine location not set
Device Name: PWDNH07

For more information on Xerox products and solutions, please visit <http://www.xerox.com>

CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development Review Services

March 7, 2014



Richard J. Berry, Mayor

Ms. Diane Holzer, P.E.
Mark Goodwin & Associates, PA
P.O. Box 90606
Albuquerque, New Mexico 87199

RE: **Country Club Plaza** - 1720 Central Avenue SW
Grading and Drainage Plan for Building Permit

File: **J13-D010**

PE Stamp: **3-3-2014**

Dear Ms. Holzer,

Based upon the information provided in your submittal received 2/14/14, and the revised plan received 3/4/14, the subject Grading and Drainage Plan cannot be approved for Building Permit.

Please address the following items for approval:

- PO Box 1293
Albuquerque
New Mexico 87103
www.cabq.gov
1. Show where the existing building roof drains enter the basins?
 2. Show how the courtyard between the existing service station building and Future Bldg #2 drain to Central. Spot elevations appear to be below top of curb grades.
 3. Show on this plan the driveways to remain open and which are to be closed by Work Order (cpn-752084?). Driveways may be outfall points for drainage.
 4. The area between the existing buildings appears to drain to the dashed line that runs to the south pond. If so that's in Basin B and draining to Basin A, rather than B to Central. Does the pond volume accommodate that runoff?
 5. Clearly label the dashed line (6" PVC Drain to pond) with grades and bend locations.
 6. The sidewalk culverts proposed for the Bldg #1 roof runoff appear to discharge at the high point on the drive lane, and could potentially drain back south to Basin A. Provide more detail to ensure flows go to Central.
 7. There is an existing CMU wall crossing the portion of the site that leads to Laguna? Show how runoff will get through it to the pond.
 8. On the calculations table, include a value for the site acreage used to establish the allowable Q.

March 7, 2014

Country Club Plaza - 1720 Central Avenue SW

File: J13-D010

Page 2

9. Label the Retention Pond with WSE, Volume Required, and Volume Provided.
Confirmation of these features will be required as part of the Certification for CO.

Since this site exceeds 1.0 acre, an Erosion and Sediment Control (ESC) Plan, prepared by a NM PE and approved by the City's Stormwater Engineer, will be required for this site, prior to Hydrology approval of a Building Permit.

If you have questions, please email me or telephone 505-924-3994.

Sincerely,

Handwritten signature of Gregory R. Olson in black ink, with the date 3/7/14 written to the right.

Gregory R. Olson, P.E.

Senior Engineer

Development and Building Services

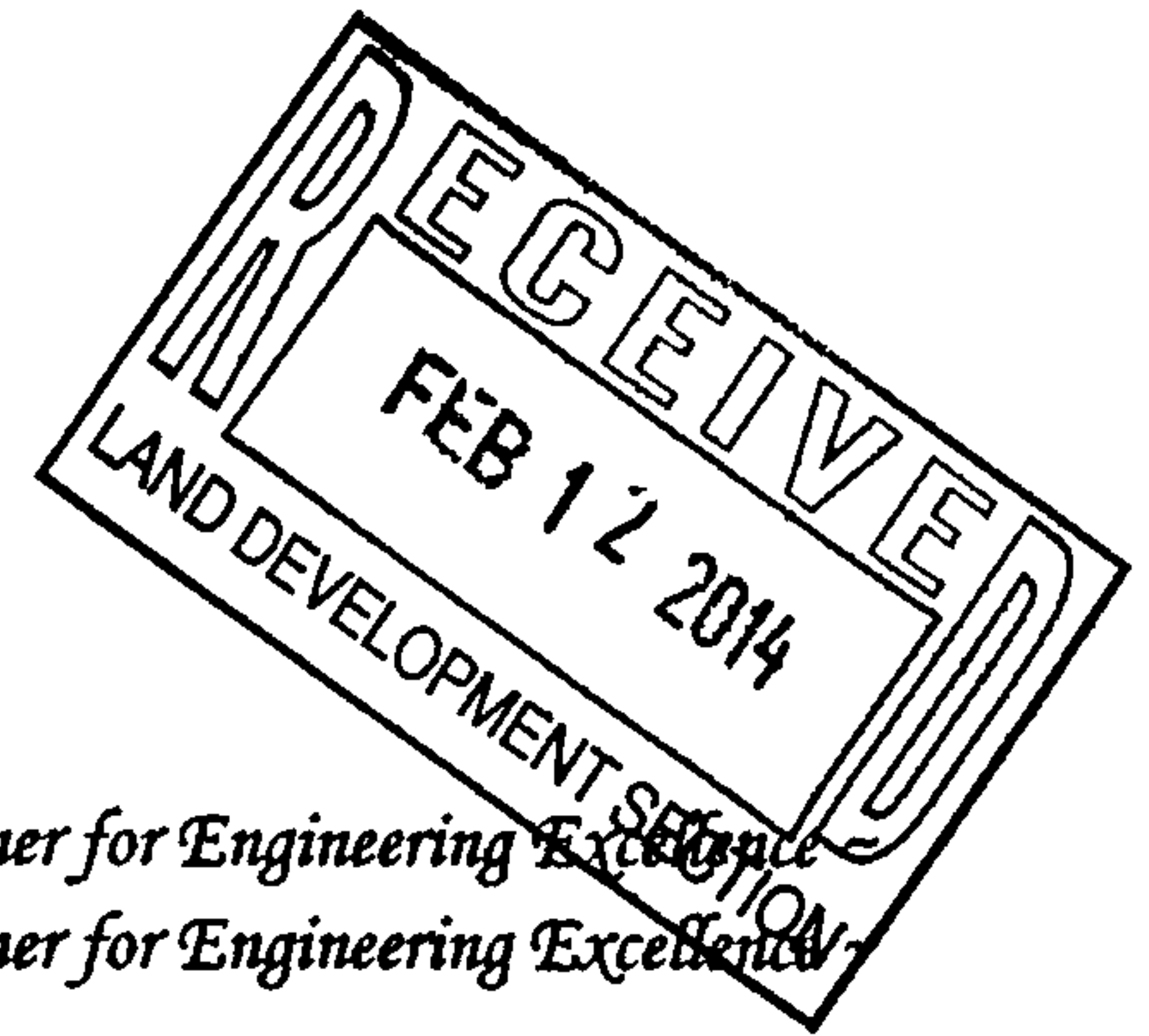
Orig: Drainage file **J13/D010**

c.pdf Addressee via Email Diane@GoodwinEngineers.com



D. Mark Goodwin & Associates, P.A.
Consulting Engineers

P.O. BOX 90606, ALBUQUERQUE, NM 87199
(505) 828-2200 FAX 797-9539



~ 2012 ACEC/NM Award Winner for Engineering Excellence ~
~ 2008 ACEC/NM Award Winner for Engineering Excellence ~

February 14, 2014

Mr. Curtis Cherne
City of Albuquerque
600 Second St. NW
Albuquerque, NM 87102

**Re: Country Club Plaza, Grading and Drainage Plan Engineer's Stamp Date 10/23/13
(J13/0D10)**

Dear Mr. Cherne,


The COA Hydrology comments dated 11/18/13 for the Grading and Drainage Plan, J13/010, have been addressed as follows:

1. It appears the grades shown on the plan may be in the 29 datum. Please check this and provide the benchmark with your next submittal. **The grades shown on the plan are in the 29 datum, the benchmark has been provided.**
2. It appears that Building #1 and the area between this building and the building to the north will drain to the retention pond (51.30 vs 52.30) and therefore should be included in Basin A. **The grading and drainage plan has been updated to show that Building #1 and the building to the north will drain to Central Avenue.**
3. It appears there is a high point at 4951.12 in the narrow section in the lot near Laguna Blvd. which shows an existing basin (Basin C?) that drains to Laguna Blvd. **The high point at 4951.12 in the narrow section in the lot near Laguna Blvd. has been adjusted so that it is included in Basin A.**
4. Building #2 should not drain over the sidewalk, a sidewalk culvert or pipe penetration through the curb should be proposed for this drainage. **Building #2 will not drain over the sidewalk, a sidewalk culvert through the curb has been proposed.**
5. The submittal should request an SO-19 Permit for the sidewalk culvert near the west drive pad and the solution for Building #2. **The submittal will request an SO-19 Permit for the sidewalk culverts proposed.**

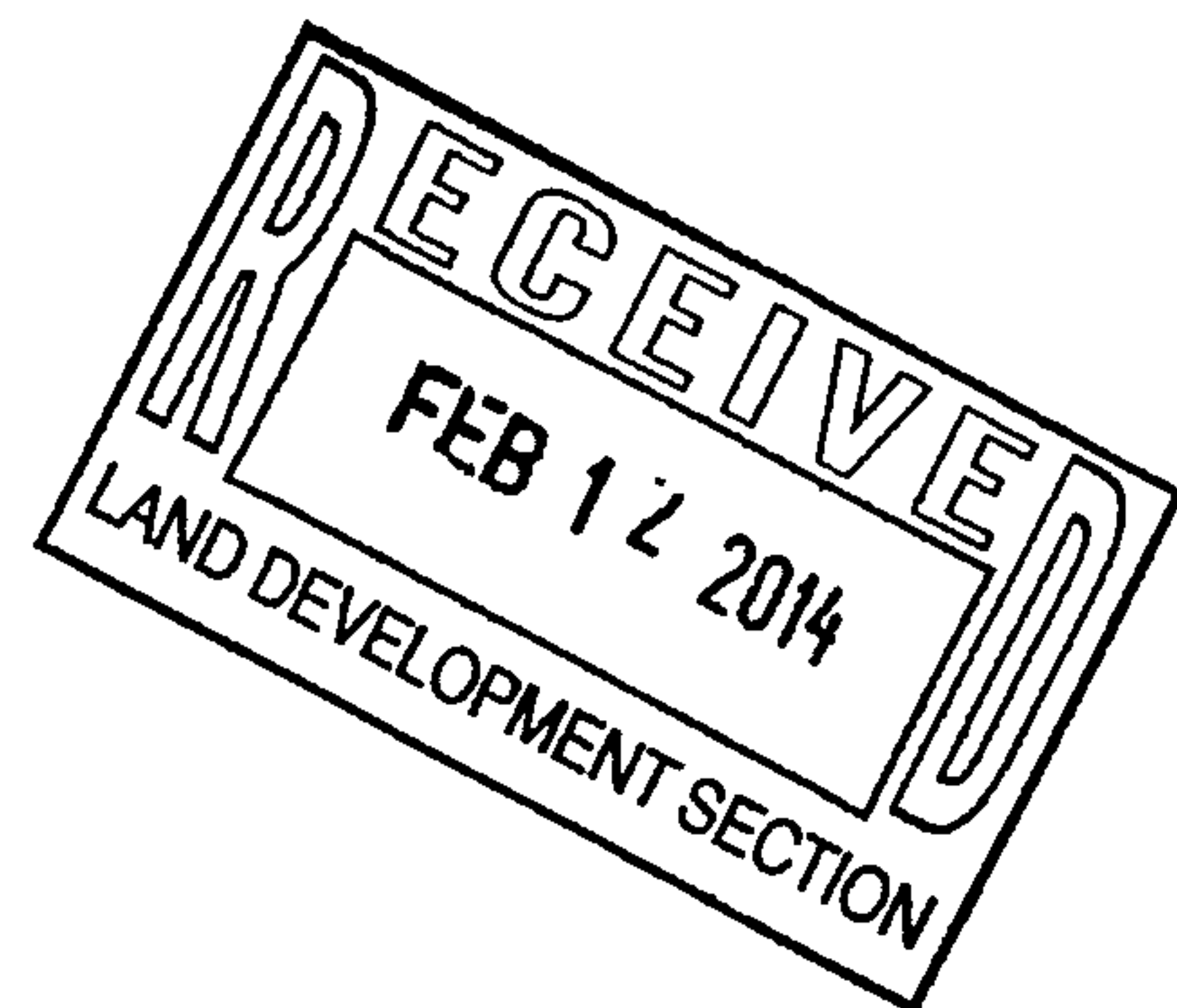
6. Should the low point 48.72 upstream of the rock swale on the east side be picked up a little to 49.5 or so? The low point 48.72 upstream of the rock swale on the east side has been raised to 51.03.
7. Provide proposed grades in the rock swale along the eastern boundary. Existing grades in this area are higher than the upstream curb cut grade. Grades have been proposed in the rock swale along the eastern boundary.
8. Will the flows discussed in #6 above leave the parking lot through a curb cut? How long should it be? The flows discussed in #6 above leave the parking lot through a 2' curb cut.
9. Is curbing proposed on the southern parking lot? Curbing is not proposed on the southern parking lot.
10. It appears there is a speed table midway in the parking lot, because curbing is shown. How will flows drain through this area? There is not proposed curb in the south parking lot. There is a water break midway through the south parking lot.
11. Provide the volume required and volume proposed for the pond. The volume required and the volume proposed has been provided.
12. Provide calculations for flow and volume, a narrative and flood plain information. Calculations for flow, volume, narrative and flood plain information has been provided.

If you have any further questions, please contact our office.

Sincerely,
MARK GOODWIN & ASSOCIATES, PA

for 
Martin Sanchez, EIT
Project Engineer

/ms



CITY OF ALBUQUERQUE



November 18, 2013

Mark Goodwin, P.E.
Mark Goodwin & Associates, PA
8916 Adams St NE
Albuquerque, NM 87113

**Re: Country Club Plaza, Grading and Drainage Plan
Engineer's Stamp Date 10/23/13 (J13/D010)**

Dear Mr. Goodwin,

Based upon the information provided in your submittal received 10-29-13, the above referenced plan is approved for Site Plan for Building Permit action by the DRB. The above reference plan cannot be approved for Building Permit until the following comments are addressed:

1. It appears the grades shown on the plan may be in the 29 datum. Please check this and provide the benchmark with your next submittal.
2. It appears that Building #1 and the area between this building and the building to the north will drain to the retention pond (51.30 vs 52.30) and therefore should be included in Basin A.
3. It appears there is a high point at 4951.12 in the narrow section of the lot near Laguna Blvd which shows an existing basin (Bain C?) that drains to Laguna Blvd.
4. Building #2 should not drain over the sidewalk, a sidewalk culvert or pipe penetration through the curb should be proposed for this drainage.
5. The submittal should request an SO-19 Permit for the sidewalk culvert near the west drive pad and the solution for Building #2.
6. Should the low point 48.72 upstream of the rock swale on the east side be picked up a little to 49.5 or so?
7. Provide proposed grades in the rock swale along the eastern boundary. Existing grades in this area are higher than the upstream curb cut grade.
8. Will the flows discussed in #6 above leave the parking lot through a curb cut? How long should it be?
9. Is curbing proposed on the southern parking lot?
10. It appears there is a speed table midway in the parking lot, because curbing is shown. How will flows drain through this area?
11. Provide the volume required and volume proposed for the pond.
12. Provide calculations for flow and volume, a narrative and flood plain information.

If you have any questions, you can contact me at 924-3986.

