

PARKING CALCULATIONS: PER APPENDIX J IN THE COA COMPREHENSIVE ZONING CODE						
General Land Use Classification						
Land Use	Weekdays		Weekends		Total	
	midnight to 7am	7am to 6pm	midnight to 7am	7am to 6pm	midnight to 7am	7am to 6pm
Office	0%	100%	0%	100%	0%	100%
Restaurants	0%	80%	100%	0%	60%	100%
Retail	0%	80%	50%	0%	100%	10%
Residential	100%	20%	100%	100%	80%	100%

Parking Calculations for Required Number of Spaces			
Land Use	Area/Number of Units	Parking Requirements	Required parking
Office - First Floor	3200	200 /sf	16
Office - Second Floor	3200	300 /sf	11
Restaurants	3200 +	45 /sf	80
Retail	9,583	200 /sf	48
Residential	25	1 **/unit	25

General Land Use Classification						
Land Use	Weekdays		Weekends		Total	
	midnight to 7am	7am to 6pm	midnight to 7am	7am to 6pm	midnight to 7am	7am to 6pm
Office	0	27	1	0	3	3
Restaurants	0	64	80	0	40	60
Retail	0	38	24	0	48	5
Residential	25	5	25	25	20	25

Total Number of Spaces			
Required per time period	25	134	130
Required per time period	25	134	130

\*Restaurant parking requirement is calculated by assuming, for a 6,000sf facility, 60% is seating (3,600sf) divided by 15sf/occupant (240 occupants). Required parking for a full-service liquor establishment is 1 space/3 occupants (80).

\*\*Required parking for Residential uses in C-1 Zone

**PEAK PARKING REQUIREMENT**  
Less 10% bus line credit  
**Parking Provided**

**134 spaces**  
**121 spaces required**  
**135 spaces**

**PARKING CALCULATIONS:**  
SHARED PARKING FOR THIS DEVELOPMENT IS ALLOWED PER THE CITY OF ALBUQUERQUE OFF-STREET PARKING REGULATIONS (14-16-3-1) APPENDIX J. THE ABOVE TABLE ASSUMES USES OF THE FUTURE COMMERCIAL BUILDINGS (SUCH AS OFFICE, RETAIL, RESTAURANT) AS WELL AS THE TOTAL NUMBER OF RESIDENTIAL UNITS. ONCE THE USES/NUMBER OF UNITS ARE CONFIRMED FOR ALL BUILDINGS, THE RELATED BUILDING PERMIT SUBMITTAL WILL UPDATE THE PARKING CALCULATIONS.

BASED ON THE PARKING CALCULATIONS IN THE TABLE ABOVE, THE MAXIMUM NUMBER OF REQUIRED SPACES FOR A GIVEN TIME FRAME IS 134.

**EXISTING BUILDINGS:**  
NO PARKING IS REQUIRED FOR EXISTING BUILDINGS ON LOT 1 AND LOT 2 PER CITY OF ALBUQUERQUE COMPREHENSIVE ZONING CODE OFF-STREET PARKING REGULATIONS (14-16-3-1). OFF-STREET PARKING SHALL BE PROVIDED FOR ALL USES AND BUILDINGS, EXCEPT BUILDINGS CONSTRUCTED BEFORE OCTOBER 22, 1985 NEED SUPPLY SUCH PARKING ONLY TO THE EXTENT ON-PREMISE GROUND SPACE IS AVAILABLE.

**TRANSIT REDUCTIONS:**  
134 SPACES REQ'D x 10% REDUCTION = 134 x 10% = 13.4 TOTAL SPACES REQUIRED  
134 x 10% = 121 TOTAL SPACES REQUIRED

**TOTAL PARKING SPACES REQUIRED = 121 SPACES**  
**TOTAL PARKING SPACES PROVIDED = 135 SPACES**

**COMPACT PARKING CALCULATION:**  
121 REQ'D SPACES x 33% = 40 SPACES ALLOWED  
TOTAL COMPACT SPACES = 38 SPACES PROVIDED

**DISABLED PARKING REQUIREMENTS:**  
TOTAL DISABLED SPACES REQUIRED = 8 SPACES  
TOTAL DISABLED SPACES PROVIDED = 8 SPACES

**MOTORCYCLE REQUIREMENTS:**  
TOTAL MOTORCYCLE SPACES REQUIRED = 5 SPACES  
TOTAL MOTORCYCLE SPACES PROVIDED = 5 SPACES

**RESIDENTIAL BICYCLE REQUIREMENTS:**  
1 BICYCLE SPACE PER 2 DWELLING UNITS = 25 DWELLING UNITS/2 = 13 TOTAL SPACES REQUIRED

**COMMERCIAL BICYCLE REQUIREMENTS:**  
1 BICYCLE SPACE FOR EACH 20 PARKING SPACES = 121 PARKING SPACES/20 = 6 TOTAL SPACES REQUIRED

**TOTAL BICYCLE SPACES REQUIRED = 19 SPACES**  
**TOTAL BICYCLE SPACES PROVIDED = 20 SPACES**

- KEYED NOTES:**
- [1] PROPOSED CMU REFUSE ENCLOSURE WITH RECYCLING AREA ON LOT 3.
  - [2] EXISTING BUILDING TO REMAIN.
  - [3] PROPOSED TREE WELL, TYPICAL. SEE LANDSCAPING.
  - [4] PROPOSED LANDSCAPING.
  - [5] EXISTING CROSSWALK STRIPING.
  - [6] PROPOSED HANDICAP PARKING SIGN.
  - [7] PROPOSED STAMPED COLORED CONCRETE HANDICAP ASPECT.
  - [8] PROPOSED ASPHALT PAVING.
  - [9] PROPOSED SITE LIGHTING: HEIGHT TO BE 16'-0" MAX.
  - [10] PROPOSED BIKE RACK WITH 5 SPACES.
  - [11] PROPOSED CONCRETE SIDEWALK.
  - [12] PROPOSED ELECTRICAL TRANSFORMER WITH LANDSCAPING SCREENING.
  - [13] PROPOSED STAMPED COLORED CONCRETE PEDESTRIAN CONNECTION.
  - [14] PROPOSED PAINTED PARKING STRIPING.
  - [15] EXISTING FIRE HYDRANT TO REMAIN.
  - [16] PROPOSED CONCRETE CURB. SEE GRADING & DRAINAGE PLAN AND COA STD. DWG. 2415A.
  - [17] CONCRETE PATIO WITH TUBE STEEL FENCING.
  - [18] WATER/LANDSCAPING FEATURE. SEE LANDSCAPING.
  - [19] EXISTING POLE SIGN TO BE RECONSTRUCTED.
  - [20] EXISTING CITY CURB AND GUTTER.
  - [21] EXISTING BUS STOP TO REMAIN.
  - [22] PROPOSED HANDICAP RAMP.
  - [23] PROPOSED 20'-0" WATERLINE EASEMENT. SEE UTILITY PLAN.
  - [24] PROPOSED HANDICAP PARKING SIGNS. SEE DETAIL 10/SHEET 7. "VAN" WHERE NOTED.
  - [25] PROPOSED CONCRETE RECEIVING AREA WITH FENCE AND GATES (CLOSED TO PUBLIC).
  - [26] PROPOSED DRAINAGE INLET. SEE GRADING AND DRAINAGE.
  - [27] PROPOSED PLAZA WITH BENCH SEATING AND WATER FEATURE. SEE SHEET 8 FOR SEATING CALCULATION.
  - [28] PROPOSED CONCRETE DRIVEWAY (STD. DWG. 2426) AND RAMPS (STD. DWG. 2426) TO BE CONSTRUCTED TO COA STANDARDS.
  - [29] COMPACT PARKING SPACES 9'-0"x15'-0" WITH PAINTED "COMPACT CAR" PAVEMENT DESIGNATION.
  - [30] PROPOSED STUCCO RETAINING WALL. SEE CIVIL.
  - [31] PROPOSED 4'-0" WIDE x 8'-0" LONG MOTORCYCLE SPACES WITH SIGNAGE AT EACH SPACE.
  - [32] PROPOSED 100 SF. POLE SIGN. SEE SHEET 7.

**SITE DEVELOPMENT DATA:**  
PROPOSED LEGAL DESCRIPTION:  
LOTS 1 THRU 5, COUNTRY CLUB PLAZA SUBDIVISION AND TRACT A-1-A LAGUNA SUBDIVISION, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

**BUILDING ADDRESSES:**  
BLDG. A AND B (EXISTING): 1720 CENTRAL AVE. S.W. ALBUQUERQUE, N.M.  
BLDG. C (EXISTING): 1710 CENTRAL AVE. S.W. ALBUQUERQUE, N.M.

**LAND AREA:**  
3.37 ACRES (146,975 SQ. FT.)

**CURRENT ZONING:**  
SU-2/OLD (HUNTING CASTLE AND RAYNOLDS ADDITION NEIGHBORHOOD SECTOR DEVELOPMENT PLAN) FOR LOTS 1 THRU 5.

**R-1 (HUNTING CASTLE AND RAYNOLDS ADDITION NEIGHBORHOOD SECTOR DEVELOPMENT PLAN) FOR TRACT A-1-A**

**ZONE ATLAS PAGE:**  
J-13-2

**DEVELOPMENT PHASING:**  
**PHASE I:**  
PHASE I WILL INCLUDE THE RENOVATION OF THE EXISTING BUILDINGS A, B & C, THE PARKING LOT ON LOT 1, THE CONSTRUCTION OF PROPOSED BUILDING 1 AND THE MAIN DRIVE ASLE AND RELATED PARKING FROM THE SOUTH SIDE OF LOT 1 OUT TO CENTRAL AVENUE ON THE EAST SIDE OF LOT 3.

**PHASE II:**  
PHASE II WILL INCLUDE THE CONSTRUCTION OF BUILDING 2.

**PHASE III:**  
CONSTRUCTION OF BUILDINGS ON LOT 5 ONCE APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION.

**PROPOSED USES:**  
- ALL USES PERMITTED IN THE CLD ZONES FOR LOTS 1 THRU 5  
- ALL USES PERMITTED IN THE R-1 ZONES

**BUILDING AREAS:**  
EXISTING BUILDING A 1,467 SF.  
EXISTING BUILDING B 2,900 SF.  
EXISTING BUILDING C 4,216 SF.  
PROPOSED BUILDING 1 6,400 SF. TOTAL  
PROPOSED BUILDING 2 21,000 SF. TOTAL  
TOTAL BUILDING AREA = 35,983 SF.