Sincerely,

Curtis Cherne, P.E.
Principal Engineer, Planning Dept.
Development and Review Services

C: e-mail
file

J13-D010: Country Club Plaza, Phase 1

<u>Basin</u>	<u>Area</u>	<u>Unit</u>	<u>%D</u>	<u>IMP</u>	
1	2.39	Acre	50%	1.195	to the Pond
2	0.85	Acre	90%	0.765	to Central Ave
		Acre		0	
		Acre		0	
	<u>3.24</u>	Acre	60%	<u>1.96</u>	
<hr/>					
$Q_{100} =$		3.84	cfs to Central		
		0.85	cfs/acre		
		4.51765	cfs/acre, Phase I Development		

Impervious
Acres added

238-
3330

1-800-491-0115
C. K. Con S. #
Sarah
105244 REC
620 MB

Olson, Greg

From: Olson, Greg
Sent: Tuesday, March 04, 2014 5:54 PM
To: 'Diane Hoelzer'
Cc: Olson, Greg
Subject: J13-D010 Country Club

Diane,

I didn't finish review today, and will be off Wed. so heads up on these items

1. Where do the existing bldg roof drains enter the basins?
2. Where does the courtyard between existing bldg and Future Bldg #2 drain to Central. Spots appear to be below top of Curb
3. Show on this plan the driveways to remain open and which are closed by the Work Order. Driveways may be outfall for drainage.
4. The area between the existing building appears to drain to the dashed line that runs to the south pond. If so that's in Basin B and draining to Basin A
5. Clearly label the Dashed line (6" PVC Drain to pond).

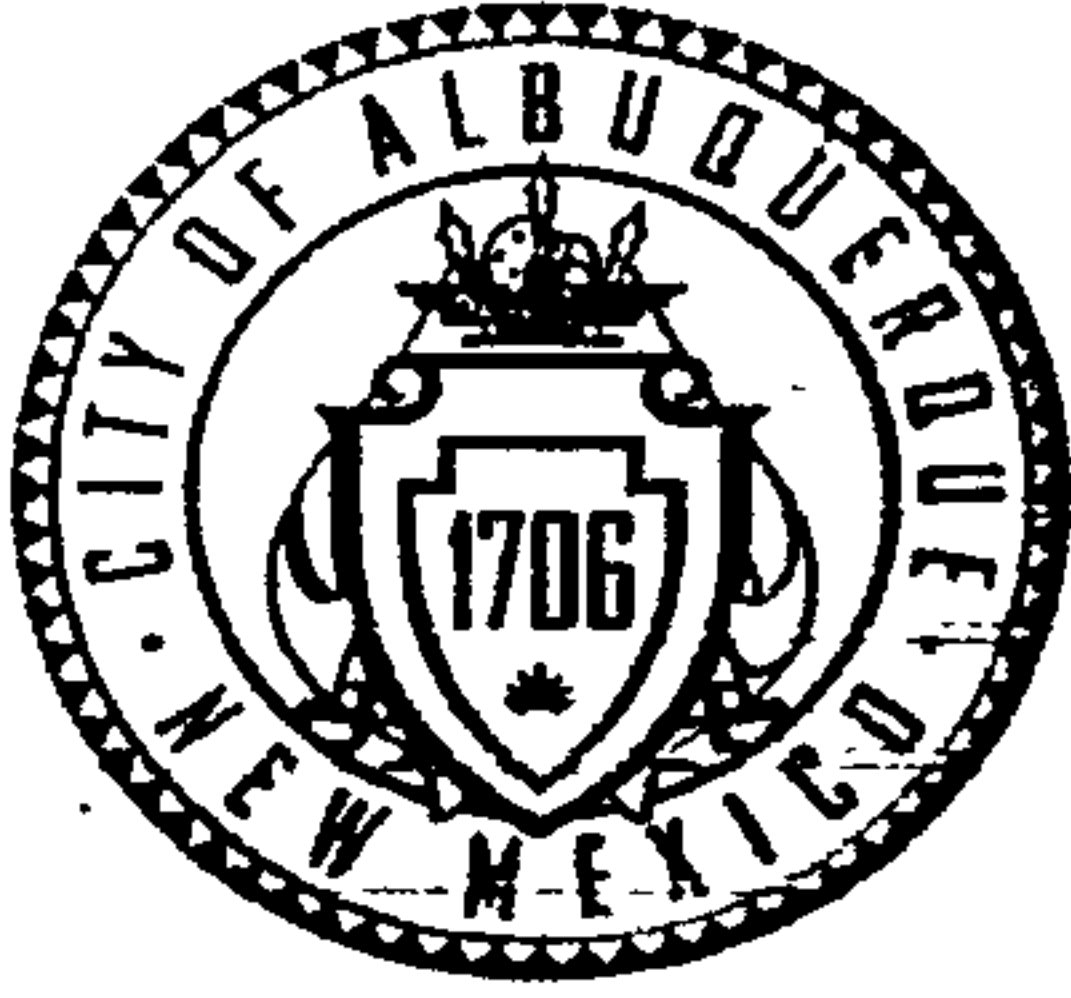
Sorry, gotta run

Talk to you Thursday

Thanks,

Greg Olson, PE

Senior Engineer
Planning - Hydrology
505-924-3994



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Country Club Plaza – Commercial Building 1 Building Permit #: T201492581 City Drainage #: 113p010
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: Lot 4 of Country Club Plaza Subdivision
City Address: 1718 Central Avenue SW., Albuquerque, NM. 87104

Engineering Firm: Mark Goodwin & Associates, P.A. Contact: Mark Goodwin
Address: 8916-B Adams Street, NE., Albuquerque, NM 87113
Phone#: 505-828-2200 Fax#: _____ E-mail: mark@goodwinengineers.com

Owner: Rembe Country Club LLC. Contact: Jay Rembe
Address: 1718 Central SW, Suite A, Albuquerque, NM. 87104
Phone#: 505-453-7164 Fax#: _____ E-mail: rembe@rembedesign.com

Architect: Mullen Heller Architecture P.C. Contact: Doug Heller
Address: 924 Park Avenue SW, Suite B Albuquerque, NM 87102
Phone#: 505-268-4144 Fax#: _____ E-mail: doug@mullenheller.com

Surveyor: Construction Survey Technologies, INC. Contact: John Gallegos
Address: P.o. Box 65395 Albuquerque, NM 87193
Phone#: 505-917-8921 Fax#: _____ E-mail: johnagallegos73@gmail.com

Contractor: Insight Construction Contact: Damian Chimenti
Address: 3909 12th Street, Albuquerque, NM 87107
Phone#: 505-888-7927 Fax#: _____ E-mail: damian@insightnm.com

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☒ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY)

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED: ☐ Yes ☒ No ☐ Copy Provided

DATE SUBMITTED: June 10, 2015 By: Doug Heller

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

June 10, 2015

Racquel Michel, P.E., Transportation Development
Planning Department
Development and Building Services Division
City of Albuquerque
600 2nd Street NW.
Albuquerque, NM 87102

Re: **Permanent Certificate of Occupancy for
Country Club Plaza – Commercial Building 1
Address: 1718 Central Avenue SW., Albuquerque, NM. 87104**

Dear Ms. Racquel Michel:

I, Douglas Heller, NMRA of Mullen Heller Architecture P.C., hereby certify that this project is in substantial compliance with and in accordance with the design intent of Approved EPC/DRB Site Development Plan approved October 10, 2013 (Project #1004677). The attached Site Development Plan also shows "redlined" the revised phase line on the south side parking of Building One (1) on Lot 4 of Country Club Plaza Subdivision.

This certification pertains only to Building One (1) of this development, as approved by the EPC/DRB and as "redlined" on attached Site Development Plan for Building Permit. I further certify that I have personally visited the project site on June 10, 2015 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Engineer's Certification (DRB Site Plan) for Permanent Certificate of Occupancy.

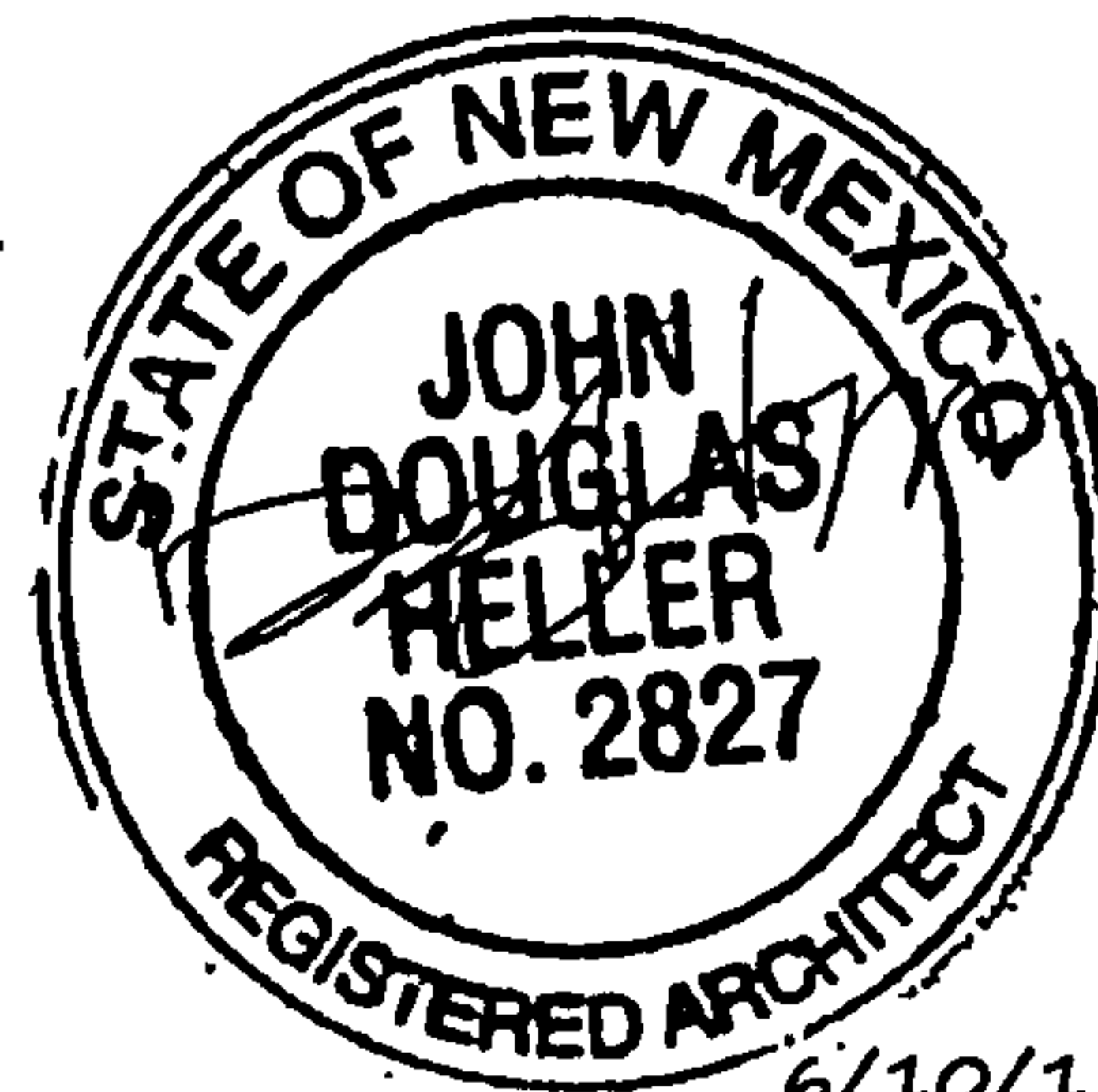
The record information presented herein is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Please feel free to contact me if you have any questions.

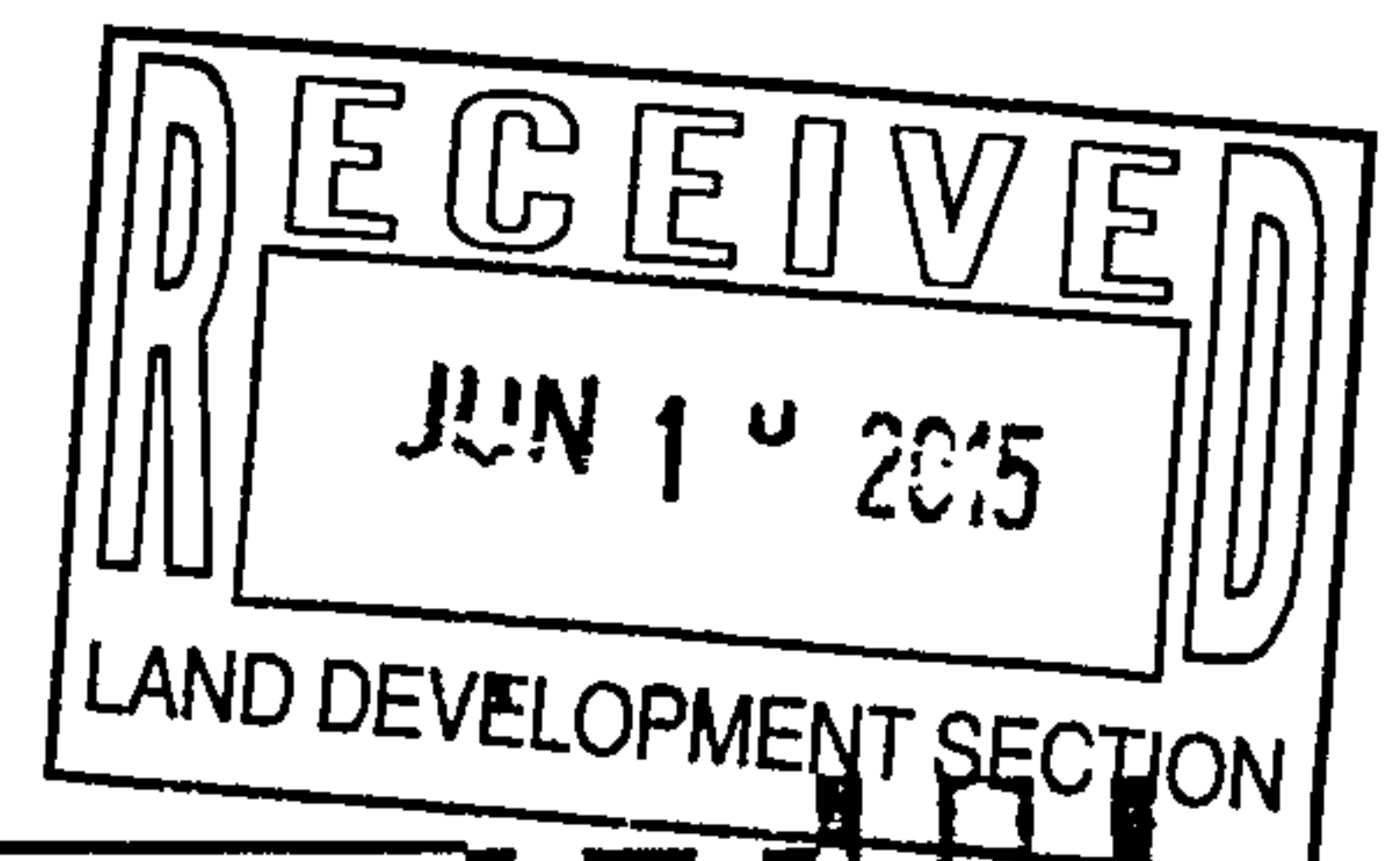
Sincerely,
Mullen Heller Architecture PC



Douglas Heller, AIA
Attachment: Approved EPC/DRB Site Development Plan for Building Permit (with redlines)