**TOTAL PARKING SPACES REQUIRED = 121 SPACES**  
**TOTAL PARKING SPACES PROVIDED = 135 SPACES**

**TOTAL RESIDENTIAL:**  
25 TOTAL UNITS

**SITE DEVELOPMENT GENERAL NOTES:**  
[A] THE DESIGN STANDARDS INCLUDED IN THE AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION FOR THIS PROJECT SHALL GOVERN ALL EXISTING AND NEW BUILDINGS FOR LOTS 1 THRU 5 OF THIS DEVELOPMENT.  
[B] RECIPROCAL PARKING, INGRESS/EGRESS, ACCESS AND DRAINAGE EASEMENT FOR THE BENEFIT AND USE BY THE OWNERS OF LOTS 1 THRU 5, COUNTRY CLUB PLAZA AND TRACT A-1-A LAGUNA SUBDIVISION, AND EASEMENT TO BE MAINTAINED BY THE OWNER OF EACH LOT FOR THE BENEFIT OF ALL LOTS. THIS WILL BE GRANTED WITH REPLAT OF ALL LOTS.  
[C] THE PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB.  
[D] LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.  
[E] ANY ENCROACHMENT OR OVERHANG INTO THE ROW FROM SIGNS, FENCES, CANOPY, ROOF LINES, ETC. WILL REQUIRE AN ANNUAL REVOCABLE ENCROACHMENT PERMIT.  
[F] ALL ABANDONED DRIVEWAYS IN THE COA ROW SHALL BE REMOVED AND REPLACED WITH COA STANDARD SIDEWALK, CURB AND GUTTER.  
[G] EASEMENT NOTE: 25' PRIVATE ACCESS AND DRAINAGE EASEMENT TOGETHER WITH 25' PUBLIC UTILITY, PUBLIC WATERLINE, PUBLIC SANITARY SEWER EASEMENT, AND EASEMENT TO BE MAINTAINED BY THE OWNER OF EACH LOT FOR THE BENEFIT OF ALL LOTS. TO BE GRANTED WITH REPLAT OF ALL LOTS.

**SITE DEVELOPMENT SITE LIGHTING NOTES:**  
[A] THE LOCATION OF THE LIGHTING FIXTURES TOGETHER WITH ITS CUT-OFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC RIGHT-OF-WAY OR ADJACENT RESIDENTIAL PROPERTY.  
[B] THE MAXIMUM HEIGHT OF A LIGHT POLE MEASURED FROM THE FINISH GRADE TO THE TOP OF THE POLE SHALL BE 16'-0" MAX. TO MATCH EXISTING.  
[C] LIGHTING TO BE PROVIDED ON COMMERCIAL BUILDING FACADES SHALL BE MOUNTED AT 12 FEET MAXIMUM.  
[D] SITE LIGHTING SHALL BE FULLY SHIELDED, AND HIGH-PRESSURE SODIUM LIGHTING AND UN-SHIELDED UPLIGHTING SHALL BE PROHIBITED.

**RADIUS INFORMATION:**  
(1) = 2'-0" (5) = 10'-0" (9) = 35'-0"  
(2) = 3'-0" (6) = 15'-0" (10) = 40'-0"  
(3) = 4'-0" (7) = 25'-0" (11) = 46'-0"  
(4) = 5'-0" (8) = 30'-0"

**PROJECT NUMBER: 1004677 APPLICATION NUMBER: 13EPC-40139**

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) DATED: October 10, 2013 AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.

**IS AN INFRASTRUCTURE LIST REQUIRED? YES ( ) NO ( )** IF YES, THEN A SET OF APPROVED DRG PLANS WITH A DRG ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

**DRG SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:**

TRAFFIC ENGINEER, TRANSPORTATION DIVISION	12-18-13
Allen P. P. P.	12-18-13
UTILITIES DEVELOPMENT	
Carol S. Dumont	12-19-13
PARKS AND RECREATION DEPARTMENT	
Aut. e. Chin	2-11-14
CITY ENGINEER	
N/A	N/A
ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	
John White	12-17-13
SOLID WASTE MANAGEMENT	
Paul J. J.	3-28-14
DRG CHAIRPERSON, PLANNING DEPARTMENT	

revision  
by  
date  
rev  
date

12/10/13  
10/29/13

Mullen Heller  
Architecture P.C.  
924 Park Avenue SW  
Suite B  
Albuquerque 87102  
505 268 4144(p)  
505 268 4244 (f)

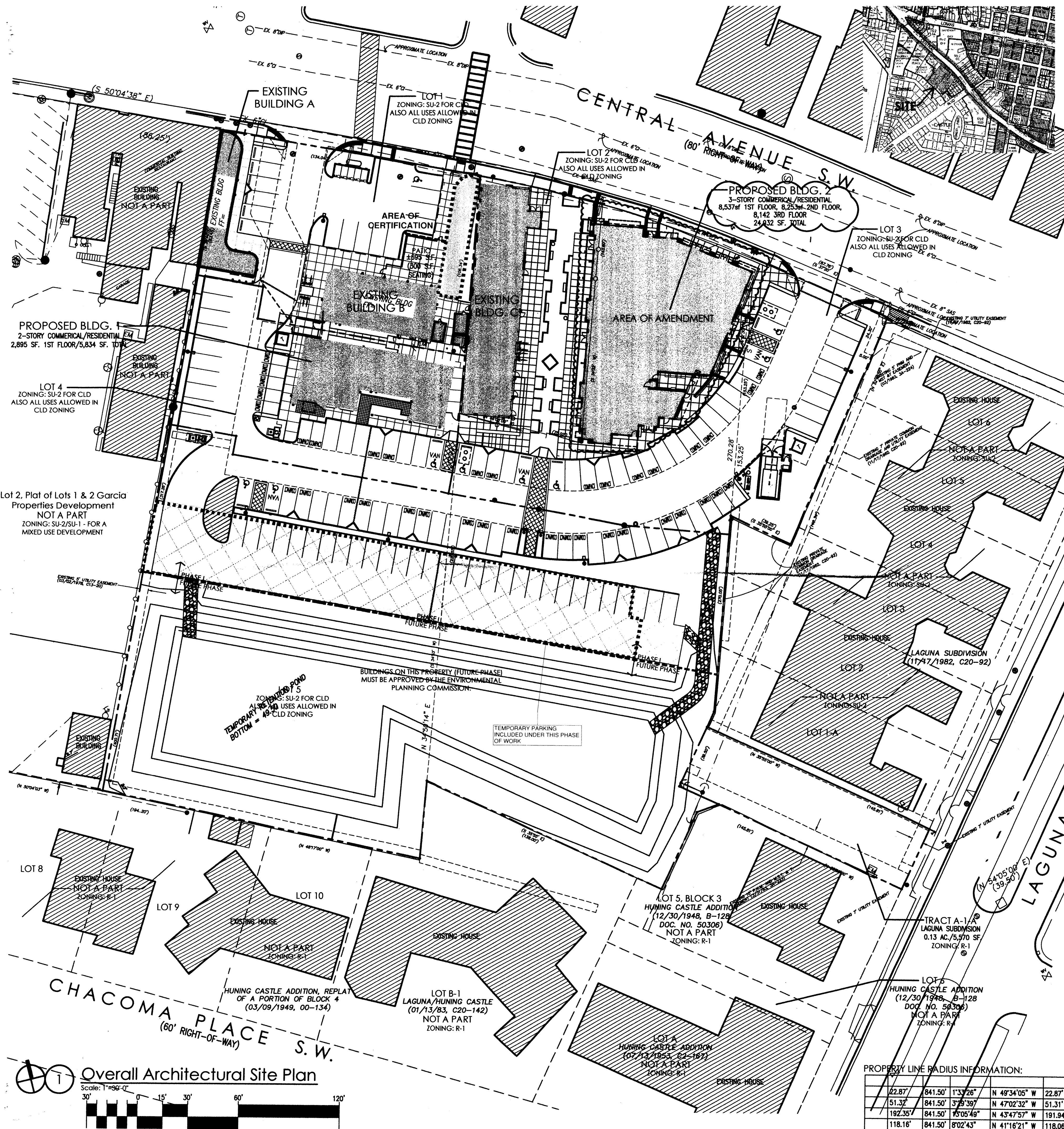
12-11  
SI, MWS, AV  
Doug Heller, AIA  
project manager  
date

Country Club Plaza  
SVC of Central Avenue and Laguna Boulevard  
Albuquerque, New Mexico 87102

Amended Site Dev't Plan for Building Permit

1 of 7





General Land Use Classification

	midnight to 7am	7am to 4pm	4pm to midnight	midnight to 7am	7am to 4pm	4pm to midnight
Office	0%	100%	5%	0%	100%	0%
Restaurants	0%	80%	100%	0%	60%	100%
Retail	0%	80%	50%	0%	100%	10%
Residential	100%	20%	100%	100%	80%	100%

Parking Calculations for Required Number of Spaces

Land Use	Area/Number of Units	Parking Requirements	Required parking
Office - First Floor	3200	200 /sf	16
Office - Second Floor	3200	300 /sf	11
Restaurants	3400 *	45 /sf	80
Retail	9,983	200 /sf	48
Residential	25	1 **/unit	25

General Land Use Classification

	midnight to 7am	7am to 4pm	4pm to midnight	midnight to 7am	7am to 4pm	4pm to midnight
Office	0	27	1	0	3	0
Restaurants	0	44	80	0	48	80
Retail	0	38	24	0	48	5
Residential	25	5	25	25	20	25

Total Number of Spaces

Required per time period	25	134	130	25	119	110
--------------------------	----	-----	-----	----	-----	-----

\* Restaurant parking requirement is calculated by assuming for a 6,000sf facility, 40% is seating (3,600sf) divided by 15sf/occupant (240 occupants). Required parking for a full-service liquor establishment is 1 space/3 occupants (80).  
\*\* Required parking for Residential uses in C-1 zone

Peak Parking Requirement  
Less 10% bus line credit  
Parking provided

134 spaces  
121 spaces required  
132 spaces  
732

PARKING CALCULATIONS:  
SHARED PARKING FOR THIS DEVELOPMENT IS ALLOWED PER THE CITY OF ALBUQUERQUE OFF-STREET PARKING REGULATIONS (14-16-3-1) APPENDIX J. THE ABOVE TABLE ASSUMES USES OF THE FUTURE COMMERCIAL BUILDINGS (SUCH AS OFFICE, RETAIL, RESTAURANT) AS WELL AS THE TOTAL NUMBER OF RESIDENTIAL UNITS. ONCE THE USES/NUMBER OF UNITS ARE CONFIRMED FOR ALL BUILDINGS, THE RELATED BUILDING PERMIT SUBMITTAL WILL UPDATED THE PARKING CALCULATIONS.

BASED ON THE PARKING CALCULATIONS IN THE TABLE ABOVE, THE MAXIMUM NUMBER OF REQUIRED SPACES FOR A GIVEN TIME FRAME IS 134.