6/10/15

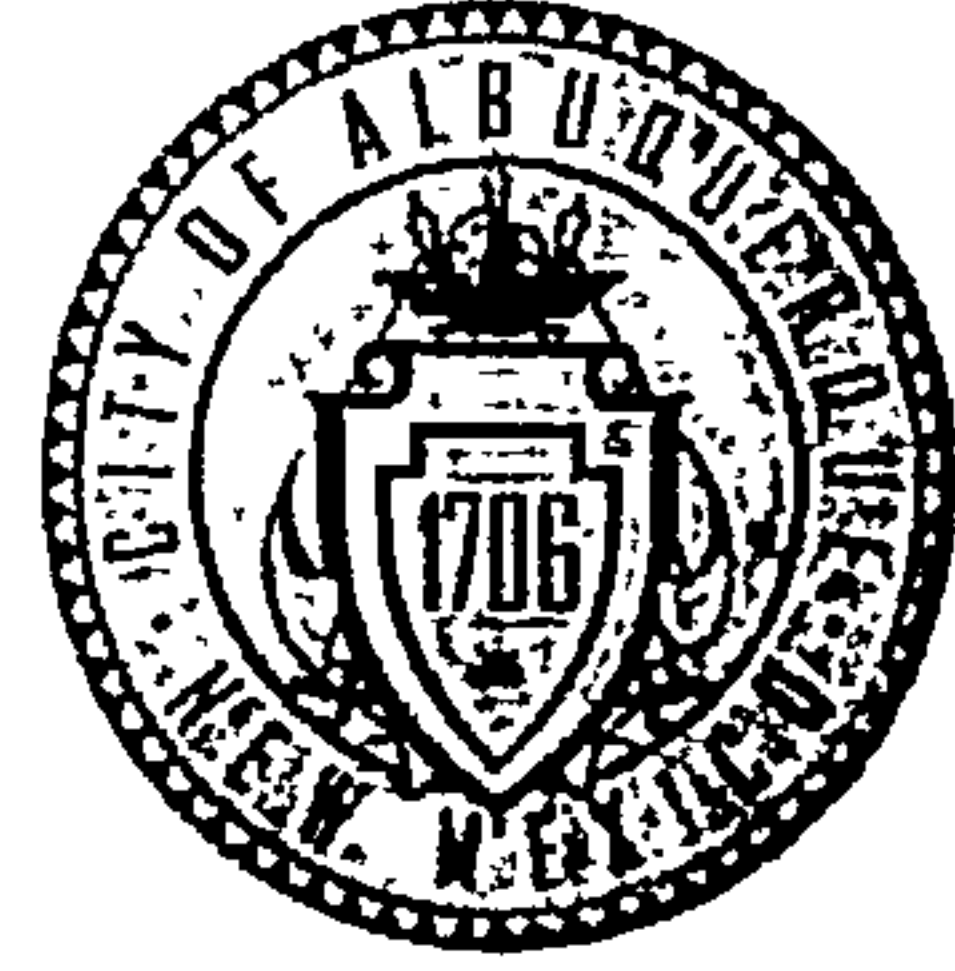


Mullen Heller
Architecture P.C.

924 Park Avenue SW Suite B ■ Albuquerque, NM 87102
505.268.4144 [p] ■ 505.268.4244 [f] ■ www.mullenheller.com



CITY OF ALBUQUERQUE



April 27, 2016

Michele Mullen
Mullen Heller Architecture, P.C.
924 Park Ave., SW
Albuquerque, NM 87102

Conditional CO for
Building Shell, CO
is required for TI. 5/3/16

Re: Country Club Plaza – Commercial Building 2
1700 Central SW
180-Day Temporary Certificate of Occupancy- Transportation
Development
Administrative Amendment dated 5-27-15 (J13-D010)
Certification dated 4-20-16

Dear Ms. Mullen,

Based upon the information provided in your submittal received 4-20-16, Transportation Development has no objection to the issuance of a 180-day Temporary Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a 180-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

- Completion of Phase 2 parking lot.

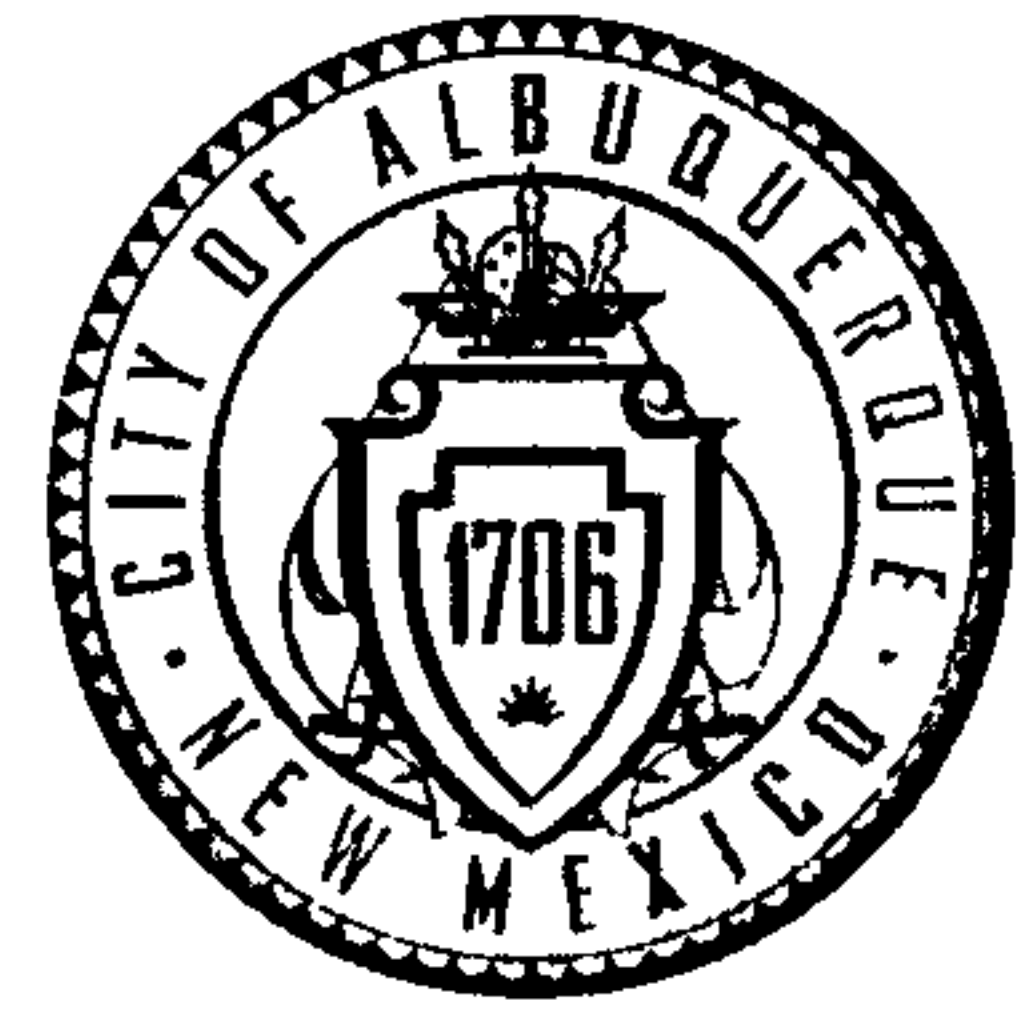
Once corrections are complete resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. For digital submittal and minor comments and/or repairs, please submit photos to PLNDRS@cabq.gov prior to submittal. If you have any questions, please contact me at (505) 924-3991.

Sincerely,

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

\gs via: email
C: CO Clerk, File

CITY OF ALBUQUERQUE



April 27, 2016

Michele Mullen
Mullen Heller Architecture, P.C.
924 Park Ave., SW
Albuquerque, NM 87102

Re: Country Club Plaza – Commercial Building 2
1700 Central SW
180-Day Temporary Certificate of Occupancy- Transportation
Development
Administrative Amendment dated 5-27-15 (J13-D010)
Certification dated 4-20-16

Dear Ms. Mullen,

Based upon the information provided in your submittal received 4-20-16, Transportation Development has no objection to the issuance of a 180-day Temporary Certificate of Occupancy. This letter serves as a “green tag” from Transportation Development for a 180-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

PO Box 1293

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

Albuquerque

- Completion of Phase 2 parking lot.

New Mexico 87103

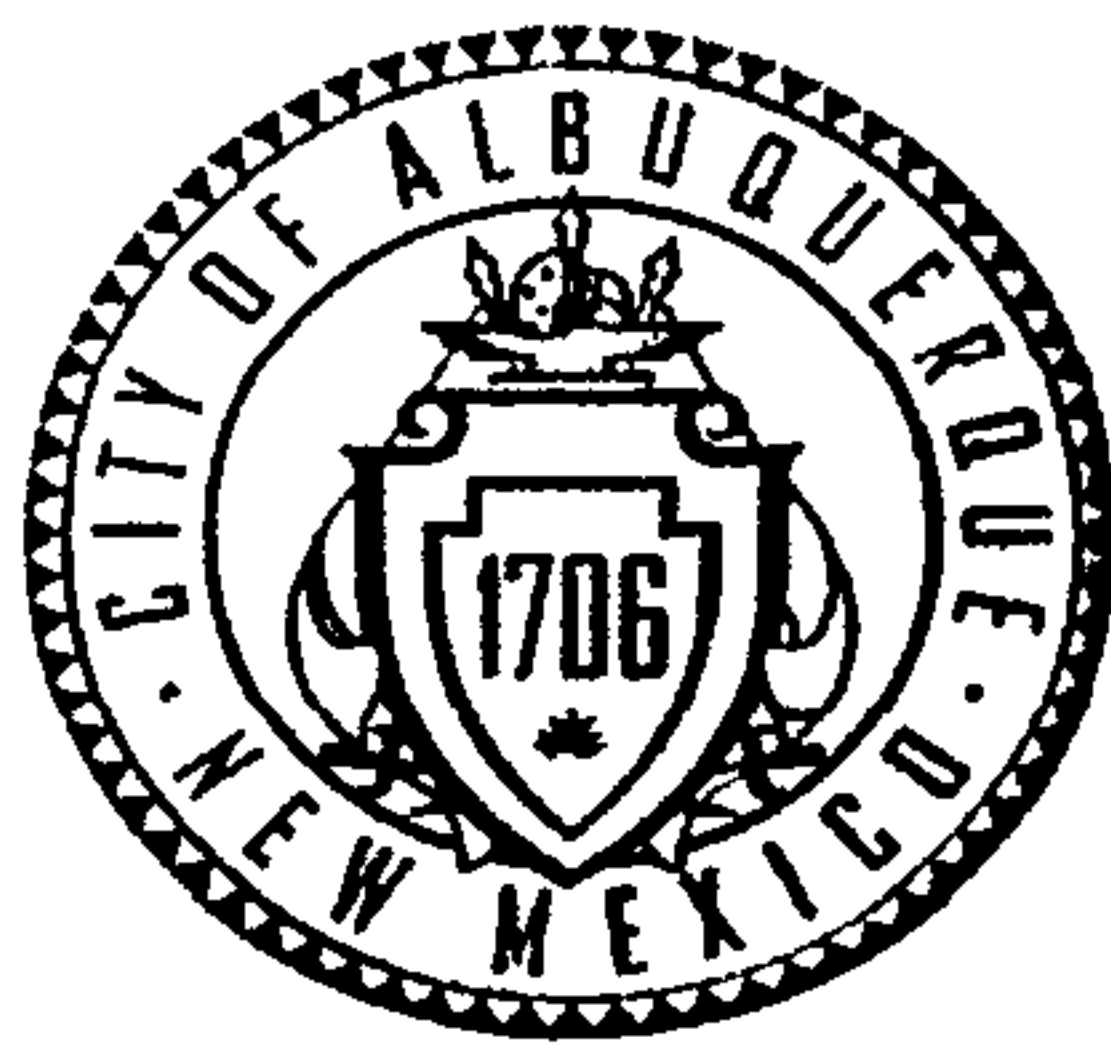
Once corrections are complete resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. For digital submittal and minor comments and/or repairs, please submit photos to PLNDRS@cabq.gov prior to submittal. If you have any questions, please contact me at (505) 924-3991.

www.cabq.gov

Sincerely,

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

\gs via: email
C: CO Clerk, File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Country Club Plaza -- Commercial Building 2 Building Permit #: T201591209 City Drainage #: J13D010