COMPACT PARKING CALCULATION:  
121 REQ'D SPACES x 33% = 40 SPACES ALLOWED  
TOTAL COMPACT SPACES = 38 SPACES PROVIDED

DISABLED PARKING REQUIREMENTS:  
TOTAL DISABLED SPACES REQUIRED = 8 SPACES  
TOTAL DISABLED SPACES PROVIDED = 8 SPACES

MOTORCYCLE REQUIREMENTS:  
TOTAL MOTORCYCLE SPACES REQUIRED = 5 SPACES  
TOTAL MOTORCYCLE SPACES PROVIDED = 5 SPACES

RESIDENTIAL BICYCLE REQUIREMENTS:  
1 BICYCLE SPACE PER 2 DWELLING UNITS = 25 DWELLING UNITS/2 = 12.5 TOTAL SPACES REQUIRED

COMMERCIAL BICYCLE REQUIREMENTS:  
1 BICYCLE SPACE FOR EACH 20 PARKING SPACES = 121 PARKING SPACES/20 = 6 TOTAL SPACES REQUIRED

TOTAL BICYCLE SPACES REQUIRED = 19 SPACES  
TOTAL BICYCLE SPACES PROVIDED = 20 SPACES

RADIUS INFORMATION:

= 2'-0"	= 10'-0"	= 35'-0"
= 3'-0"	= 15'-0"	= 40'-0"
= 4'-0"	= 25'-0"	= 46'-0"
= 5'-0"	= 30'-0"	

KEYED NOTES: CONT

- [33] PROPOSED FIRE HYDRANT (2 LOCATIONS). SEE UTILITY PLAN.
- [34] EXISTING CONCRETE SIDEWALK.
- [35] PROPOSED LOT LINES.
- [36] PROPOSED LIGHT BOLLARD, TYP. OF 16, SEE SHEET 7.
- [37] EXISTING 48"-0" HIGH CMU SCREEN WALL.
- [38] EMERGENCY ACCESS ONLY PAVEMENT SIGN AND POSTED SIGN.
- [39] PROPOSED RESIDENTIAL CONCRETE STOOPS.
- [40] LANDSCAPING AT LOWER LEVELS. SEE LANDSCAPING PLAN.
- [41] PEDESTRIAN WALKWAY AT FIRST LEVEL.
- [42] CONCRETE PAVING. SEE GRADING AND DRAINAGE PLAN.
- [43] PAINTED TUBE STEEL FENCE AND GATES.
- [44] SINGLE FAMILY RESIDENCE WITH TWO PARKING STALLS AND ACCESSORY BUILDING.
- [45] EDGE OF CONCRETE PAVING.
- [46] PROPOSED 8'-0" HIGH STUCCO SCREEN WALL.
- [47] PAINTED 8'-0" HIGH WOOD FENCE ALONG WEST PROPERTY LINE (PHASE I).
- [48] EXISTING TREES TO REMAIN (2 LOCATIONS).
- [49] PROPOSED DRIVEWAY PER COA STANDARD DWG. 2425.
- [50] TEMPORARY ASPHALT PAVING UNTIL THE TIME FUTURE PHASE IS CONSTRUCTED (SHOWN HATCHED).
- [51] PAINTED STRIPPING (WHITE).
- [52] TEMPORARY ASPHALT CURB.

PROPERTY LINE RADIUS INFORMATION:

22.87'	841.50'	1'33"26"	N 49°34'05" W	22.87'
51.32'	841.50'	3'29"39"	N 47°02'32" W	51.31'
182.35'	841.50'	10°05'49"	N 43°47'57" W	191.94'
118.16'	841.50'	8°02'43"	N 41°16'21" W	118.06'

AA DOCUMENT PROVIDED FOR REFERENCE ONLY.

PROPOSED LEGAL DESCRIPTION:  
LOTS 1 THRU 5, COUNTRY CLUB PLAZA SUBDIVISION  
AND TRACT A-1-A LAGUNA SUBDIVISION,  
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

BUILDING ADDRESSES:  
BLDG. A AND B (EXISTING): 1720 CENTRAL AVE. S.W. ALBUQUERQUE, N.M.  
BLDG. C (EXISTING): 1710 CENTRAL AVE. S.W. ALBUQUERQUE, N.M.

LAND AREA:  
3.37 ACRES (146,975 SQ. FT.)

CURRENT ZONING:  
SU-2/CLD (HUNING CASTLE AND RAYNOLDS ADDITION NEIGHBORHOOD SECTOR DEVELOPMENT PLAN) FOR LOTS 1 THRU 5.

R-1 (HUNING CASTLE AND RAYNOLDS ADDITION NEIGHBORHOOD SECTOR DEVELOPMENT PLAN) FOR TRACT A-1-A.

ZONE ATLAS PAGE:  
J-13-Z

BUILDING AREAS:  
EXISTING BUILDING A 1,467 SF.  
EXISTING BUILDING B 2,900 SF.  
EXISTING BUILDING C 4,216 SF.  
PROPOSED BUILDING 1 5,834 SF. (6,488-55) TOTAL  
PROPOSED BUILDING 2 24,932 SF. (24,932-55) TOTAL  
TOTAL BUILDING AREA = 35,983 SF.

TOTAL PROPOSED RESIDENTIAL UNITS: 23 TOTAL UNITS 26 TOTAL UNITS

SITE DEVELOPMENT GENERAL NOTES:

- [A] THE DESIGN STANDARDS INCLUDED IN THE AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION FOR THIS PROJECT SHALL GOVERN ALL EXISTING AND NEW BUILDINGS FOR LOTS 1 THRU 5 OF THIS DEVELOPMENT.
- [B] RECIPROCAL PARKING, INGRESS/EGRESS, ACCESS AND DRAINAGE EASEMENT FOR THE BENEFIT AND USE BY THE OWNERS OF LOTS 1 THRU 5, COUNTRY CLUB PLAZA AND TRACT A-1-A, LAGUNA SUBDIVISION, SAID EASEMENT TO BE MAINTAINED BY THE OWNER OF EACH LOT FOR THE BENEFIT OF ALL LOTS. THIS WILL BE GRANTED WITH REPLAT OF ALL LOTS.
- [C] THE PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB.
- [D] LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
- [E] ANY ENCROACHMENT OR OVERHANG INTO THE ROW FROM SIGNS, FENCES, CANOPY, ROOF LINES, ETC. WILL REQUIRE AN ANNUAL REVOCABLE ENCROACHMENT PERMIT.
- [F] ALL ABANDONED DRIVEWAYS IN THE COA ROW SHALL BE REMOVED AND REPLACED WITH COA STANDARD SIDEWALK, CURB AND GUTTER.
- [G] EASEMENT NOTE: 25' PRIVATE ACCESS AND DRAINAGE EASEMENT TOGETHER WITH 25' PUBLIC UTILITY, PUBLIC WATERLINE, PUBLIC SANITARY SEWER EASEMENT, SAID EASEMENT TO BE MAINTAINED BY THE OWNER OF EACH LOT FOR THE BENEFIT OF ALL LOTS. TO BE GRANTED WITH REPLAT OF ALL LOTS.

SITE DEVELOPMENT SITE LIGHTING NOTES:

- [A] THE LOCATION OF THE LIGHTING FIXTURES TOGETHER WITH ITS CUT-OFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC RIGHT-OF-WAY OR ADJACENT RESIDENTIAL PROPERTY.
- [B] THE MAXIMUM HEIGHT OF A LIGHT POLE MEASURED FROM THE FINISH GRADE TO THE TOP OF THE POLE SHALL BE 16'-0" MAX. TO MATCH EXISTING.
- [C] LIGHTING TO BE PROVIDED ON COMMERCIAL BUILDING FACADES SHALL BE MOUNTED AT 12 FEET MAXIMUM.
- [D] SITE LIGHTING SHALL BE FULLY SHIELDED, AND HIGH-PRESSURE SODIUM LIGHTING AND UN-SHIELDED UPLIGHTING SHALL BE PROHIBITED.

KEYED NOTES:

- [1] PROPOSED CMU REFUSE ENCLOSURE WITH RECYCLING AREA ON LOT 3.
- [2] EXISTING BUILDING TO REMAIN.
- [3] PROPOSED TREE WELL, TYPICAL. SEE LANDSCAPING.
- [4] PROPOSED LANDSCAPING.
- [5] EXISTING CROSSWALK STRIPING.
- [6] PROPOSED HANDICAP PAVEMENT SIGN.
- [7] PROPOSED STAMPED COLORED CONCRETE HANDICAP AISLE.
- [8] PROPOSED ASPHALT PAVING.
- [9] PROPOSED SITE LIGHTING. HEIGHT TO BE 16'-0" MAX.
- [10] PROPOSED BIKE RACK WITH 5 SPACES.
- [11] PROPOSED CONCRETE SIDEWALK.
- [12] PROPOSED ELECTRICAL TRANSFORMER WITH LANDSCAPING SCREENING.
- [13] PROPOSED STAMPED COLORED CONCRETE PEDESTRIAN CONNECTION.
- [14] PROPOSED PAINTED PARKING STRIPING.
- [15] EXISTING FIRE HYDRANT TO BE REMAIN.
- [16] PROPOSED CONCRETE CURB, SEE GRADING & DRAINAGE PLAN AND COA STD. DWG. 2415A.
- [17] CONCRETE PATIO WITH TUBE STEEL FENCING.
- [18] WATER/LANDSCAPING FEATURE. SEE LANDSCAPING.
- [19] EXISTING POLE SIGN TO BE RECONSTRUCTED.
- [20] EXISTING CITY CURB AND GUTTER.
- [21] EXISTING BUS STOP TO REMAIN.
- [22] PROPOSED HANDICAP RAMP.
- [23] PROPOSED 20'-0" WATERLINE EASEMENT. SEE UTILITY PLAN.
- [24] PROPOSED HANDICAP PARKING SIGNS. SEE DETAIL 10/SHEET 7, "VAN" WHERE NOTED.
- [25] PROPOSED CONCRETE REDEMING AREA WITH FENCE AND GATES (CLOSED TO PUBLIC).
- [26] PROPOSED DRAINAGE INLET. SEE GRADING AND DRAINAGE.
- [27] PROPOSED PLAZA WITH BENCH SEATING AND WATER FEATURE. SEE SHEET 8 FOR SEATING CALCULATION.
- [28] PROPOSED CONCRETE DRIVEWAY (STD. DWG. 2426) AND RAMPS (STD. DWG. 2426) TO BE CONSTRUCTED TO COA STANDARDS.
- [29] COMPACT PARKING SPACES 9'-0"x15'-0" WITH PAINTED "COMPACT CAR" PAVEMENT DESIGNATION.
- [30] PROPOSED STUCCO RETAINING WALL. SEE CIVIL.
- [31] PROPOSED 4'-0" WIDE x 8'-0" LONG MOTORCYCLE SPACES WITH SIGNAGE AT EACH SPACE.

ADMINISTRATIVE AMENDMENT  
FILE # 10061 PROJECT # 10046171  
ADD'L OF CHANGE TO BLDG SF.  
# OF UNITS + BLDG ELEVATIONS  
FOR BLDG. 2 11  
APPROVED BY DATE 5-30-15

Mullen Heller  
Architecture P.C.  
924 Park Avenue SW  
Suite B  
Albuquerque 87102  
505 268 4144[p]  
505 268 4244 [f]

12-11  
MHA  
05/01/2015

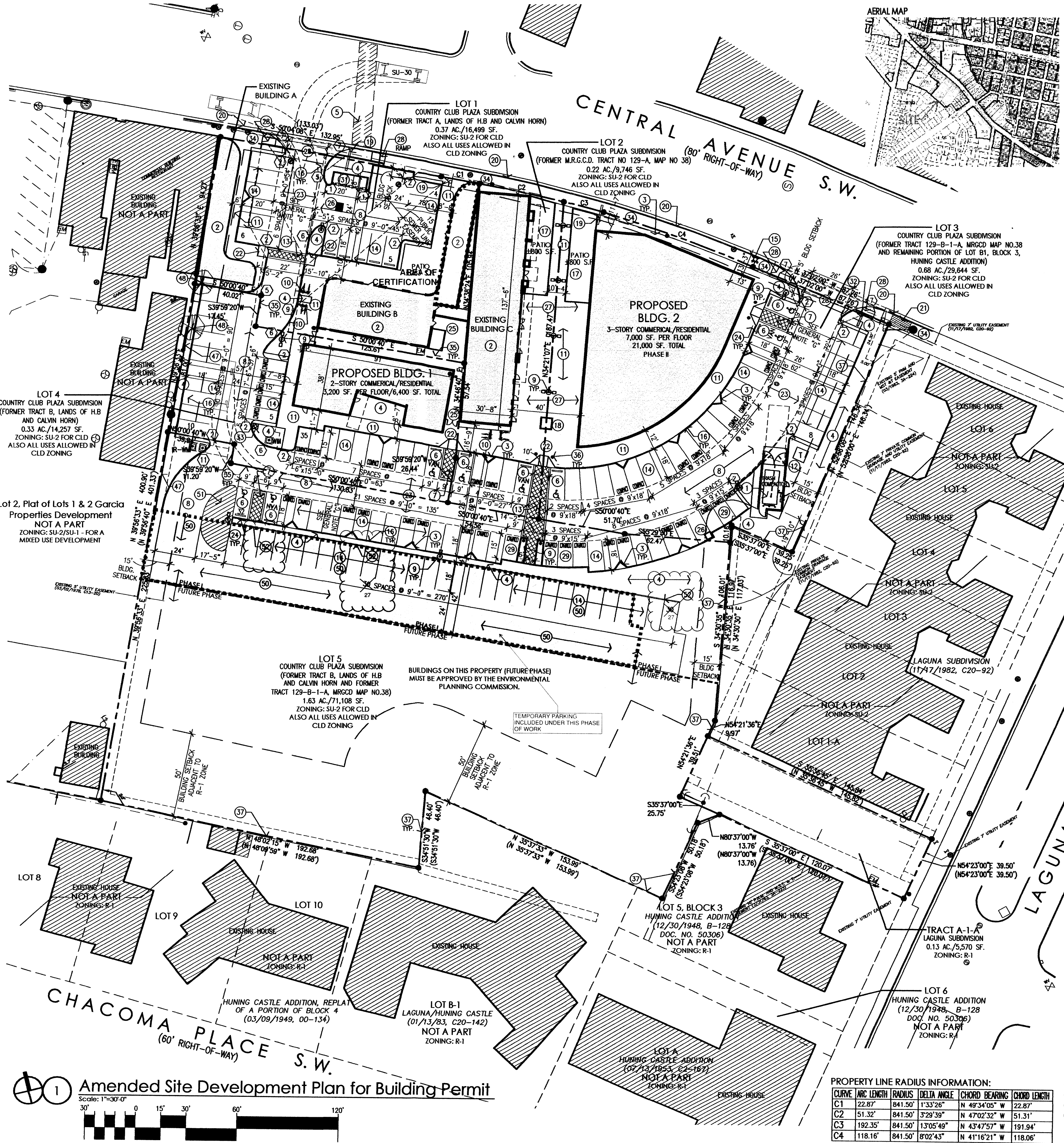
job number  
drawn by  
project manager  
date

Country Club Plaza - Site Construction  
SWC of Central Avenue and Laguna Boulevard  
Albuquerque, New Mexico 87102

Overall Architectural Site Plan-AA BLDG 2

AA-A001





PARKING CALCULATIONS: PER APPENDIX J IN THE COA COMPREHENSIVE ZONING CODE

General Land Use Classification	Weekdays			Weekends		
	midnight to 7am	7am to 6pm	6pm to midnight	midnight to 7am	7am to 6pm	6pm to midnight
Office	0%	100%	0%	0%	10%	0%
Restaurants	0%	80%	100%	0%	60%	100%
Retail	0%	80%	100%	0%	100%	10%
Residential	100%	20%	100%	100%	80%	100%

Parking Calculations for Required Number of Spaces

Land Use	Area/Number of Units	Parking Requirements	Required parking
Office - First Floor	3200	200 /sf	16
Office - Second Floor	3200	300 /sf	11
Restaurants	3600 *	45 /sf	80
Retail	9,583	200 /sf	48
Residential	25	1 **/unit	25

General Land Use Classification

General Land Use Classification	Weekdays			Weekends		
	midnight to 7am	7am to 6pm	6pm to midnight	midnight to 7am	7am to 6pm	6pm to midnight
Office	0	27	1	0	3	0
Restaurants	0	64	80	0	48	80
Retail	0	38	24	0	48	5
Residential	25	5	25	25	20	25

Total Number of Spaces

Required per time period	25	134	130	25	119	110
Required per time period	25	134	130	25	119	110

Peak Parking Requirement  
Less 10% bus line credit  
Parking Provided

134 spaces  
121 spaces required  
132

PARKING CALCULATIONS:  
SHARED PARKING FOR THIS DEVELOPMENT IS ALLOWED PER THE CITY OF ALBUQUERQUE OFF-STREET PARKING REGULATIONS (14-16-3-1) APPENDIX J. THE ABOVE TABLE ASSUMES USES OF THE FUTURE COMMERCIAL BUILDINGS (SUCH AS OFFICE, RETAIL, RESTAURANT) AS WELL AS THE TOTAL NUMBER OF RESIDENTIAL UNITS. ONCE THE USES/NUMBER OF UNITS ARE CONFIRMED FOR ALL BUILDINGS, THE RELATED BUILDING PERMIT SUBMITTAL WILL UPDATE THE PARKING CALCULATIONS.

BASED ON THE PARKING CALCULATIONS IN THE TABLE ABOVE, THE MAXIMUM NUMBER OF REQUIRED SPACES FOR A GIVEN TIME FRAME IS 134.

EXISTING BUILDINGS:  
NO PARKING IS REQUIRED FOR EXISTING BUILDINGS ON LOT 1 AND LOT 2 PER CITY OF ALBUQUERQUE COMPREHENSIVE ZONING CODE OFF-STREET PARKING REGULATIONS (14-16-3-1). OFF-STREET PARKING SHALL BE PROVIDED FOR ALL UNITS AND BUILDINGS, EXCEPT BUILDINGS CONSTRUCTED BEFORE OCTOBER 22, 1995 NEED SUPPLY SUCH PARKING ONLY TO THE EXTENT ON-PREMISE GROUND SPACE IS AVAILABLE.

TRANSIT REDUCTIONS:  
134 SPACES REQ'D x 10% REDUCTION = 134 x 10% = 13.4 TOTAL SPACES REQUIRED  
134 x 10% = 121 TOTAL SPACES REQUIRED

TOTAL PARKING SPACES REQUIRED = 121 SPACES  
TOTAL PARKING SPACES PROVIDED = 132 SPACES

89 REGULAR SPACES  
8 HANDICAP PARKING SPACES  
38 COMPACT SPACES

COMPACT PARKING CALCULATION:  
121 REQ'D SPACES x 33% = 40 SPACES ALLOWED  
TOTAL COMPACT SPACES = 38 SPACES PROVIDED

DISABLED PARKING REQUIREMENTS:  
TOTAL DISABLED SPACES REQUIRED = 8 SPACES  
TOTAL DISABLED SPACES PROVIDED = 8 SPACES

MOTORCYCLE REQUIREMENTS:  
TOTAL MOTORCYCLE SPACES REQUIRED = 5 SPACES  
TOTAL MOTORCYCLE SPACES PROVIDED = 5 SPACES

RESIDENTIAL BICYCLE REQUIREMENTS:  
1 BICYCLE SPACE PER 2 DWELLING UNITS = 25 DWELLING UNITS/2 = 13 TOTAL SPACES REQUIRED

COMMERCIAL BICYCLE REQUIREMENTS:  
1 BICYCLE SPACE FOR EACH 20 PARKING SPACES = 121 PARKING SPACES/20 = 6 TOTAL SPACES REQUIRED

TOTAL BICYCLE SPACES REQUIRED = 19 SPACES  
TOTAL BICYCLE SPACES PROVIDED = 20 SPACES

- KEYED NOTES:
- [1] PROPOSED CMU REFUSE ENCLOSURE WITH RECYCLING AREA ON LOT 3.
  - [2] EXISTING BUILDING TO REMAIN.
  - [3] PROPOSED TREE WELL, TYPICAL SEE LANDSCAPING.
  - [4] PROPOSED LANDSCAPING.
  - [5] EXISTING CROSSWALK STRIPING.
  - [6] PROPOSED HANDICAP PAVEMENT SIGN.
  - [7] PROPOSED STAMPED COLORED CONCRETE HANDICAP ASILE.
  - [8] PROPOSED ASPHALT PAVING.
  - [9] PROPOSED SITE LIGHTING. HEIGHT TO BE 16'-0" MAX.
  - [10] PROPOSED BIKE RACK WITH 5 SPACES.
  - [11] PROPOSED CONCRETE SIDEWALK.
  - [12] PROPOSED ELECTRICAL TRANSFORMER WITH LANDSCAPING SCREENING.
  - [13] PROPOSED STAMPED COLORED CONCRETE PEDESTRIAN CONNECTION. TO BE COMPLETED UNDER FUTURE PHASE.
  - [14] PROPOSED PAINTED PARKING STRIPING.
  - [15] EXISTING FIRE HYDRANT TO BE REMAIN.
  - [16] PROPOSED CONCRETE CURB. SEE GRADING & DRAINAGE PLAN AND COA STD. DWG. 2415A.
  - [17] CONCRETE PATIO WITH TUBE STEEL FENCING. LANDSCAPING FEATURE. SEE LANDSCAPING.
  - [18] EXISTING POLE SIGN TO BE RECONSTRUCTED.
  - [19] EXISTING CITY CURB AND GUTTER.
  - [20] EXISTING BUS STOP TO REMAIN.
  - [21] PROPOSED HANDICAP RAMP.
  - [22] PROPOSED 20'-0" WATERLINE EASEMENT. SEE UTILITY PLAN.
  - [23] PROPOSED HANDICAP PARKING SIGNS. SEE DETAIL 10/SHEET 7. VAN WHERE NOTED.
  - [24] PROPOSED CONCRETE RECENTING AREA WITH FENCE AND GATES (CLOSED TO PUBLIC).
  - [25] PROPOSED DRAINAGE INLET. SEE GRADING AND DRAINAGE.
  - [26] PROPOSED PLAZA WITH BENCH SEATING AND WATER FEATURE. SEE SHEET 8 FOR SEATING CALCULATION.
  - [27] PROPOSED CONCRETE DRIVEWAY (STD. DWG. 2426) AND RAMPS (STD. DWG. 2426) TO BE CONSTRUCTED TO COA STANDARDS.
  - [28] COMPACT PARKING SPACES 9'-0"x15'-0" WITH PAINTED "COMPACT CAR" PAVEMENT DESIGNATION.
  - [29] PROPOSED STUCCO RETAINING WALL. SEE CIVIL.
  - [30] PROPOSED 4'-0" WIDE x 8'-0" LONG MOTORCYCLE SPACES WITH SIGNAGE AT EACH SPACE.
  - [31] PROPOSED 100 SF. POLE SIGN. SEE SHEET 7.
  - [32] TEMPORARY ASPHALT CURB.