DRB#: _____ EPC#: 13EPC-40139 Work Order#: _____

Legal Description: Lot 3 of Country Club Plaza Subdivision

City Address: 1700 Central Avenue SW., Albuquerque, NM. 87104

Engineering Firm: Mark Goodwin & Associates, P.A Contact: Diane Hoelzer

Address: 8916-B Adams Street, NE., Albuquerque, NM 87113

Phone#: 505-828-2200 Fax#: _____ E-mail: diane@goodwinengineers.com

Owner: Rembe Country Club LLC. Contact: Jay Rembe

Address: 1718 Central SW, Suite A, Albuquerque, NM. 87104

Phone#: 505-453-7164 Fax#: _____ E-mail: rembe@rembedesign.com

Architect: Mullen Heller Architecture P.C Contact: Michele Mullen

Address: 924 Park Avenue SW, Suite B Albuquerque, NM 87102

Phone#: 505-268-4144 Fax#: _____ E-mail: michele@mullenheller.com

Surveyor: Construction Survey Technologies, INC. Contact: John Gallegos

Address: P.o. Box 65395 Albuquerque, NM 87193

Phone#: 505-917-8921 Fax#: _____ E-mail: johndgallegos73@gmail.com

Contractor: Insight Construction Contact: Damian Chimenti

Address: 3909 12th Street, Albuquerque, NM 87107

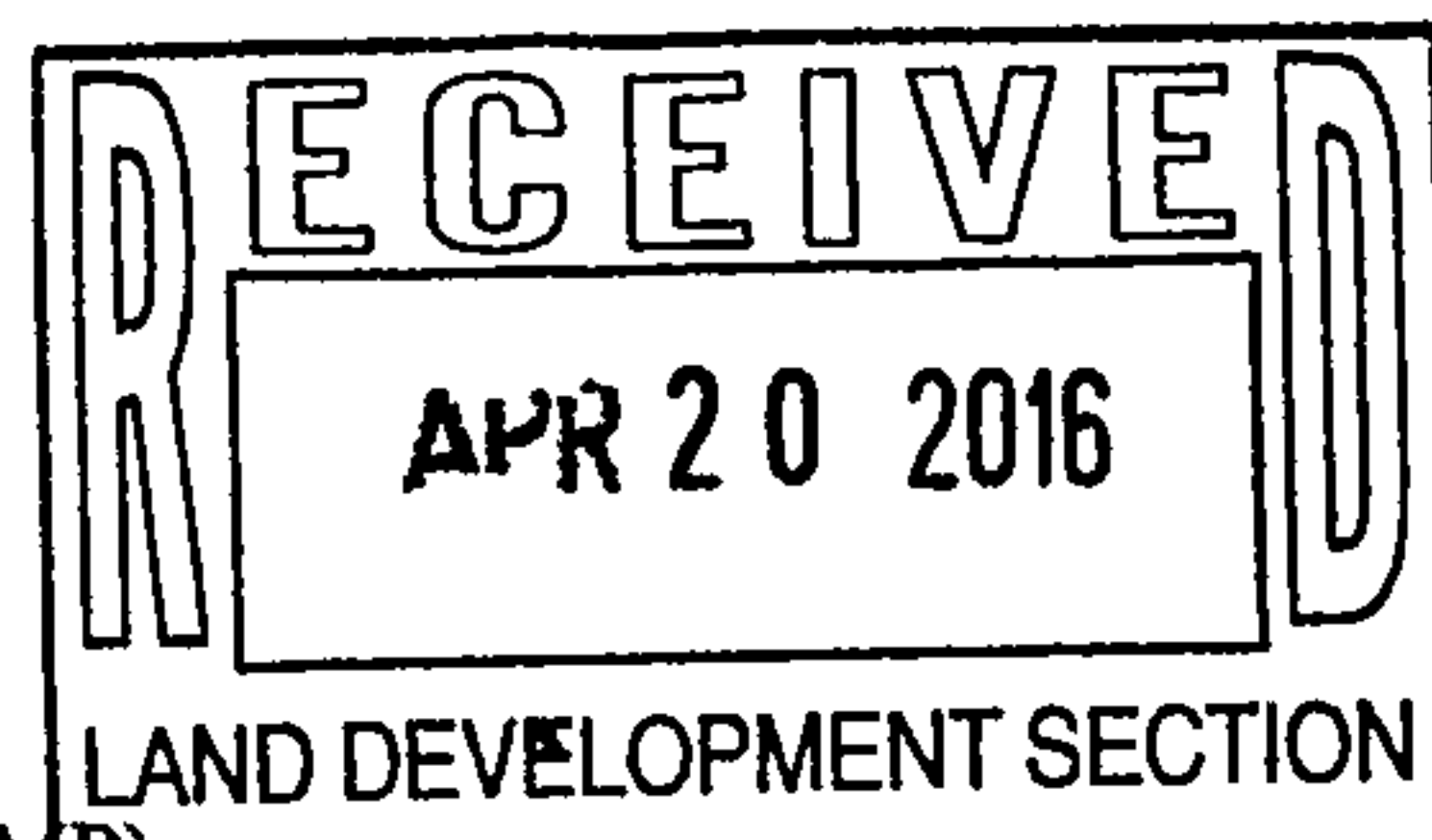
Phone#: 505-888-7927 Fax#: _____ E-mail: damian@insightnm.com

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☒ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) _____



WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes ☒ No _____ Copy Provided _____

DATE SUBMITTED: April 20, 2016 By: Michele Mullen 

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

April 20, 2016

Racquel Michel, P.E., Transportation Development
Planning Department
Development and Building Services Division
City of Albuquerque
600 2nd Street NW.
Albuquerque, NM 87102

Re: **Permanent Certificate of Occupancy for
Country Club Plaza – Commercial Building 2
Address: 1700 Central Avenue SW., Albuquerque, NM. 87104**

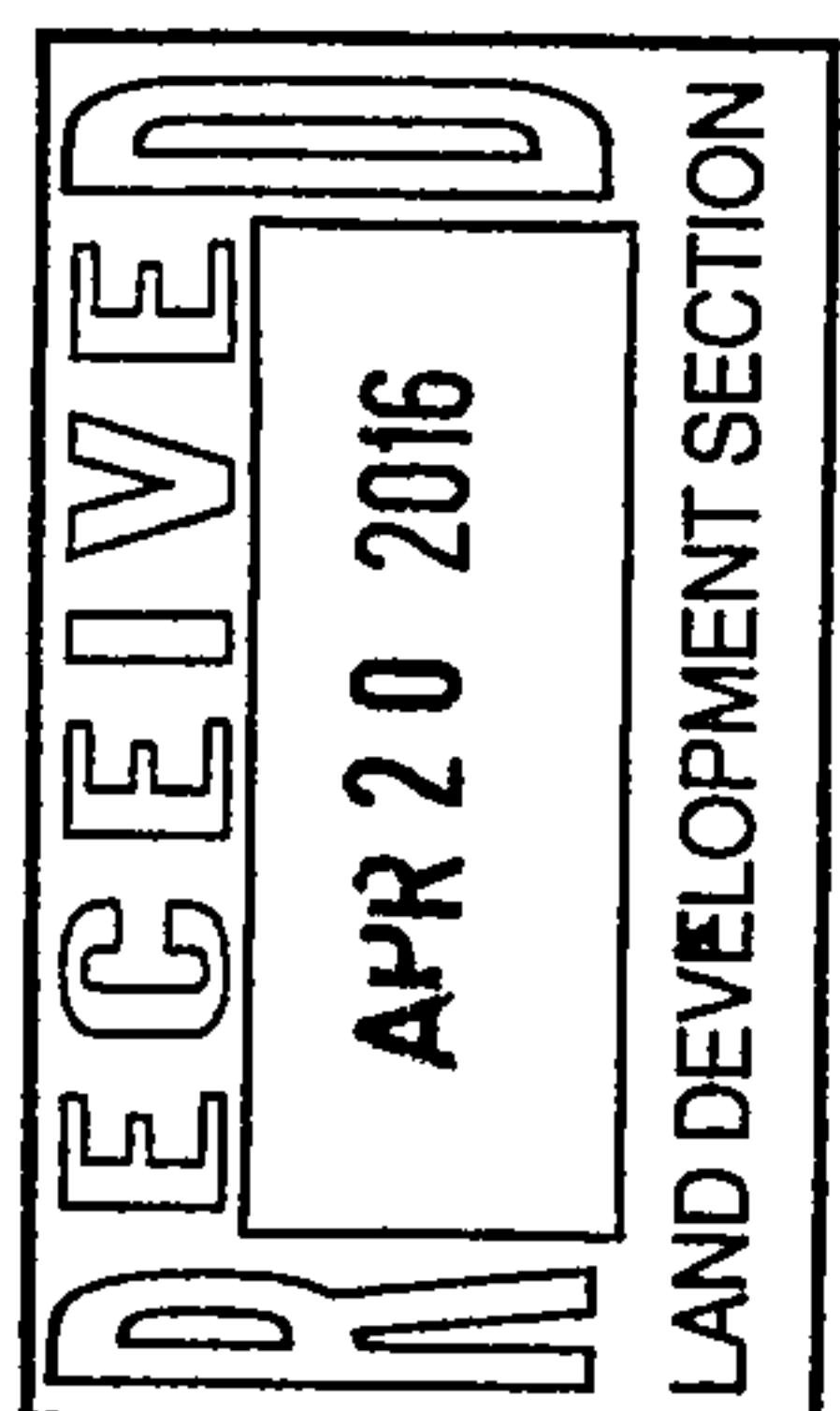
Dear Ms. Racquel Michel:

I, Michele Mullen, NMRA of Mullen Heller Architecture P.C., hereby certify that this project is in substantial compliance with and in accordance with the design intent of Approved EPC/DRB Site Development Plan dated October 10, 2013 (Project #1004677) and Approved Administrative Amendment (AA# 15AA-10061) dated May 27, 2015. The site was previously certified by Doug Heller of MHA on June 10, 2015, and the only element not certified was the temporary parking at the south side of the development. The attached Site Development Plan and AA also show the "redlined" revisions made to the site plan per construction coordination of Building Two (2) on Lot 3 of Country Club Plaza Subdivision.

This certification pertains only to Building Two (2) of this development, as approved by the EPC/DRB, AA, and as "redlined" on attached Site Development Plan for Building Permit. I further certify that I have personally visited the project site on April 15, 2016 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief.

Given the on-going tenant improvement construction of two other projects on-site (COA Permit No. T2016-90144 & T2016-90295), some items will need to remain on-site, including the construction waste dumpster, construction trailer, and portable bathroom unit(s). These remaining items will be relocated as required to provide public access to all portions of the site, including a 24' wide drive aisle to the temporary parking. All other construction items have been removed from the site as required. Please refer to the photographs attached to this letter that illustrate the locations of the existing construction items that will remain on-site.

In addition, given the timeframe for construction of the third building on Lot 5 of the Country Club Plaza Subdivision, which will be submitted to the ZHE and EPC in the coming weeks, the area designated on the Site Development Plan as asphalt-paved temporary parking was revised to compacted dirt with parking bumpers and a silt-control fence at the rear boundary on the west side of the site. This was done to alleviate the costs to the owner to install paving that will be removed for construction within 6 months of initial installation. Furthermore, per the existing location of the construction trailer, 3 of the 30 temporary spaces cannot be provided at this time. However, the approved EPC/DRB Site Development Plan requires 121 spaces, and the development is providing 132 spaces despite the loss of those 3 parking spaces. Therefore, the development is in compliance with the parking requirements.



Mullen Heller

Architecture P.C.

1718 Central Ave SW, Suite D ■ Albuquerque, NM 87104
■ 505.268.4144 [p] ■ www.mullenheller.com



This certification is submitted in support of a request for Engineer's Certification (DRB Site Plan) for Permanent Certificate of Occupancy.

The record information presented herein is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

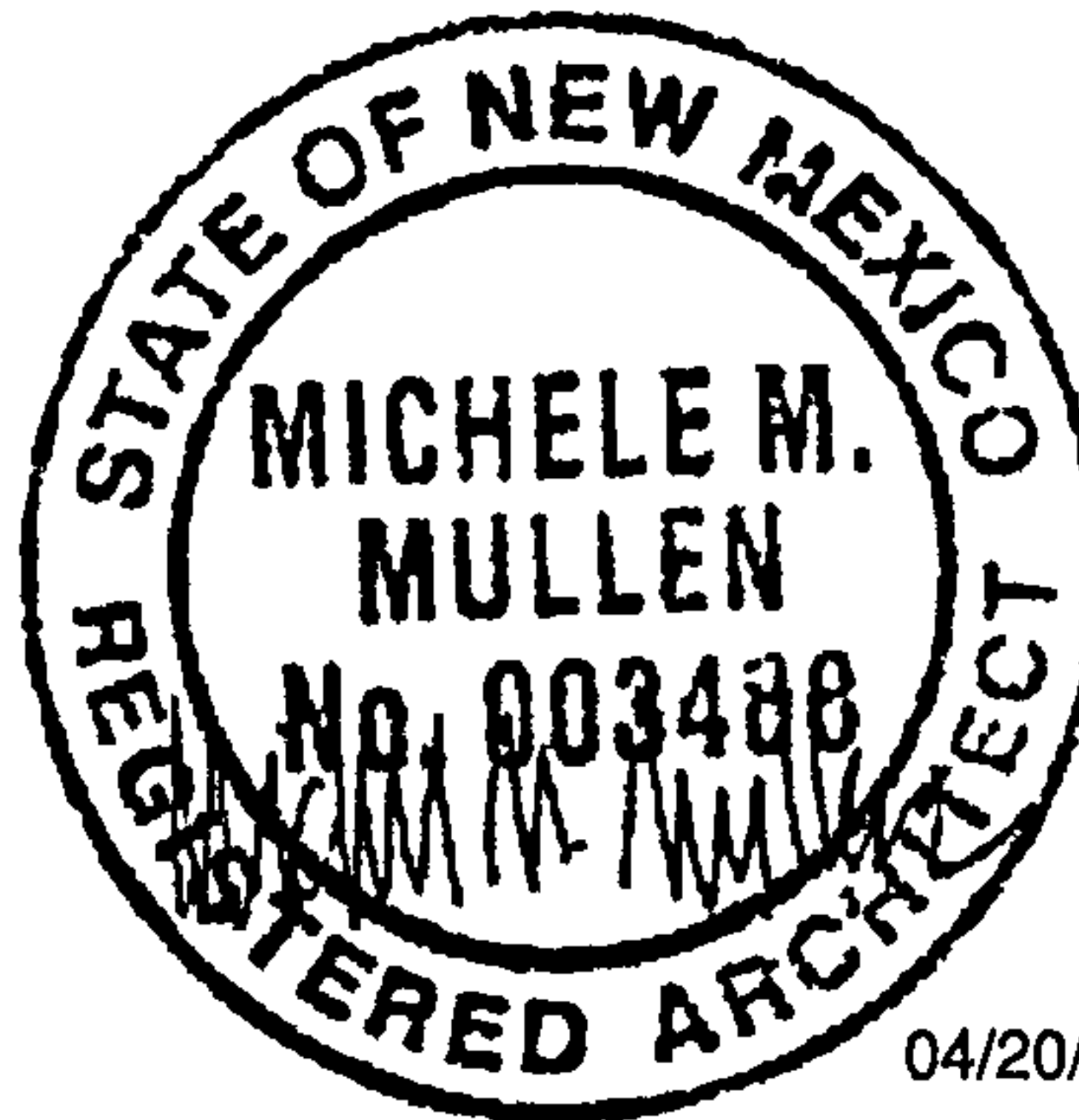
Please feel free to contact me if you have any questions.

Sincerely,

Mullen Heller Architecture PC

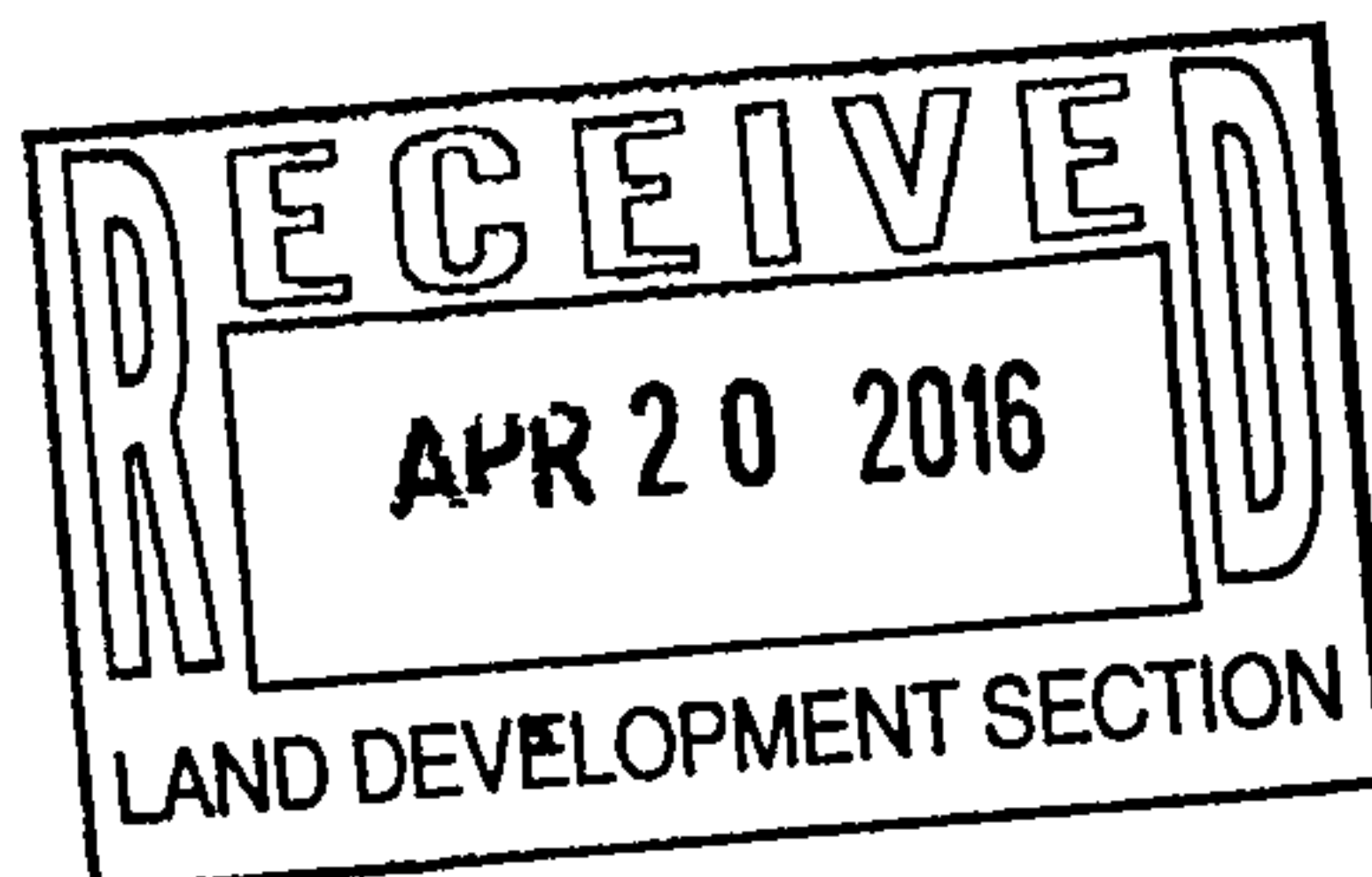


Michele Mullen, AIA



04/20/2016

Attachments: Approved EPC/DRB Site Development Plan for Building Permit
(With Redlines)
Approved Administrative Amendment
(Provided for Reference Only with Minor Redlines)
Photographs of Existing Construction Equipment to Remain
(Provided for Reference Only)
Previous Approved Site Certification Letter for Lot 4 of the Country Club
Plaza Subdivision (Provided for Reference Only)