**SITE DEVELOPMENT DATA:**

PROPOSED LEGAL DESCRIPTION:  
LOTS 1 THRU 5, COUNTRY CLUB PLAZA SUBDIVISION AND TRACT A-1-A LAGUNA SUBDIVISION, ALBUQUERQUE, BERNILLO COUNTY, NEW MEXICO

BUILDING ADDRESSES:  
BLDG. A AND B (EXISTING): 1720 CENTRAL AVE., S.W. ALBUQUERQUE, N.M.  
BLDG. C (EXISTING): 1710 CENTRAL AVE., S.W. ALBUQUERQUE, N.M.

LAND AREA:  
3.37 ACRES (146,975 SQ. FT.)

CURRENT ZONING:  
SU-2/CLD (HUNING CASTLE AND RAYNOLDS ADDITION NEIGHBORHOOD SECTOR DEVELOPMENT PLAN) FOR LOTS 1 THRU 5.

R-1 (HUNING CASTLE AND RAYNOLDS ADDITION NEIGHBORHOOD SECTOR DEVELOPMENT PLAN) FOR TRACT A-1-A.

ZONE ATLAS PAGE:  
J-13-7

DEVELOPMENT PHASING:  
**PHASE I:**  
PHASE I WILL INCLUDE THE RENOVATION OF THE EXISTING BUILDINGS A, B & C, THE PARKING LOT ON LOT 1, THE CONSTRUCTION OF PROPOSED BUILDING 1 AND THE MAIN DRIVE ASILE AND RELATED PARKING ON THE SOUTH SIDE OF LOT 1 OUT TO CENTRAL AVENUE ON THE EAST SIDE OF LOT 3.

**PHASE II:**  
PHASE II WILL INCLUDE THE CONSTRUCTION OF BUILDING 2.

**BUILDING PHASE:**  
CONSTRUCTION OF BUILDINGS ON LOT 5 ONCE APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION.

PROPOSED USES:  
- ALL USES PERMITTED IN THE CLD ZONES FOR LOTS 1 THRU 5  
- ALL USES PERMITTED IN THE R-1 ZONES

BUILDING AREAS:  
EXISTING BUILDING A 1,467 SF.  
EXISTING BUILDING B 2,900 SF.  
EXISTING BUILDING C 4,216 SF.  
PROPOSED BUILDING 1 6,400 SF. TOTAL  
PROPOSED BUILDING 2 21,000 SF. TOTAL  
TOTAL BUILDING AREA = 35,983 SF.

TOTAL PROPOSED RESIDENTIAL UNITS: 25 TOTAL UNITS

SITE DEVELOPMENT GENERAL NOTES:  
[A] THE DESIGN STANDARDS INCLUDED IN THE AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION FOR THIS PROJECT SHALL GOVERN ALL EXISTING AND NEW BUILDINGS FOR LOTS 1 THRU 5 OF THIS DEVELOPMENT.  
[B] RECIPROCAL PARKING, INGRESS/EGRESS, ACCESS AND DRAINAGE EASEMENT FOR THE BENEFIT AND USE BY THE OWNERS OF LOTS 1 THRU 5, COUNTRY CLUB PLAZA AND TRACT A-1-A LAGUNA SUBDIVISION, SAID EASEMENT TO BE MAINTAINED BY THE OWNER OF EACH LOT FOR THE BENEFIT OF ALL LOTS. THIS WILL BE GRANTED WITH REPLAT OF ALL LOTS.  
[C] THE PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB.  
[D] LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.  
[E] ANY ENCROACHMENT OR OVERHANG INTO THE ROW FROM SIGNS, FENCES, CANOPY, ROOF LINES, ETC. WILL REQUIRE AN ANNUAL REVOCABLE ENCROACHMENT PERMIT.  
[F] ALL ABANDONED DRIVEWAYS IN THE COA-ROW SHALL BE REMOVED AND REPLACED WITH COA STANDARD SIDEWALK, CURB AND GUTTER.  
[G] EASEMENT NOTE: 25' PRIVATE ACCESS AND DRAINAGE EASEMENT TOGETHER WITH 25' PUBLIC UTILITY, PUBLIC WATERLINE, PUBLIC SANITARY SEWER EASEMENT, SAID EASEMENT TO BE MAINTAINED BY THE OWNER OF EACH LOT FOR THE BENEFIT OF ALL LOTS. TO BE GRANTED WITH REPLAT OF ALL LOTS.

SITE DEVELOPMENT SITE LIGHTING NOTES:  
[A] THE LOCATION OF THE LIGHTING FIXTURES TOGETHER WITH ITS OUT-OFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC RIGHT-OF-WAY OR ADJACENT RESIDENTIAL PROPERTY.  
[B] THE MAXIMUM HEIGHT OF A LIGHT POLE MEASURED FROM THE FINISH GRADE TO THE TOP OF THE POLE SHALL BE 18'-0" MAX. TO MATCH EXISTING.  
[C] LIGHTING TO BE PROVIDED ON COMMERCIAL BUILDING FACADES SHALL BE MOUNTED AT 12 FEET MAXIMUM.  
[D] SITE LIGHTING SHALL BE FULLY SHIELDED, AND HIGH-PRESSURE SODIUM LIGHTING AND UN-SHIELDED UPLIGHTING SHALL BE PROHIBITED.

RADIUS INFORMATION:  
1 = 2'-0" 5 = 10'-0" 9 = 35'-0"  
2 = 3'-0" 6 = 15'-0" 10 = 40'-0"  
3 = 4'-0" 7 = 25'-0" 11 = 46'-0"  
4 = 5'-0" 8 = 30'-0"

PROJECT NUMBER: 1004677 APPLICATION NUMBER: 13EPC-40139  
THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) DATED: October 10, 2013 AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.  
IS AN INFRASTRUCTURE LIST REQUIRED? (X) YES ( ) NO IF YES, THEN A SET OF APPROVED DRG. PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.  
DRG. SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:  
TRAFFIC ENGINEER, TRANSPORTATION DIVISION  
12-18-13  
12-18-13  
12-18-13  
2-11-14  
N/A  
N/A  
12-17-13  
3-28-14  
DATE

Country Club Plaza  
S.W.C. of Central Avenue and Laguna Boulevard  
Albuquerque, New Mexico 87102

Amended Site Dev't Plan for Building Permit

project title  
sheet title  
sheet  
1 of 7

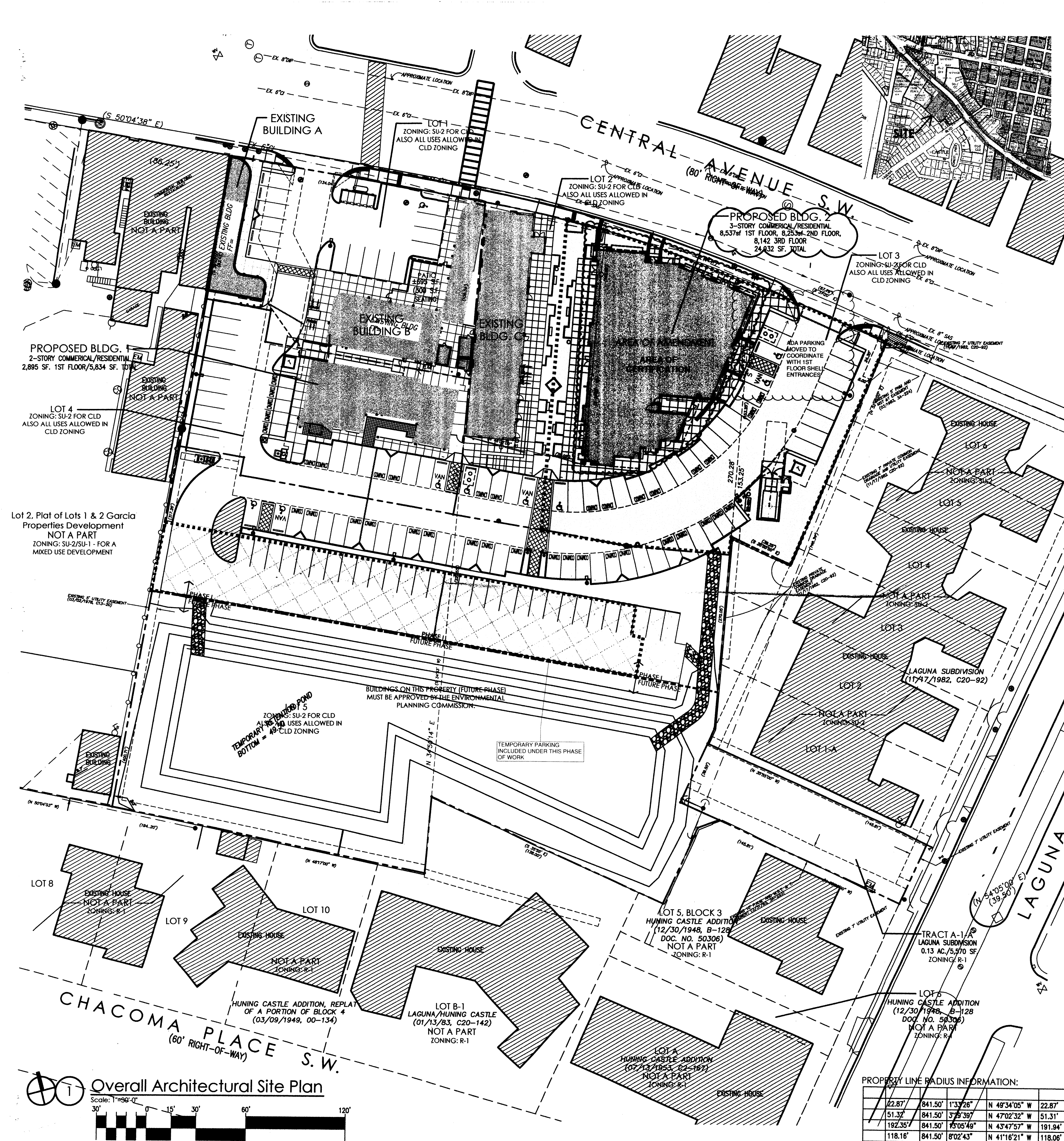
job number  
drawn by  
project manager  
date

12-11  
SI, MWS, AV  
Doug Heller, AIA  
09/26/2013

revision  
by  
date  
rev

Per DRB Comments (11/6/13)  
Per EPC Notice of Decision





General Land Use Classification

Land Use	Weekdays		Weekends	
	midnight to 7am	7am to midnight	midnight to 7am	7am to midnight
Office	0%	100%	0%	10%
Restaurants	0%	80%	100%	60%
Retail	0%	80%	50%	100%
Residential	100%	20%	100%	80%

Parking Calculations for Required Number of Spaces

Land Use	Area/Number of Units	Parking Requirements	Required parking
Office - 1st Floor	3300	200 /#	16
Office - Second Floor	3300	300 /#	11
Restaurants	3600 *	45 /#	80
Retail	9,983	200 /#	48
Residential	25	1 **/unit	25

General Land Use Classification

Land Use	Weekdays		Weekends	
	midnight to 7am	7am to midnight	midnight to 7am	7am to midnight
Office	0	27	0	3
Restaurants	0	44	0	48
Retail	0	38	24	48
Residential	25	5	25	20

Total Number of Spaces

Required per time period	25	134	130	25	119	110
--------------------------	----	-----	-----	----	-----	-----

\*Restaurant parking requirement is calculated by assuming, for a 6,000sf facility, 60% is seating (3,600sf) divided by 18sf/occupant (240 occupants). Required parking for a full-service liquor establishment is 1 space/3 occupants (80).  
\*\*Required parking for Residential use in C-1 Zone

Peak Parking Requirement  
Less 10% bus line credit  
Parking provided

134 spaces  
121 spaces required  
13 spaces provided

PARKING CALCULATIONS:  
SHARED PARKING FOR THIS DEVELOPMENT IS ALLOWED PER THE CITY OF ALBUQUERQUE OFF-STREET PARKING REGULATIONS (14-16-3-1) APPENDIX J. THE ABOVE TABLE ASSUMES USES OF THE FUTURE COMMERCIAL BUILDINGS (SUCH AS OFFICE, RETAIL, RESTAURANT) AS WELL AS THE TOTAL NUMBER OF RESIDENTIAL UNITS. ONCE THE USES/NUMBER OF UNITS ARE CONFIRMED FOR ALL BUILDINGS, THE RELATED BUILDING PERMIT SUBMITTAL WILL UPDATE THE PARKING CALCULATIONS.

BASED ON THE PARKING CALCULATIONS IN THE TABLE ABOVE, THE MAXIMUM NUMBER OF REQUIRED SPACES FOR A GIVEN TIME FRAME IS 134.

TRANSIT REDUCTIONS:  
134 SPACES REQ'D x 10% REDUCTION = (PROXIMITY TO BUS ROUTE 766 AND 66)  
134 x 10% = 13.4 TOTAL SPACES REQUIRED  
TOTAL PARKING SPACES REQUIRED = 121 SPACES  
TOTAL PARKING SPACES PROVIDED = 135 SPACES

COMPACT PARKING CALCULATION:  
121 REQ'D SPACES x 33% = 40 SPACES ALLOWED  
TOTAL COMPACT SPACES = 38 SPACES PROVIDED

DISABLED PARKING REQUIREMENTS:  
TOTAL DISABLED SPACES REQUIRED = 8 SPACES  
TOTAL DISABLED SPACES PROVIDED = 8 SPACES

MOTORCYCLE REQUIREMENTS:  
TOTAL MOTORCYCLE SPACES REQUIRED = 5 SPACES  
TOTAL MOTORCYCLE SPACES PROVIDED = 5 SPACES

RESIDENTIAL BICYCLE REQUIREMENTS:  
1 BICYCLE SPACE PER 2 DWELLING UNITS = 25 DWELLING UNITS/2 = 12.5 TOTAL SPACES REQUIRED  
TOTAL BICYCLE SPACES REQUIRED = 19 SPACES  
TOTAL BICYCLE SPACES PROVIDED = 20 SPACES

COMMERCIAL BICYCLE REQUIREMENTS:  
1 BICYCLE SPACE FOR EACH 20 PARKING SPACES = 121 PARKING SPACES/20 = 6 TOTAL SPACES REQUIRED

RADIUS INFORMATION:  
= 2'-0" = 10'-0" = 35'-0"  
= 3'-0" = 15'-0" = 40'-0"  
= 4'-0" = 25'-0" = 46'-0"  
= 5'-0" = 30'-0"

KEYED NOTES: CONT

- [33] PROPOSED FIRE HYDRANT (2 LOCATIONS). SEE UTILITY PLAN.
- [34] EXISTING CONCRETE SIDEWALK.
- [35] PROPOSED LOT LINES.
- [36] PROPOSED LIGHT BOLLARD, TYP. OF 16. SEE SHEET 7.
- [37] EXISTING 18'-0" HIGH CMU SCREEN WALL. EMERGENCY ACCESS ONLY PAVEMENT SIGN AND POSTED SIGN.
- [38] PROPOSED RESIDENTIAL CONCRETE STOOPS. LANDSCAPING AT LOWER LEVELS. SEE LANDSCAPING PLAN.
- [41] PEDESTRIAN WALKWAY AT FIRST LEVEL. CONCRETE PAVING. SEE GRADING AND DRAINAGE PLAN.
- [42] PAINTED TUBE STEEL FENCE AND GATES. SINGLE FAMILY RESIDENCE WITH TWO PARKING STALLS AND ACCESSORY BUILDING.
- [45] EDGE OF CONCRETE PAVING.
- [46] PROPOSED 8'-0" HIGH STUCCO SCREEN WALL.
- [47] PAINTED 8'-0" HIGH WOOD FENCE ALONG WEST PROPERTY LINE (PHASE I).
- [48] EXISTING TREES TO REMAIN (2 LOCATIONS). PROPOSED DRIVEWAY PER COA STANDARD DWG. 2425.
- [50] TEMPORARY ASPHALT PAVING UNTIL THE TIME FUTURE PHASE IS CONSTRUCTED (SHOWN HATCHED).
- [51] PAINTED STRIPPING (WHITE).
- [52] TEMPORARY ASPHALT CURB.

PROPERTY LINE RADIUS INFORMATION:

22.87'	841.50'	1'33"26"	N 49°34'05" W	22.87'
51.32'	841.50'	3'09"39"	N 47°02'32" W	51.31'
192.35'	841.50'	5'05"49"	N 43°47'57" W	191.94'
118.16'	841.50'	8'02"43"	N 41°16'21" W	118.06'

RECEIVED  
APR 20 2016  
LAND DEVELOPMENT SECTION

AA DOCUMENT PROVIDED FOR REFERENCE ONLY.

STANDARD LEGAL DESCRIPTION:  
LOTS 1 THRU 5, COUNTRY CLUB PLAZA SUBDIVISION AND TRACT A-1-A, LAGUNA SUBDIVISION, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

BUILDING ADDRESSES:  
BLDG. A AND B (EXISTING): 1720 CENTRAL AVE. S.W. ALBUQUERQUE, N.M.  
BLDG. C (EXISTING): 1710 CENTRAL AVE. S.W. ALBUQUERQUE, N.M.

LAND AREA:  
3.37 ACRES (146,975 SQ. FT.)

CURRENT ZONING:  
SU-2/CLD (HUNING CASTLE AND RAYNOLDS ADDITION NEIGHBORHOOD SECTOR DEVELOPMENT PLAN) FOR LOTS 1 THRU 5.

R-1 (HUNING CASTLE AND RAYNOLDS ADDITION NEIGHBORHOOD SECTOR DEVELOPMENT PLAN) FOR TRACT A-1-A.

ZONE ATLAS PAGE:  
J-13-2

BUILDING AREAS:  
EXISTING BUILDING A 1,467 SF.  
EXISTING BUILDING B 2,900 SF.  
EXISTING BUILDING C 4,216 SF.  
PROPOSED BUILDING 1 5,834 SF. (6,488 SF.) TOTAL PROPOSED BUILDING 2 2,243 SF. (2,408 SF.) TOTAL TOTAL BUILDING AREA = 35,983 SF.

TOTAL PROPOSED RESIDENTIAL UNITS: 23 TOTAL UNITS 25 TOTAL UNITS

SITE DEVELOPMENT GENERAL NOTES:  
[A] THE DESIGN STANDARDS INCLUDED IN THE AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION FOR THIS PROJECT SHALL GOVERN ALL EXISTING AND NEW BUILDINGS FOR LOTS 1 THRU 5 OF THIS DEVELOPMENT.  
[B] RECIPROCAL PARKING, INGRESS/EGRESS, ACCESS AND DRAINAGE EASEMENT FOR THE BENEFIT AND USE BY THE OWNERS OF LOTS 1 THRU 5, COUNTRY CLUB PLAZA AND TRACT A-1-A, LAGUNA SUBDIVISION, SAID EASEMENT TO BE MAINTAINED BY THE OWNER OF EACH LOT FOR THE BENEFIT OF ALL LOTS. THIS WILL BE GRANTED WITH REPLAT OF ALL LOTS.  
[C] THE PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB.  
[D] LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3' AND 8' FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.  
[E] ANY ENCROACHMENT OR OVERHANG INTO THE ROW FROM SIGNS, FENCES, CANOPY, ROOF LINES, ETC. WILL REQUIRE AN ANNUAL REVOCABLE ENCROACHMENT PERMIT.  
[F] ALL ABANDONED DRIVEWAYS IN THE COA ROW SHALL BE REMOVED AND REPLACED WITH COA STANDARD SIDEWALK, CURB AND GUTTER.  
[G] EASEMENT NOTE: 25' PRIVATE ACCESS AND DRAINAGE EASEMENT TOGETHER WITH 25' PUBLIC UTILITY, PUBLIC WATERLINE, PUBLIC SANITARY SEWER EASEMENT, SAID EASEMENT TO BE MAINTAINED BY THE OWNER OF EACH LOT FOR THE BENEFIT OF ALL LOTS. TO BE GRANTED WITH REPLAT OF ALL LOTS.

SITE DEVELOPMENT SITE LIGHTING NOTES:  
[A] THE LOCATION OF THE LIGHTING FIXTURES TOGETHER WITH ITS CUT-OFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC RIGHT-OF-WAY OR ADJACENT RESIDENTIAL PROPERTY.  
[B] THE MAXIMUM HEIGHT OF A LIGHT POLE MEASURED FROM THE FINISH GRADE TO THE TOP OF THE POLE SHALL BE 18'-0" MAX. TO MATCH EXISTING.  
[C] LIGHTING TO BE PROVIDED ON COMMERCIAL BUILDING FACADES SHALL BE MOUNTED AT 12 FEET MAXIMUM.  
[D] SITE LIGHTING SHALL BE FULLY SHIELDED, AND HIGH-PRESSURE SODIUM LIGHTING AND UN-SHIELDED UPLIGHTING SHALL BE PROHIBITED.