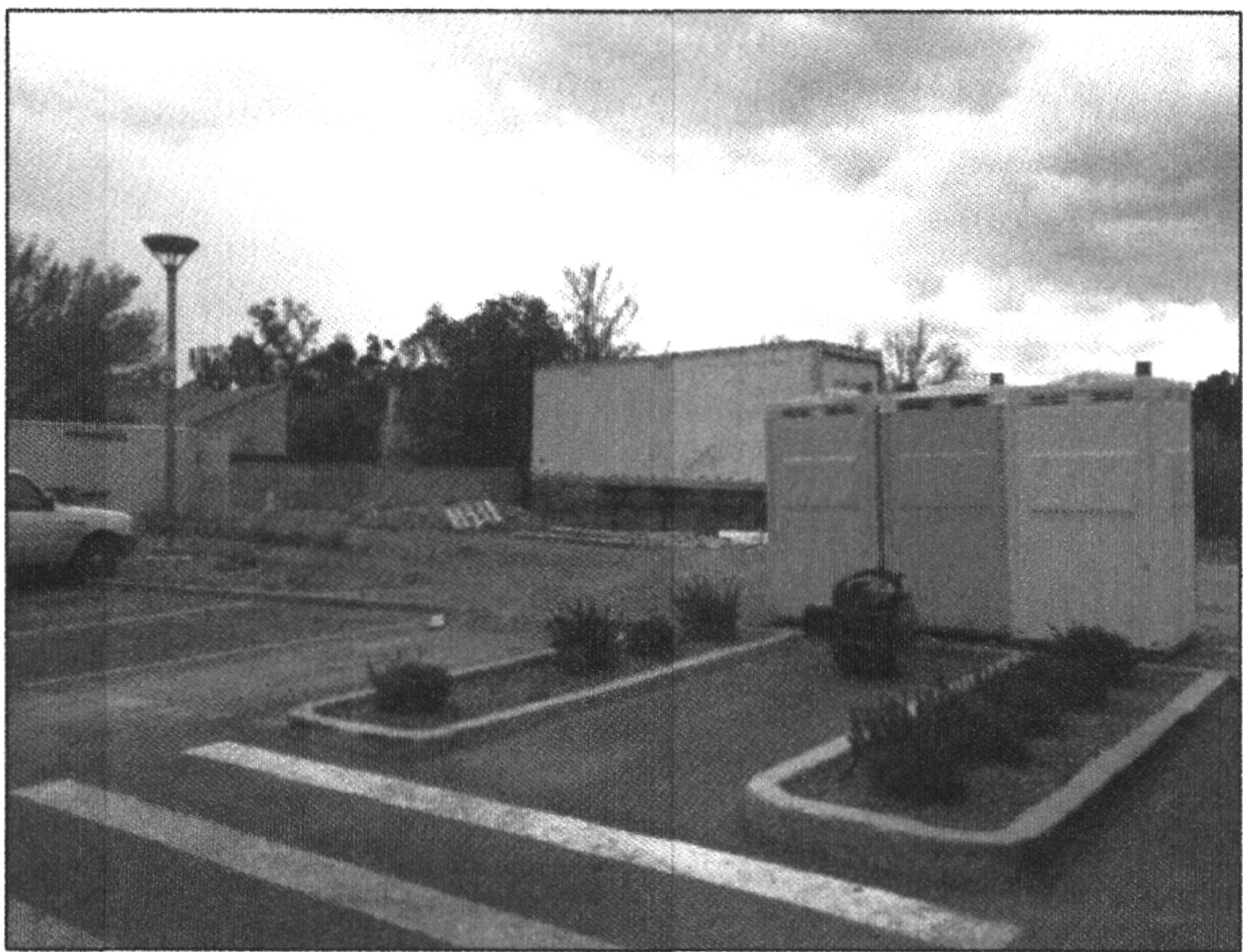
Site Photographs:



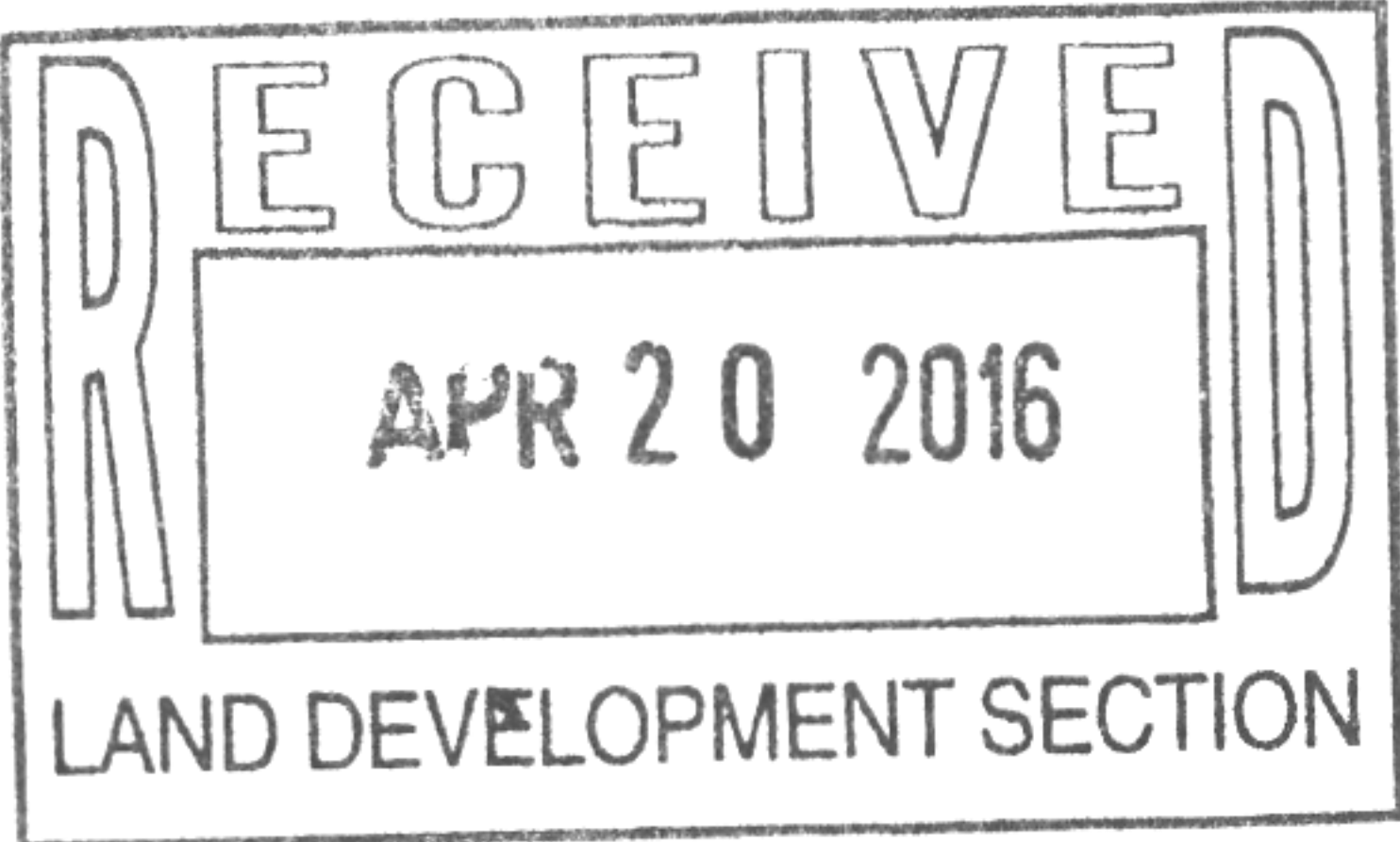
The existing construction waste dumpster will remain on-site but will be moved to the east end of the temporary parking area.



The existing construction trailer will remain in this location for use by the construction team. Its current location is within the temporary parking area; however, there is more parking provided than is required by the approved EPC/DRB site development plan.



Given the on-going construction on other tenant improvement projects on-site, the existing portable toilet units will be reduced to one and be relocated to a position adjacent to the dumpster/compacter enclosure. It will not obstruct access to any component of the site. The debris and trailer shown beyond will be removed from the site.



June 10, 2015

Racquel Michel, P.E., Transportation Development
Planning Department
Development and Building Services Division
City of Albuquerque
600 2nd Street NW.
Albuquerque, NM 87102

Re: **Permanent Certificate of Occupancy for
Country Club Plaza – Commercial Building 1
Address: 1718 Central Avenue SW., Albuquerque, NM. 87104**

Dear Ms. Racquel Michel:

I, Douglas Heller, NMRA of Mullen Heller Architecture P.C., hereby certify that this project is in substantial compliance with and in accordance with the design intent of Approved EPC/DRB Site Development Plan approved October 10, 2013 (Project #1004677). The attached Site Development Plan also shows "redlined" the revised phase line on the south side parking of Building One (1) on Lot 4 of Country Club Plaza Subdivision.

This certification pertains only to Building One (1) of this development, as approved by the EPC/DRB and as "redlined" on attached Site Development Plan for Building Permit. I further certify that I have personally visited the project site on June 10, 2015 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Engineer's Certification (DRB Site Plan) for Permanent Certificate of Occupancy.

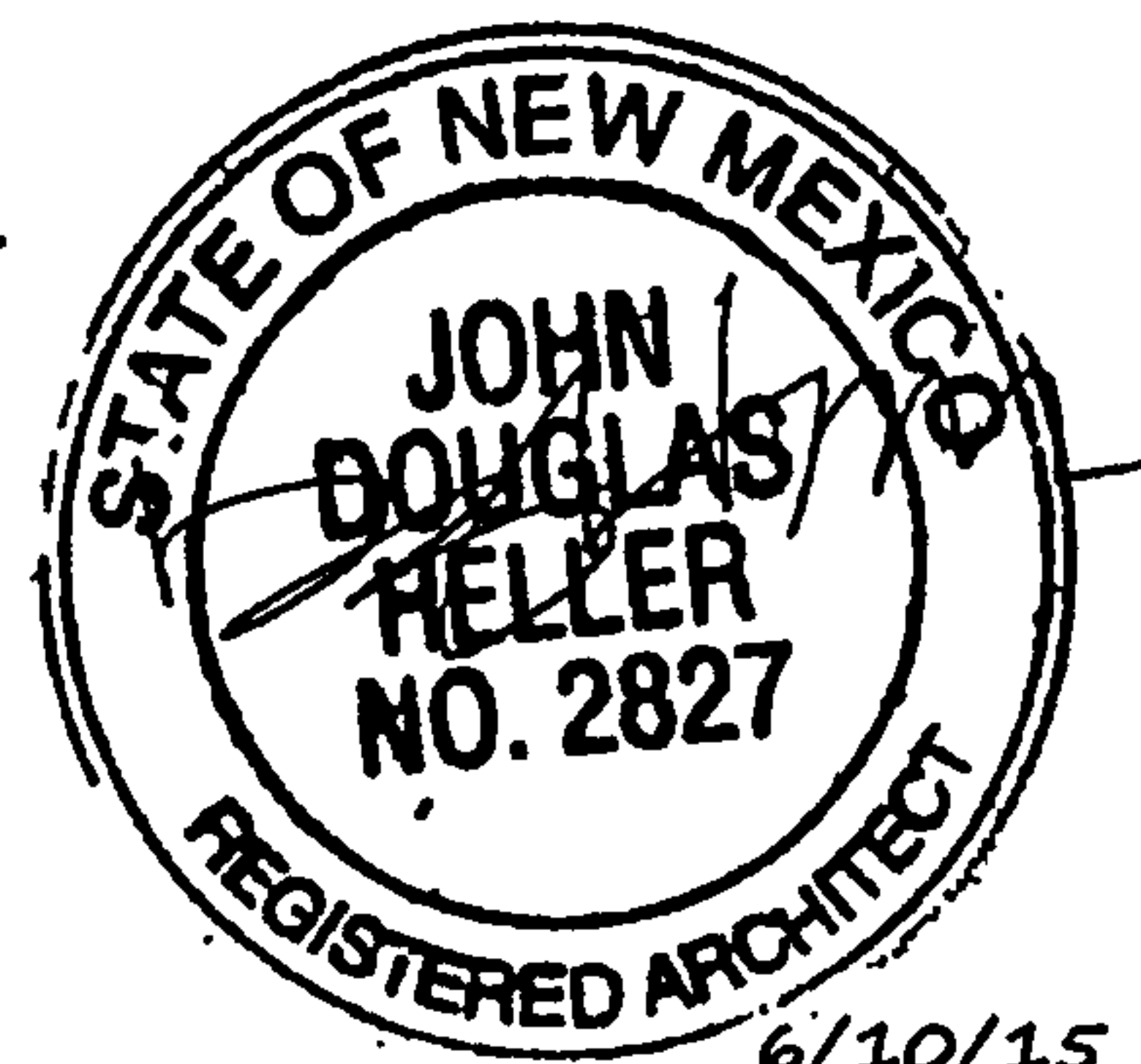
The record information presented herein is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Please feel free to contact me if you have any questions.