KEYED NOTES:  
[1] PROPOSED CMU REFUSE ENCLOSURE WITH RECYCLING AREA ON LOT 3.  
[2] EXISTING BUILDING TO REMAIN.  
[3] PROPOSED TREE WELL, TYPICAL. SEE LANDSCAPING.  
[4] EXISTING CROSSWALK STRIPING.  
[5] PROPOSED HANDICAP PAVEMENT SIGN.  
[6] PROPOSED STAMPED COLORED CONCRETE HANDICAP AISLE.  
[7] PROPOSED ASPHALT PAVING.  
[8] PROPOSED SITE LIGHTING. HEIGHT TO BE 16'-0" MAX.  
[9] PROPOSED BIKE RACK WITH 5 SPACES.  
[10] PROPOSED CONCRETE SIDEWALK.  
[11] PROPOSED ELECTRICAL TRANSFORMER WITH LANDSCAPING SCREENING.  
[12] PROPOSED STAMPED COLORED CONCRETE PEDESTRIAN CONNECTION.  
[13] PROPOSED PAINTED PARKING STRIPING.  
[14] EXISTING FIRE HYDRANT TO BE REMAIN.  
[15] PROPOSED CONCRETE CURB. SEE GRADING & DRAINAGE PLAN AND COA STD. DWG. 2415A.  
[16] CONCRETE PATIO WITH TUBE STEEL FENCING.  
[17] WATER/LANDSCAPING FEATURE. SEE LANDSCAPING.  
[18] EXISTING POLE SIGN TO BE RECONSTRUCTED.  
[19] EXISTING CITY CURB AND GUTTER.  
[20] EXISTING BUS STOP TO REMAIN.  
[21] PROPOSED HANDICAP RAMP.  
[22] PROPOSED 20'-0" WATERLINE EASEMENT. SEE UTILITY PLAN.  
[23] PROPOSED HANDICAP PARKING SIGNS. SEE DETAIL 10/SHEET 7. "VAN" WHERE NOTED.  
[24] PROPOSED CONCRETE RECEIVING AREA WITH FENCE AND GATES (CLOSED TO PUBLIC).  
[25] PROPOSED DRAINAGE INLET. SEE GRADING AND DRAINAGE FEATURE. SEE SHEET 8 FOR SEATING CALCULATION.  
[26] PROPOSED CONCRETE DRIVEWAY (STD. DWG. 2426) AND RAMPS (STD. DWG. 2426) TO BE CONSTRUCTED TO COA STANDARDS.  
[27] COMPACT PARKING SPACES 9'-0"x15'-0" WITH PAINTED "COMPACT CAR" PAVEMENT DESIGNATION.  
[28] PROPOSED STUCCO RETAINING WALL. SEE CIVIL.  
[29] PROPOSED 4'-0" WIDE x 8'-0" LONG MOTORCYCLE SPACES WITH SIGNAGE AT EACH SPACE.

ADMINISTRATIVE AMENDMENT  
FILE # 10061 PROJECT # 1004677  
ADD'L OF CHANGES TO BLDG. SF.  
# OF UNITS + BLDG. ELEVATIONS  
FOR BLDG. 2  
APPROVED BY DATE

Country Club Plaza - Site Construction  
SWC of Central Avenue and Laguna Boulevard  
Albuquerque, New Mexico 87102

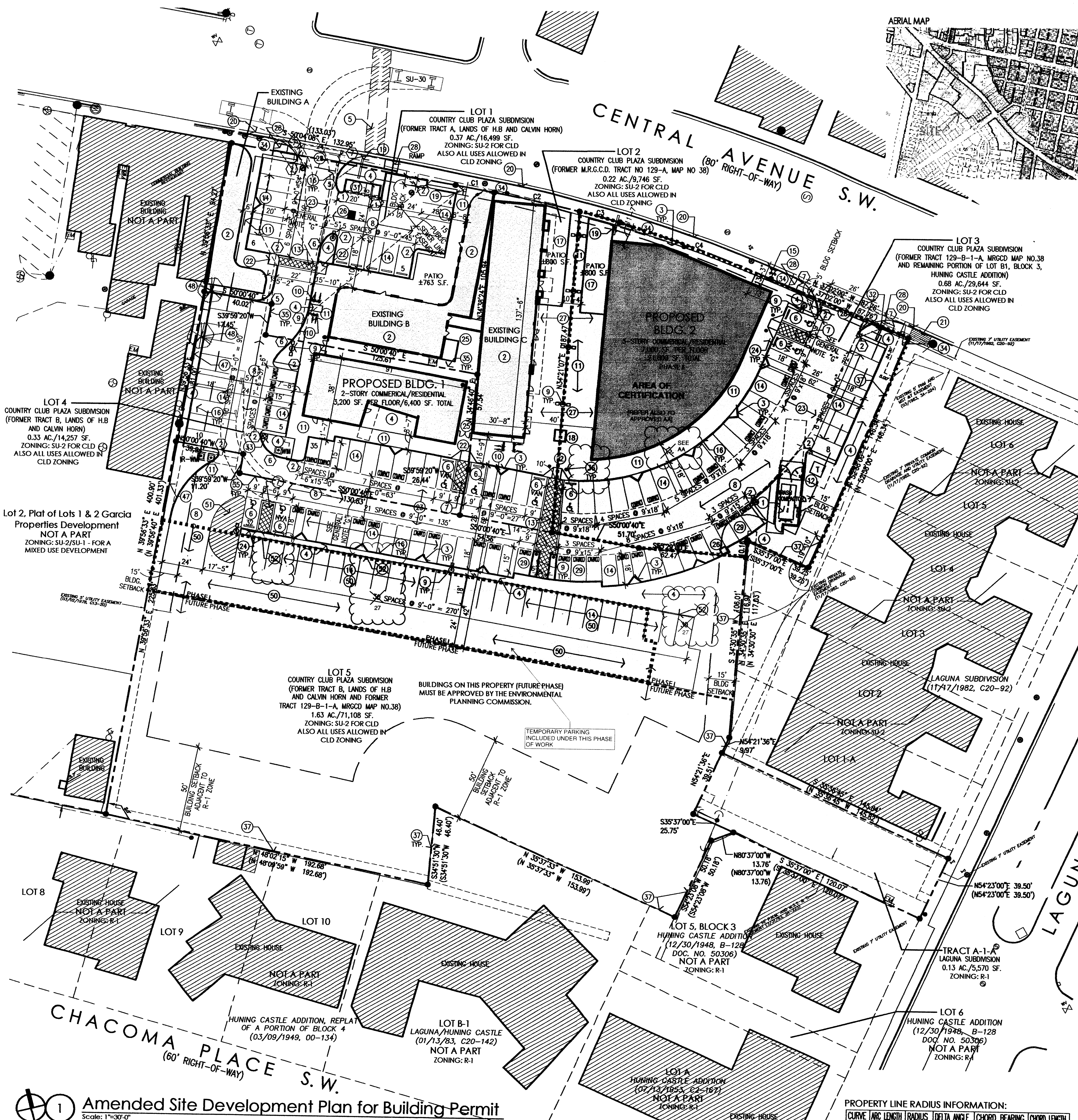
Overall Architectural Site Plan-AA BLDG 2

project title  
sheet title  
sheet #  
AA-A001

job number  
drawn by  
project manager  
date

12-11  
MHA  
Michele Mullen, AIA  
05/01/2015





PARKING CALCULATIONS: PER APPENDIX J IN THE COA COMPREHENSIVE ZONING CODE

General Land Use Classification	Weekdays			Weekends		
	midnight to 7am	7am to 6pm	6pm to midnight	midnight to 7am	7am to 6pm	6pm to midnight
Office	0%	100%	5%	0%	100%	0%
Restaurants	0%	80%	100%	0%	80%	100%
Retail	0%	80%	50%	0%	100%	10%
Residential	100%	20%	100%	100%	80%	100%

Parking Calculations for Required Number of Spaces

Land Use	Area/Number of Units	Parking Requirements	Required parking
Office - First Floor	3200	200 /sf	16
Office - Second Floor	3200	300 /sf	11
Restaurants	3200 *	45 /sf	80
Retail	9,583	200 /sf	48
Residential	25	1 **/unit	25

General Land Use Classification

Land Use	Weekdays			Weekends		
	midnight to 7am	7am to 6pm	6pm to midnight	midnight to 7am	7am to 6pm	6pm to midnight
Office	0	27	1	0	3	0
Restaurants	0	64	80	0	48	80
Retail	0	38	24	0	48	5
Residential	25	5	25	25	20	25

Total Number of Spaces

Required per time period	25	134	130	25	119	110
Required per time period	25	134	130	25	119	110

Peak Parking Requirement  
Less 10% bus line credit  
Parking Provided

134 spaces  
121 spaces required  
132

PARKING CALCULATIONS:  
SHARED PARKING FOR THIS DEVELOPMENT IS ALLOWED PER THE CITY OF ALBUQUERQUE OFF-STREET PARKING REGULATIONS (14-16-3-1) APPENDIX J. THE ABOVE TABLE ASSUMES USES OF THE FUTURE COMMERCIAL BUILDINGS (SUCH AS OFFICE, RETAIL, RESTAURANT) AS WELL AS THE TOTAL NUMBER OF RESIDENTIAL UNITS. ONCE THE USES/NUMBER OF UNITS ARE CONFIRMED FOR ALL BUILDINGS, THE RELATED BUILDING PERMIT SUBMITTAL WILL UPDATE THE PARKING CALCULATIONS.

BASED ON THE PARKING CALCULATIONS IN THE TABLE ABOVE, THE MAXIMUM NUMBER OF REQUIRED SPACES FOR A GIVEN TIME FRAME IS 134.

EXISTING BUILDINGS:  
NO PARKING IS REQUIRED FOR EXISTING BUILDINGS ON LOT 1 AND LOT 2 PER CITY OF ALBUQUERQUE COMPREHENSIVE ZONING CODE OFF-STREET PARKING REGULATIONS (14-16-3-1). OFF-STREET PARKING SHALL BE PROVIDED FOR ALL USES AND BUILDINGS, EXCEPT BUILDINGS CONSTRUCTED BEFORE OCTOBER 22, 1965 NEED SUPPLY SUCH PARKING ONLY TO THE EXTENT ON-PREMISE GROUND SPACE IS AVAILABLE.