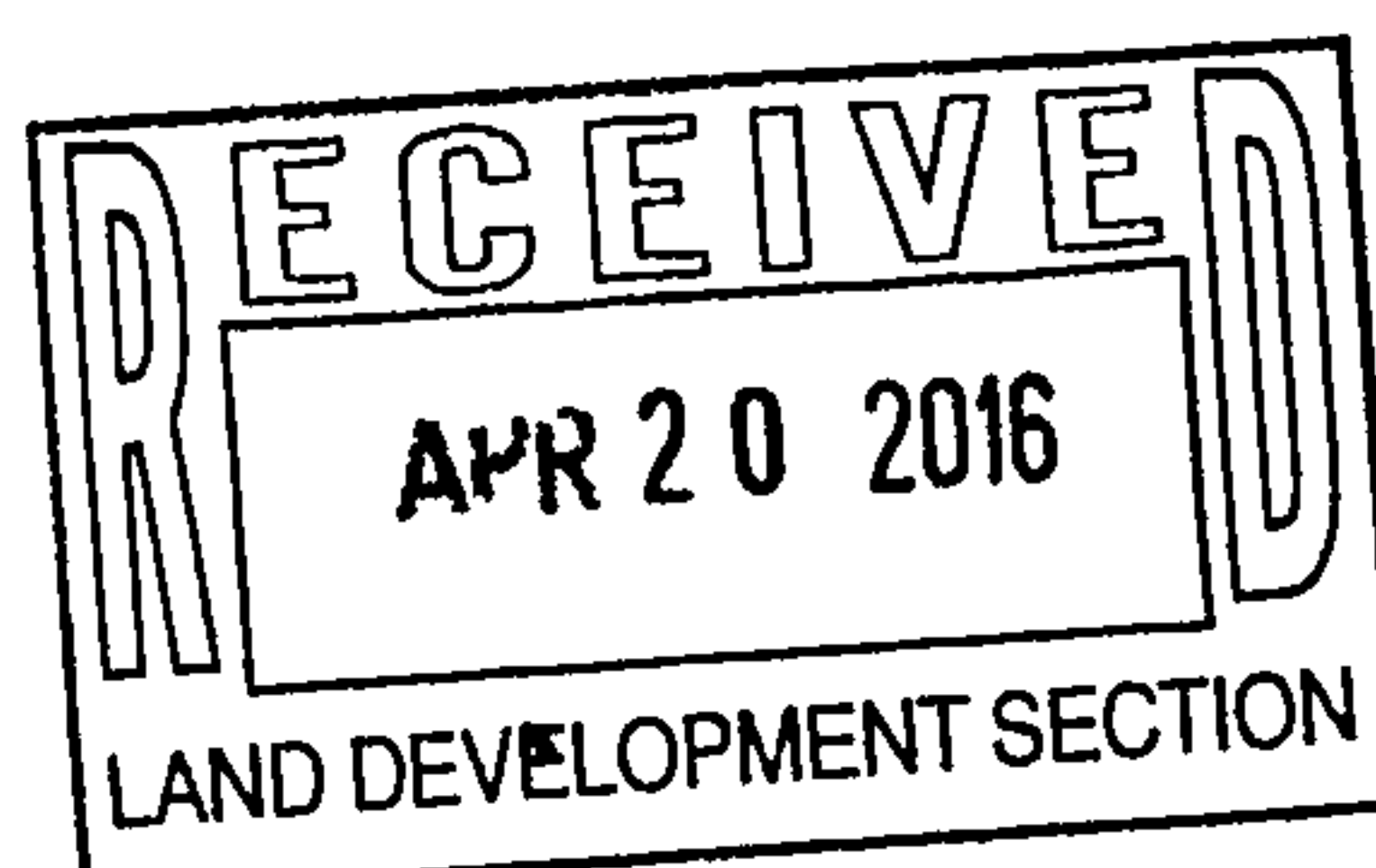
Sincerely,
Mullen Heller Architecture PC



Douglas Heller, AIA
Attachment: Approved EPC/DRB Site Development Plan for Building Permit (with redlines)



6/10/15



Mullen Heller
Architecture P.C.

924 Park Avenue SW Suite B ■ Albuquerque, NM 87102
505.268.4144 [p] ■ 505.268.4244 [f] ■ www.mullenheller.com



TRANSMITTAL LETTER

PROJECT: Country Club Plaza–Commercial Bldg 2
1700 Central Avenue SW.
Albuquerque, New Mexico 87104

Project No.: 13-34
Date: April 20, 2016

TO: City of Albuquerque – Transportation Development
Planning Department
Development & Building Services Division
600 2nd Street, NW.
Albuquerque, NM 87102

ATTN: Racquel Michel, P.E. – Traffic Engineer
CC: File

Phone #: (505) 924-3991

SIGNED: Mullen Heller Architecture, P.C.
c/o Michael Salvador & Sandy Johnson

WE TRANSMIT:

- ☒ HEREWITH
☐ UNDER SEPARATE COVER
☐ IN ACCORDANCE WITH
YOUR REQUEST

FOR YOUR:

- ☐ APPROVAL
☒ REVIEW AND COMMENT
☐ RECORD
☐ USE

THE FOLLOWING:

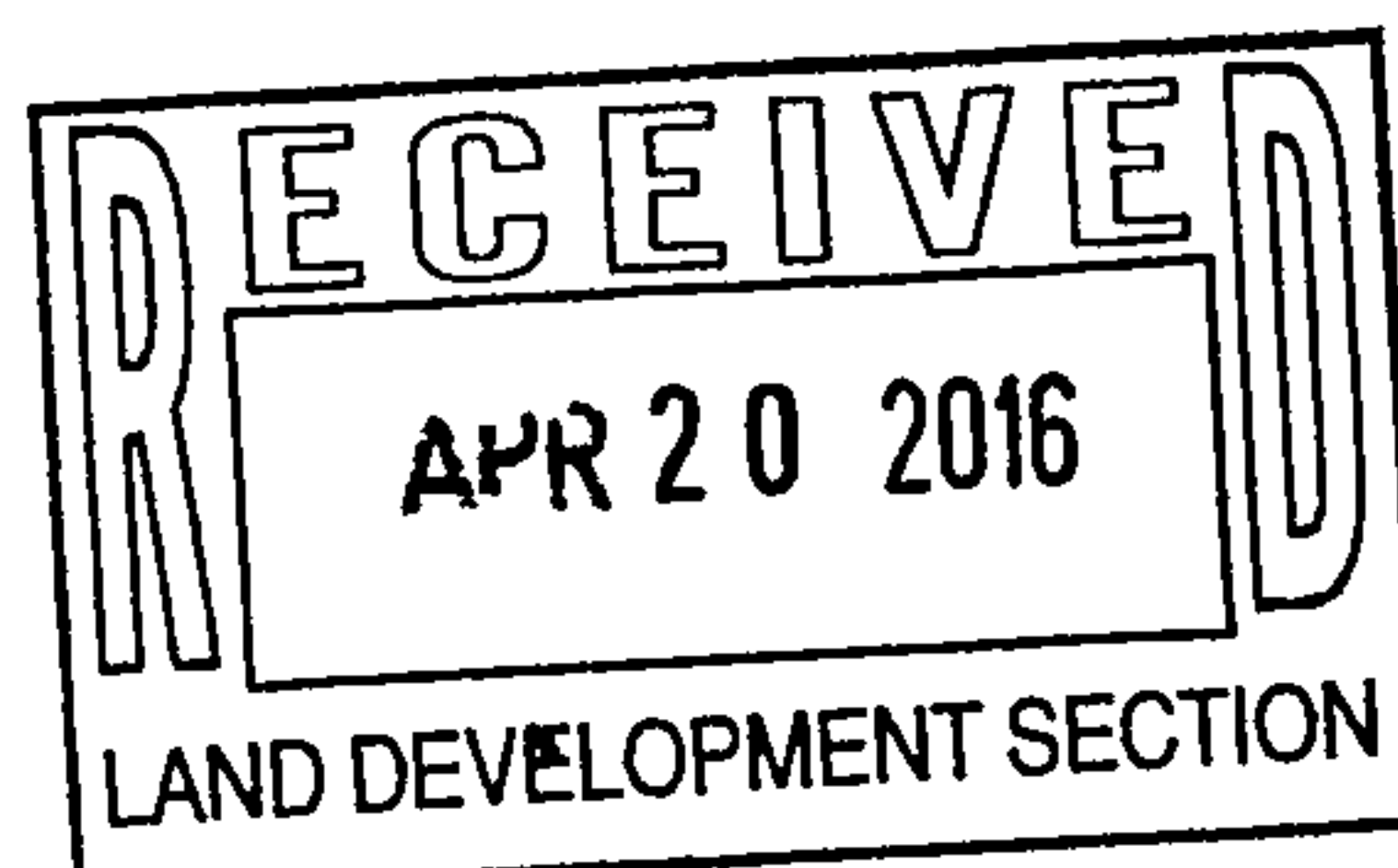
- ☐ DRAWINGS
☐ LETTER(S)
☐ SHOP DRAWINGS
☒ OTHER – **Engineer's Cert.**

VIA:

- ☐ REGULAR MAIL
☐ FEDERAL EXPRESS
☐ FAX
☒ HAND PICKUP/DELIVERY

COPIES	DATE	DESCRIPTION
1 copy	04/20/16	Engineer's Certification (DRB Site Plan) for Permanent Certificate of Occupancy

REMARKS



Mullen Heller Architecture PC

1718 Central Avenue SW | Suite D | Albuquerque NM 87104
505 268 4144 [p] 505 268 4244 [f]

Ortiz, Monica

J/3 D010

From: Ortiz, Monica
Sent: Wednesday, July 13, 2016 8:59 AM
To: Cordova, Camille C.; Sandoval, Darlene M.; Miranda, Rachel; Serna, Yvette M.
Cc: Sandoval, Gary L.; Michel, Racquel M.; 'shiree@mullenheller.com'
Subject: BLDG#201690295

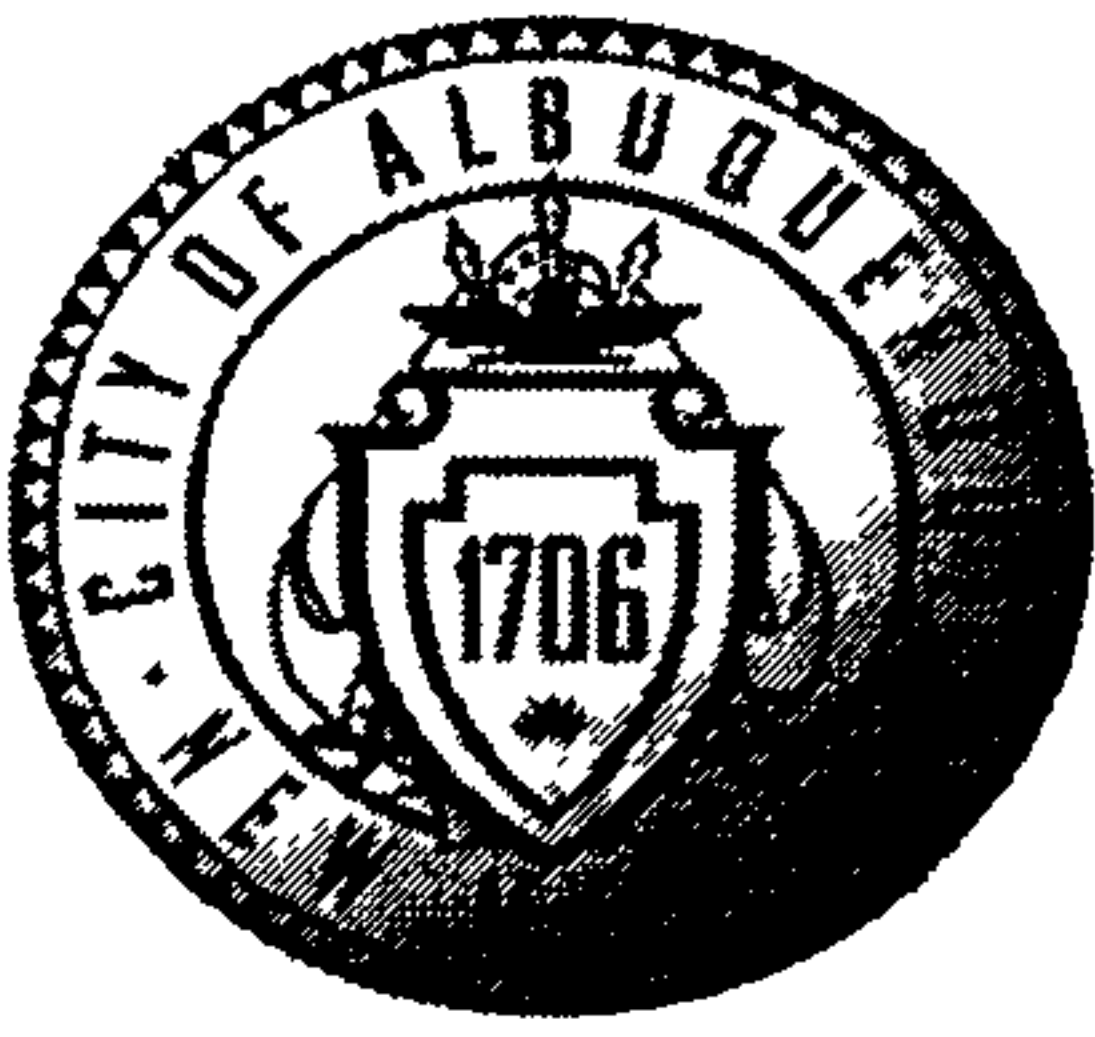
Good morning all,

Building permit #201690295 may be released for permanent TCL-CO by transportation. The building permit was only a tenant improvement within the existing building which already had a CO for the shell. The only outstanding CO we should have for this site is a temporary 180-day issued for the future building coming in on the south end of the property pending the construction of a parking lot in phase 1. If you have any questions please feel free to give me a call. Thanks

Monica Ortiz

Planning Department – Transportation & Hydrology
Development & Building Services Division
600 2nd St. NW, Suite 201
Albuquerque, NM 87102
t 505-924-3981
f 505-924-3864

Shiree@mullenheller.
Cam



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Country Club Plaza – Existing Building B Building Permit #: T201690295 City Drainage #: J13D010
DRB#: _____ EPC#: 13EPC-40139 Work Order#: _____
Legal Description: Lot 1 of Country Club Plaza Subdivision
City Address: 1720 Central Avenue SW., Suite B, Albuquerque, NM. 87104

Engineering Firm: Mark Goodwin & Associates, P.A Contact: Diane Hoelzer
Address: 8916-B Adams Street, NE., Albuquerque, NM 87113
Phone#: 505-828-2200 Fax#: _____ E-mail: diane@goodwinengineers.com

Owner: Rembe Country Club LLC. Contact: Jay Rembe
Address: 1718 Central SW, Suite A, Albuquerque, NM. 87104
Phone#: 505-453-7164 Fax#: _____ E-mail: rembe@rembedesign.com

Architect: Mullen Heller Architecture P.C Contact: Michele Mullen
Address: 924 Park Avenue SW, Suite B Albuquerque, NM 87102
Phone#: 505-268-4144 Fax#: _____ E-mail: michele@mullenheller.com

Surveyor: Construction Survey Technologies, INC. Contact: John Gallegos
Address: P.o. Box 65395 Albuquerque, NM 87193
Phone#: 505-917-8921 Fax#: _____ E-mail: johnagallegos73@gmail.com

Contractor: Insight Construction Contact: Damian Chimenti
Address: 3909 12th Street, Albuquerque, NM 87107
Phone#: 505-888-7927 Fax#: _____ E-mail: damian@insightnm.com

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☒ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY)

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED: ☐ Yes ☒ No ☐ Copy Provided

DATE SUBMITTED: April 20, 2016 By: Doug Heller

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

TCL-CO not req'd for BLDG# 201690295 see email attached. Monica

TRANSMITTAL LETTER

PROJECT: Country Club Plaza–Existing Building B
1720 Central Avenue SW., Suite B
Albuquerque, New Mexico 87104

Project No.: 15-36
Date: July 12, 2016

TO: City of Albuquerque – Transportation Development
Planning Department
Development & Building Services Division
600 2nd Street, NW.
Albuquerque, NM 87102

ATTN: Gary Sandoval – Traffic Engineer
CC: File

Phone #: (505) 924-3991

SIGNED: Mullen Heller Architecture, P.C.
c/o Shiree McKenzie

WE TRANSMIT:

- ☒ HEREWITH
☐ UNDER SEPARATE COVER
☐ IN ACCORDANCE WITH
YOUR REQUEST

FOR YOUR:

- ☐ APPROVAL
☒ REVIEW AND COMMENT
☐ RECORD
☐ USE

THE FOLLOWING:

- ☐ DRAWINGS
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VIA:

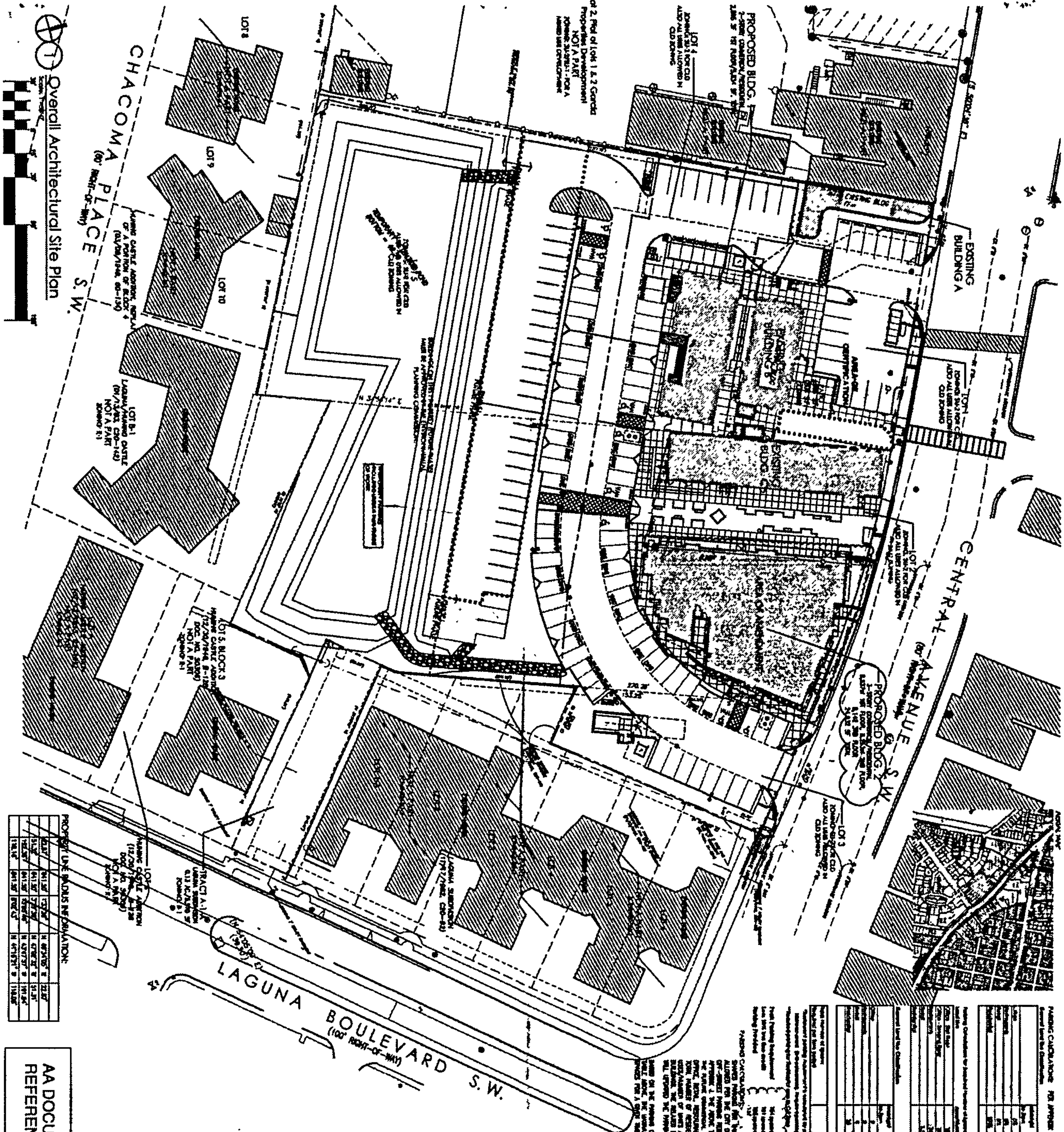
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REMARKS

Mullen Heller Architecture PC

1718 Central Avenue SW | Suite D | Albuquerque NM 87104
505 268 4144 [p] 505 268 4244 [f]



PROPOSED LOT SIZES INFORMATION:

Lot	Area (sq. ft.)	Area (sq. m.)
LOT 1	10,000	929
LOT 2	10,000	929
LOT 3	10,000	929
LOT 4	10,000	929
LOT 5	10,000	929
LOT 6	10,000	929
LOT 7	10,000	929
LOT 8	10,000	929
LOT 9	10,000	929
LOT 10	10,000	929
LOT 11	10,000	929
LOT 12	10,000	929
LOT 13	10,000	929
LOT 14	10,000	929
LOT 15	10,000	929
LOT 16	10,000	929
LOT 17	10,000	929
LOT 18	10,000	929
LOT 19	10,000	929
LOT 20	10,000	929

AA DOCUMENT PROVIDED FOR
REFERENCE ONLY.

ADMINISTRATIVE RECORDS, N.I.
FILE # 1000, PROJECT # 100000
DATE OF ISSUE TO BLDG 2: 05/01/2015
DATE: 05/01/2015

AA-A001

Country Club Plaza - Site Construction
SWC of Central Avenue and Laguna Boulevard
Albuquerque, New Mexico 87102
Overall Architectural Site Plan-AA BLDG 2

12-11
down by: MPA
project manager: Michele Muller, AIA
date: 05/01/2015

Mullen Heller
Architectural P.C.
924 Park Avenue SW
Albuquerque, NM 87102
505.266.4141
505.266.4244

revision: 12
date: 05/01/2015

LANDING CALCULATIONS: 700 APPROX. 1/2 IN. CO. COMPENSATION ZONE CODE

Lot	Area (sq. ft.)	Area (sq. m.)
LOT 1	10,000	929
LOT 2	10,000	929
LOT 3	10,000	929
LOT 4	10,000	929
LOT 5	10,000	929
LOT 6	10,000	929
LOT 7	10,000	929
LOT 8	10,000	929
LOT 9	10,000	929
LOT 10	10,000	929
LOT 11	10,000	929
LOT 12	10,000	929
LOT 13	10,000	929
LOT 14	10,000	929
LOT 15	10,000	929
LOT 16	10,000	929
LOT 17	10,000	929
LOT 18	10,000	929
LOT 19	10,000	929
LOT 20	10,000	929

EXISTING BUILDING A
EXISTING BUILDING B
EXISTING BUILDING C
EXISTING BUILDING D
EXISTING BUILDING E
EXISTING BUILDING F
EXISTING BUILDING G
EXISTING BUILDING H
EXISTING BUILDING I
EXISTING BUILDING J
EXISTING BUILDING K
EXISTING BUILDING L
EXISTING BUILDING M
EXISTING BUILDING N
EXISTING BUILDING O
EXISTING BUILDING P
EXISTING BUILDING Q
EXISTING BUILDING R
EXISTING BUILDING S
EXISTING BUILDING T
EXISTING BUILDING U
EXISTING BUILDING V
EXISTING BUILDING W
EXISTING BUILDING X
EXISTING BUILDING Y
EXISTING BUILDING Z

July 12, 2016

Gary Sandoval Transportation Development
Planning Department
Development and Building Services Division
City of Albuquerque
600 2nd Street NW.
Albuquerque, NM 87102

Re: **Permanent Certificate of Occupancy for
Country Club Plaza – Existing Building "B" Suite B
Address: 1720 Central Avenue SW., Albuquerque, NM. 87104**

Dear Mr. Gary Sandoval:

I, Doug Heller, NMRA of Mullen Heller Architecture P.C., hereby certify that this project is in substantial compliance with and in accordance with the design intent of Approved EPC/DRB Site Development Plan dated October 10, 2013 (Project #1004677). The site was previously certified by me on June 10, 2015, and the only element not certified was the temporary parking at the south side of the development. A 180-Day Temporary Certificate of Occupancy – Transportation Development was issued for the site on April 27, 2016.

This certification pertains only to Existing Building "B" of this development, as approved by the EPC/DRB. I further certify that I have personally visited the project site on July 12, 2016 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief.

In addition, given the timeframe for construction of the third building on Lot 5 of the Country Club Plaza Subdivision, the area designated on the Site Development Plan as asphalt-paved temporary parking was revised to compacted dirt with parking bumpers and a silt-control fence at the rear boundary on the west side of the site. This was done to alleviate the costs to the owner to install paving that will be removed for construction within 6 months of initial installation. Furthermore, per the existing location of the construction trailer, 3 of the 30 temporary spaces cannot be provided at this time. However, the approved EPC/DRB Site Development Plan requires 121 spaces, and the development is providing 132 spaces despite the loss of those 3 parking spaces. Therefore, the development is in compliance with the parking requirements. Furthermore, Existing Building "B" was not required to provide parking per the approved EPC/DRB and building permit as it was constructed prior to October 22, 1965 (Zoning Code 14-16-3-1).

This certification is submitted in support of a request for Engineer's Certification (DRB Site Plan) for Permanent Certificate of Occupancy.

The record information presented herein is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Please feel free to contact me if you have any questions.

Mullen Heller
Architecture P.C.

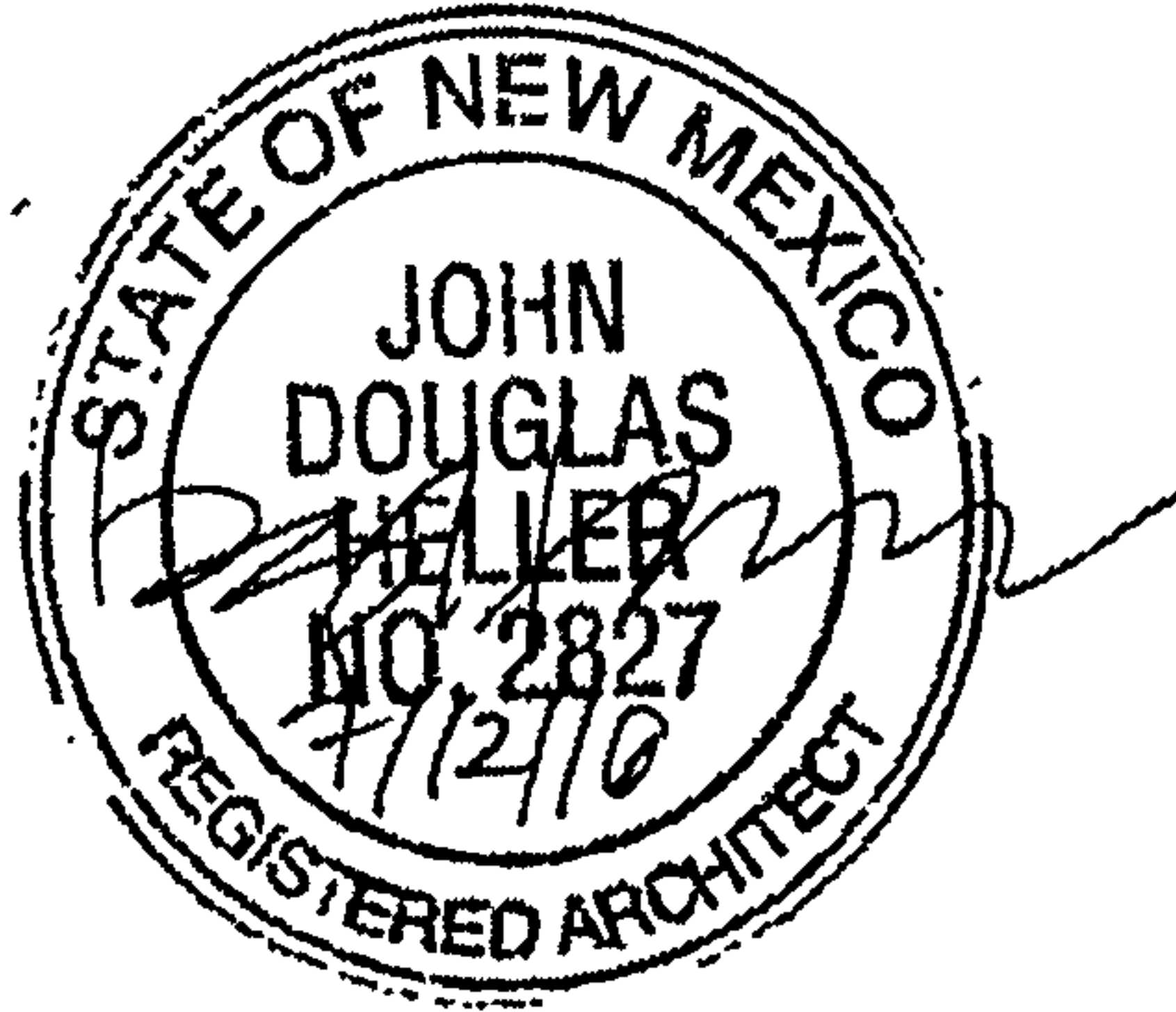
1718 Central Ave SW, Suite D ■ Albuquerque, NM 87104
■ 505.268.4144 [p] ■ www.mullenheller.com



Sincerely,
Mullen Heller Architecture PC



Doug Heller, AIA



Attachments: Approved EPC/DRB Site Development Plan for Building Permit
(With Redlines)
Previous Approved Site Certification Letter for Lot 3 & Lot 4 of the Country
Club Plaza Subdivision
180-Day Temporary Certificate of Occupancy – Transportation
Development issued for the site on April 27, 2016



June 10, 2015

Racquel Michel, P.E., Transportation Development
Planning Department
Development and Building Services Division
City of Albuquerque
600 2nd Street NW.
Albuquerque, NM 87102

Re: **Permanent Certificate of Occupancy for
Country Club Plaza – Commercial Building 1
Address: 1718 Central Avenue SW., Albuquerque, NM. 87104**

Dear Ms. Racquel Michel:

I, Douglas Heller, NMRA of Mullen Heller Architecture P.C., hereby certify that this project is in substantial compliance with and in accordance with the design intent of Approved EPC/DRB Site Development Plan approved October 10, 2013 (Project #1004677). The attached Site Development Plan also shows "redlined" the revised phase line on the south side parking of Building One (1) on Lot 4 of Country Club Plaza Subdivision.

This certification pertains only to Building One (1) of this development, as approved by the EPC/DRB and as "redlined" on attached Site Development Plan for Building Permit. I further certify that I have personally visited the project site on June 10, 2015 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Engineer's Certification (DRB Site Plan) for Permanent Certificate of Occupancy.

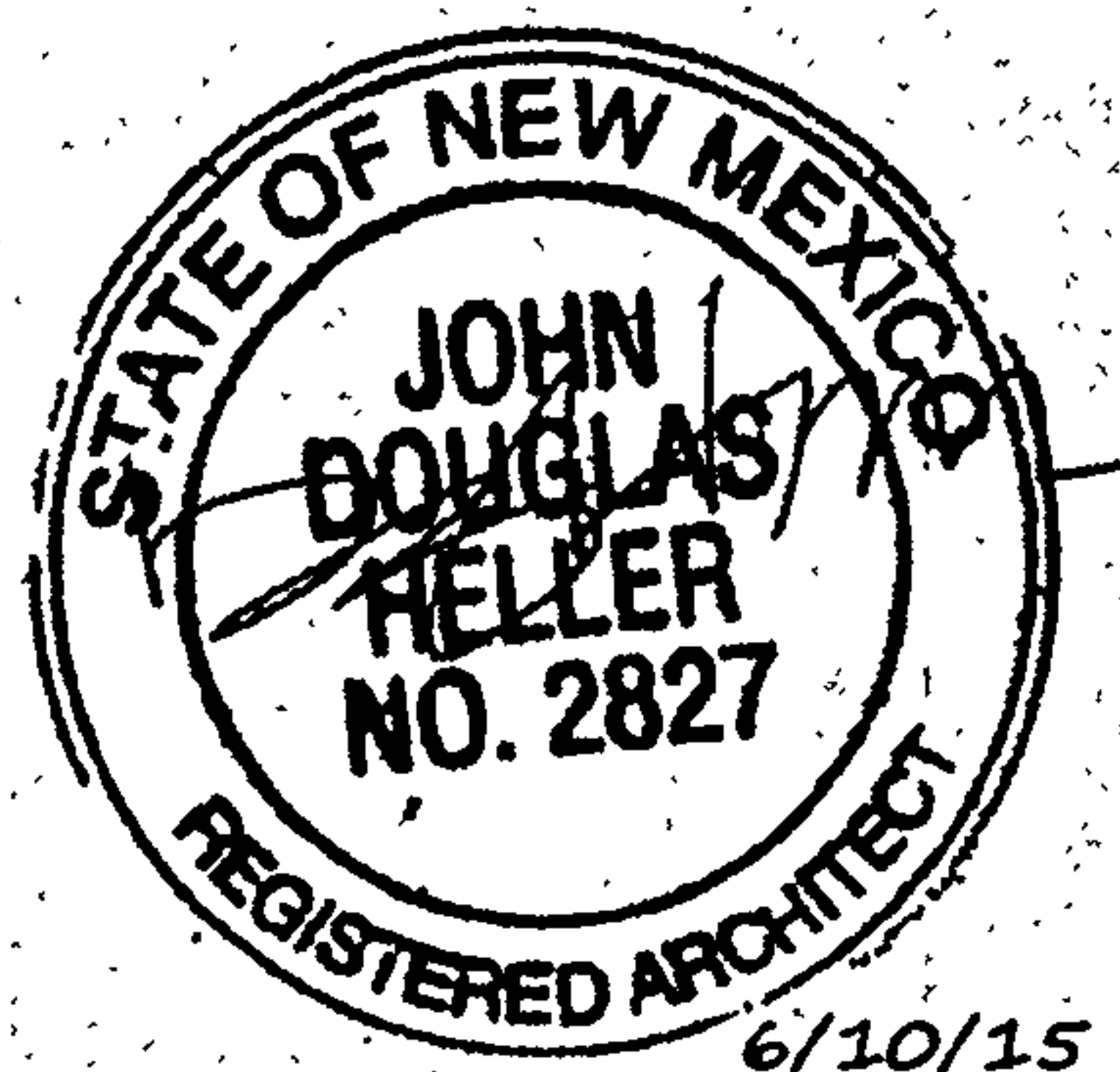
The record information presented herein is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Please feel free to contact me if you have any questions.

Sincerely,
Mullen Heller Architecture PC



Douglas Heller, AIA
Attachment: Approved EPC/DRB Site Development Plan for Building Permit (with redlines)



April 20, 2016

Racquel Michel, P.E., Transportation Development
Planning Department
Development and Building Services Division
City of Albuquerque
600 2nd Street NW.
Albuquerque, NM 87102

Re: **Permanent Certificate of Occupancy for
Country Club Plaza – Commercial Building 2
Address: 1700 Central Avenue SW., Albuquerque, NM. 87104**

Dear Ms. Racquel Michel:

I, Michele Mullen, NMRA of Mullen Heller Architecture P.C., hereby certify that this project is in substantial compliance with and in accordance with the design intent of Approved EPC/DRB Site Development Plan dated October 10, 2013 (Project #1004677) and Approved Administrative Amendment (AA# 15AA-10061) dated May 27, 2015. The site was previously certified by Doug Heller of MHA on June 10, 2015, and the only element not certified was the temporary parking at the south side of the development. The attached Site Development Plan and AA also show the "redlined" revisions made to the site plan per construction coordination of Building Two (2) on Lot 3 of Country Club Plaza Subdivision.

This certification pertains only to Building Two (2) of this development, as approved by the EPC/DRB, AA, and as "redlined" on attached Site Development Plan for Building Permit. I further certify that I have personally visited the project site on April 15, 2016 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief.

Given the on-going tenant improvement construction of two other projects on-site (COA Permit No. T2016-90144 & T2016-90295), some items will need to remain on-site, including the construction waste dumpster, construction trailer, and portable bathroom unit(s). These remaining items will be relocated as required to provide public access to all portions of the site, including a 24' wide drive aisle to the temporary parking. All other construction items have been removed from the site as required. Please refer to the photographs attached to this letter that illustrate the locations of the existing construction items that will remain on-site.

In addition, given the timeframe for construction of the third building on Lot 5 of the Country Club Plaza Subdivision, which will be submitted to the ZHE and EPC in the coming weeks, the area designated on the Site Development Plan as asphalt-paved temporary parking was revised to compacted dirt with parking bumpers and a silt-control fence at the rear boundary on the west side of the site. This was done to alleviate the costs to the owner to install paving that will be removed for construction within 6 months of initial installation. Furthermore, per the existing location of the construction trailer, 3 of the 30 temporary spaces cannot be provided at this time. However, the approved EPC/DRB Site Development Plan requires 121 spaces, and the development is providing 132 spaces despite the loss of those 3 parking spaces. Therefore, the development is in compliance with the parking requirements.

Mullen Heller
Architecture P.C.

1718 Central Ave SW, Suite D ■ Albuquerque, NM 87104
■ 505.268.4144 [p] ■ www.mullenheller.com



This certification is submitted in support of a request for Engineer's Certification (DRB Site Plan) for Permanent Certificate of Occupancy.

The record information presented herein is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

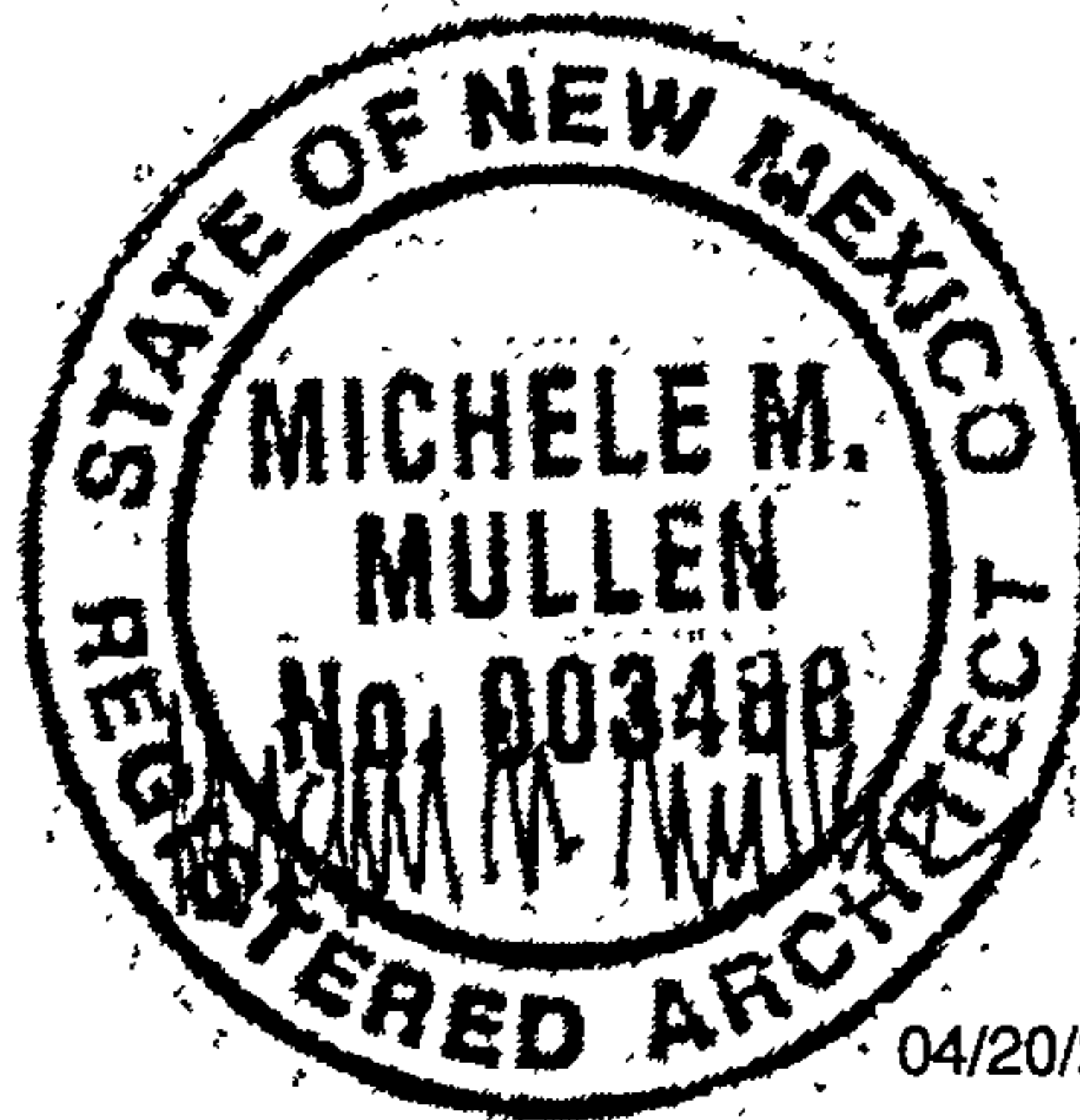
Please feel free to contact me if you have any questions.

Sincerely,

Mullen Heller Architecture PC



Michele Mullen, AIA

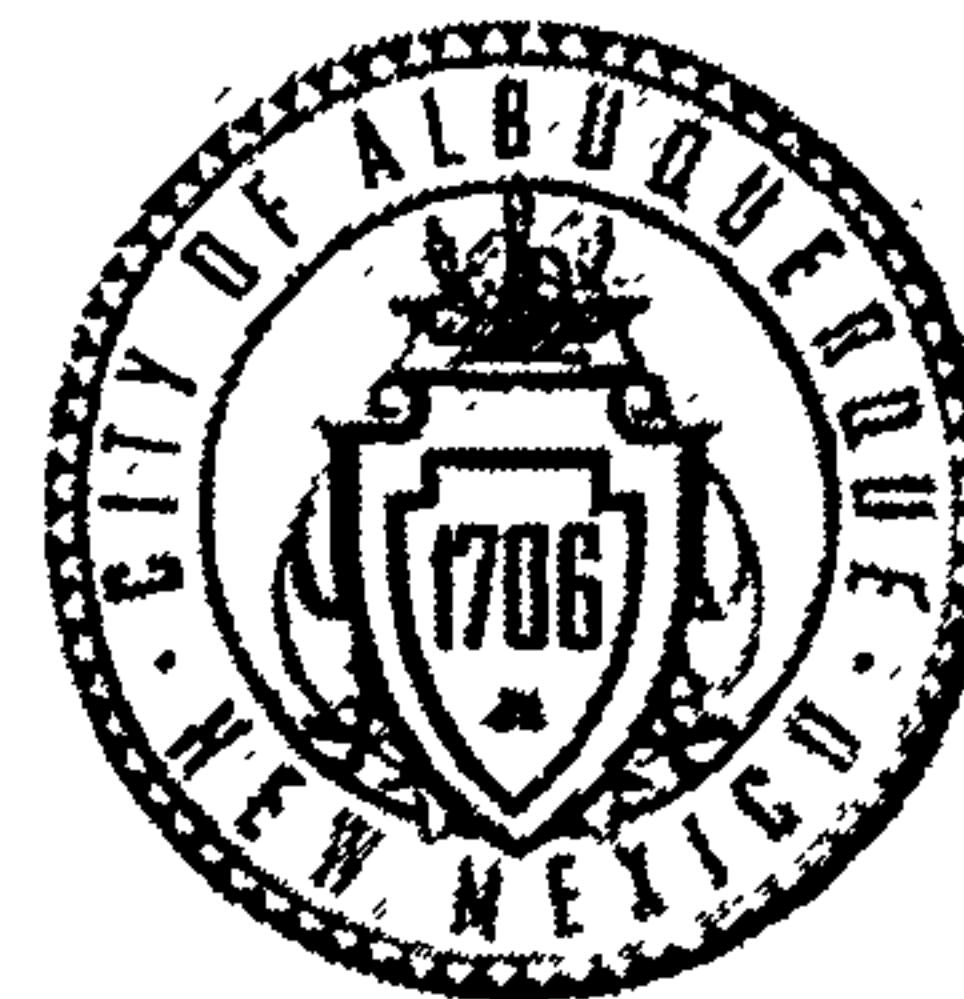


04/20/2016

Attachments: Approved EPC/DRB Site Development Plan for Building Permit
(With Redlines)
Approved Administrative Amendment
(Provided for Reference Only with Minor Redlines)
Photographs of Existing Construction Equipment to Remain
(Provided for Reference Only)
Previous Approved Site Certification Letter for Lot 4 of the Country Club
Plaza Subdivision (Provided for Reference Only)



CITY OF ALBUQUERQUE



April 27, 2016

Michele Mullen
Mullen Heller Architecture, P.C.
924 Park Ave., SW
Albuquerque, NM 87102

Re: Country Club Plaza – Commercial Building 2
1700 Central SW
180-Day Temporary Certificate of Occupancy- Transportation
Development
Administrative Amendment dated 5-27-15 (J13-D010)
Certification dated 4-20-16

Dear Ms. Mullen,

Based upon the information provided in your submittal received 4-20-16, Transportation Development has no objection to the issuance of a 180-day Temporary Certificate of Occupancy. This letter serves as a “green tag” from Transportation Development for a 180-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

- Completion of Phase 2 parking lot.

Once corrections are complete resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. For digital submittal and minor comments and/or repairs, please submit photos to PLNDRS@cabq.gov prior to submittal. If you have any questions, please contact me at (505) 924-3991.

Sincerely,

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

\gs via: email
C: CO Clerk, File