TRANSIT REDUCTIONS:  
134 SPACES REQ'D x 10% REDUCTION = 12.1 SPACES (PROXIMITY TO BUS ROUTE 766 AND 66)  
134 x 10% = 12.1 TOTAL SPACES REQUIRED

TOTAL PARKING SPACES REQUIRED = 121 SPACES  
TOTAL PARKING SPACES PROVIDED = 132 SPACES

89 REGULAR SPACES  
8 HANDICAP PARKING SPACES  
38 COMPACT SPACES

COMPACT PARKING CALCULATION:  
121 REQ'D SPACES x 33% = 40 SPACES ALLOWED  
TOTAL COMPACT SPACES = 38 SPACES PROVIDED

DISABLED PARKING REQUIREMENTS:  
TOTAL DISABLED SPACES REQUIRED = 8 SPACES  
TOTAL DISABLED SPACES PROVIDED = 8 SPACES

MOTORCYCLE REQUIREMENTS:  
TOTAL MOTORCYCLE SPACES REQUIRED = 5 SPACES  
TOTAL MOTORCYCLE SPACES PROVIDED = 5 SPACES

RESIDENTIAL BICYCLE REQUIREMENTS:  
1 BICYCLE SPACE PER 2 DWELLING UNITS = 25 DWELLING UNITS/2 = 13 TOTAL SPACES REQUIRED

COMMERCIAL BICYCLE REQUIREMENTS:  
1 BICYCLE SPACE FOR EACH 20 PARKING SPACES = 121 PARKING SPACES/20 = 6 TOTAL SPACES REQUIRED

TOTAL BICYCLE SPACES REQUIRED = 19 SPACES  
TOTAL BICYCLE SPACES PROVIDED = 20 SPACES

- KEYED NOTES:
- PROPOSED CMU REFUSE ENCLOSURE WITH RECYCLING AREA ON LOT 3.
  - EXISTING BUILDING TO REMAIN.
  - PROPOSED TREE WELL, TYPICAL SEE LANDSCAPING.
  - PROPOSED LANDSCAPING.
  - EXISTING CROSSWALK STRIPING.
  - PROPOSED HANDICAP PARKING SIGN.
  - PROPOSED STAMPED COLORED CONCRETE HANDICAP ASILE. ADA-COMPLIANT PARKING STRIPING AT HANDICAP ASILE.
  - PROPOSED ASPHALT PAVING.
  - PROPOSED SITE LIGHTING. HEIGHT TO BE 16'-0" MAX.
  - PROPOSED BIKE RACK WITH 5 SPACES.
  - PROPOSED CONCRETE SIDEWALK.
  - PROPOSED ELECTRICAL TRANSFORMER WITH LANDSCAPING SCREENING.
  - PROPOSED STAMPED COLORED CONCRETE PEDESTRIAN CONNECTION. TO BE COMPLETED UNDER FUTURE PHASE.
  - PROPOSED PAINTED PARKING STRIPING.
  - EXISTING FIRE HYDRANT TO BE REMAIN.
  - PROPOSED CONCRETE CURB. SEE GRADING & DRAINAGE PLAN AND COA STD. DWG. 2415A.
  - CONCRETE PATIO WITH TUBE STEEL FENCING. LANDSCAPING.
  - EXISTING POLE SIGN TO BE RECONSTRUCTED.
  - EXISTING CITY CURB AND GUTTER.
  - EXISTING BUS STOP TO REMAIN.
  - PROPOSED HANDICAP RAMP.
  - PROPOSED 20'-0" WATERLINE EASEMENT. SEE UTILITY PLAN.
  - PROPOSED HANDICAP PARKING SIGNS. SEE DETAIL 10/SHEET 7, "VAN" WHERE NOTED.
  - PROPOSED CONCRETE RECEIVING AREA WITH FENCE AND GATES (CLOSED TO PUBLIC).
  - PROPOSED DRAINAGE INLET. SEE GRADING AND DRAINAGE.
  - PROPOSED PLAZA WITH BENCH SEATING AND WATER FEATURE. SEE SHEET 8 FOR SEATING CALCULATION.
  - PROPOSED CONCRETE DRIVEWAY (STD. DWG. 2426) AND RAMPS (STD. DWG. 2426) TO BE CONSTRUCTED TO COA STANDARDS.
  - COMPACT PARKING SPACES 9'-0"x15'-0" WITH PAINTED "COMPACT CAR" PAVEMENT DESIGNATION.
  - PROPOSED STUCCO RETAINING WALL. SEE CIVIL.
  - PROPOSED 4'-0" WIDE x 8'-0" LONG MOTORCYCLE SPACES WITH SIGNAGE AT EACH SPACE.
  - PROPOSED 100 SF. POLE SIGN. SEE SHEET 7.

**SITE DEVELOPMENT DATA:**

PROPOSED LEGAL DESCRIPTION:  
LOTS 1 THRU 5, COUNTRY CLUB PLAZA SUBDIVISION AND TRACT A-1-A LAGUNA SUBDIVISION, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

BUILDING ADDRESSES:  
BLDG. A AND B (EXISTING): 1720 CENTRAL AVE., S.W. ALBUQUERQUE, N.M.  
BLDG. C (EXISTING): 1710 CENTRAL AVE., S.W. ALBUQUERQUE, N.M.

LAND AREA:  
3.37 ACRES (146,975 SQ. FT.)

CURRENT ZONING:  
SU-2/CLD (HUNING CASTLE AND RAYNOLDS ADDITION NEIGHBORHOOD SECTOR DEVELOPMENT PLAN) FOR LOTS 1 THRU 5.

R-1 (HUNING CASTLE AND RAYNOLDS ADDITION NEIGHBORHOOD SECTOR DEVELOPMENT PLAN) FOR TRACT A-1-A.

ZONE ATLAS PAGE:  
4-13-7

DEVELOPMENT PHASING:  
**PHASE 1:**  
PHASE I WILL INCLUDE THE RENOVATION OF THE EXISTING BUILDINGS A, B & C, THE PARKING LOT ON LOT 1, THE CONSTRUCTION OF PROPOSED BUILDING 1 AND THE MAIN DRIVE ASILE AND RELATED PARKING FROM THE SOUTH SIDE OF LOT 1 OUT TO CENTRAL AVENUE ON THE EAST SIDE OF LOT 3.

**PHASE 2:**  
PHASE II WILL INCLUDE THE CONSTRUCTION OF BUILDING 2.

**FUTURE PHASE:**  
CONSTRUCTION OF BUILDINGS ON LOT 5 ONCE APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION.

PROPOSED USES:  
- ALL USES PERMITTED IN THE CLD ZONES FOR LOTS 1 THRU 5  
- ALL USES PERMITTED IN THE R-1 ZONES

BUILDING AREAS:  
EXISTING BUILDING A 1,467 SF.  
EXISTING BUILDING B 2,900 SF.  
EXISTING BUILDING C 4,216 SF.  
PROPOSED BUILDING 1 6,400 SF. TOTAL  
PROPOSED BUILDING 2 21,000 SF. TOTAL  
TOTAL BUILDING AREA = 35,983 SF.

TOTAL PROPOSED RESIDENTIAL UNITS: 25 TOTAL UNITS

SITE DEVELOPMENT GENERAL NOTES:  
[A] THE DESIGN STANDARDS INCLUDED IN THE AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION FOR THIS PROJECT SHALL GOVERN ALL EXISTING AND NEW BUILDINGS FOR LOTS 1 THRU 5 OF THIS DEVELOPMENT.  
[B] RECIPROCAL PARKING, INGRESS/EGRESS, ACCESS AND DRAINAGE EASEMENT FOR THE BENEFIT AND USE BY THE OWNERS OF LOTS 1 THRU 5, COUNTRY CLUB PLAZA AND TRACT A-1-A, LAGUNA SUBDIVISION, SHD EASEMENT TO BE MAINTAINED BY THE OWNER OF EACH LOT FOR THE BENEFIT OF ALL LOTS. THIS WILL BE GRANTED WITH REPLAT OF ALL LOTS.  
[C] THE PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB.  
[D] LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.  
[E] ANY ENCROACHMENT OR OVERHANG INTO THE ROW FROM SIGNS, FENCES, CANOPY, ROOF LINES, ETC. WILL REQUIRE AN ANNUAL REVOCABLE ENCROACHMENT PERMIT.  
[F] ABANDONED DRIVEWAYS IN THE COA-ROW SHALL BE REMOVED AND REPLACED WITH COA STANDARD SIDEWALK, CURB AND GUTTER.  
[G] EASEMENT NOTE: 25' PRIVATE ACCESS AND DRAINAGE EASEMENT TOGETHER WITH 25' PUBLIC UTILITY, PUBLIC WATERLINE, PUBLIC SANITARY SEWER EASEMENT, SHD EASEMENT TO BE MAINTAINED BY THE OWNER OF EACH LOT FOR THE BENEFIT OF ALL LOTS. TO BE GRANTED WITH REPLAT OF ALL LOTS.

SITE DEVELOPMENT SITE LIGHTING NOTES:  
[A] THE LOCATION OF THE LIGHTING FIXTURES TOGETHER WITH ITS CUT-OFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC RIGHT-OF-WAY OR ADJACENT RESIDENTIAL PROPERTY.  
[B] THE MAXIMUM HEIGHT OF A LIGHT POLE MEASURED FROM THE FINISH GRADE TO THE TOP OF THE POLE SHALL BE 16'-0" MAX. TO MATCH EXISTING.  
[C] LIGHTING TO BE PROVIDED ON COMMERCIAL BUILDING FACADES SHALL BE MOUNTED AT 12 FEET MAXIMUM.  
[D] SITE LIGHTING SHALL BE FULLY SHIELDED AND HIGH-PRESSURE SODIUM LIGHTING AND UN-SHIELDED UPLIGHTING SHALL BE PROHIBITED.

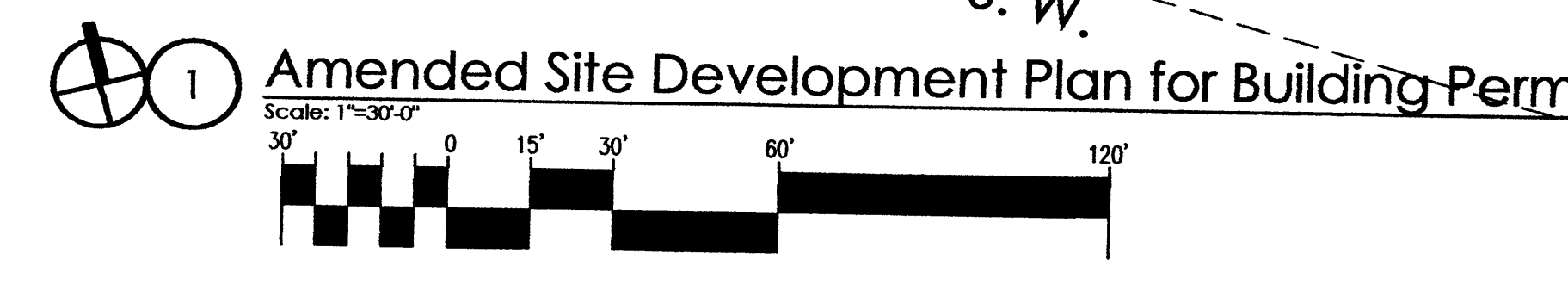
RADIUS INFORMATION:  
1 = 2'-0" 5 = 10'-0" 9 = 35'-0"  
2 = 3'-0" 6 = 15'-0" 10 = 40'-0"  
3 = 4'-0" 7 = 25'-0" 11 = 46'-0"  
4 = 5'-0" 8 = 30'-0"

PROJECT NUMBER: 1004677 APPLICATION NUMBER: 13EPC-40139  
THIS PLAN IS CONSISTANT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) DATED: October 10, 2013 AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.

IS AN INFRASTRUCTURE LIST REQUIRED? (X) YES ( ) NO IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DRG SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

TRAFFIC ENGINEER, TRANSPORTATION DIVISION	Date
Allen P. ...	12-18-13
UTILITIES DEVELOPMENT	Date
Carol S. Dumont	12-18-13
PARKS AND RECREATION DEPARTMENT	Date
Aut ...	2-11-14
CITY ENGINEER	Date
N/A	N/A
ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	Date
Ch ...	12-17-13
SOLID WASTE MANAGEMENT	Date
...	3-28-14
DRG CHAIRPERSON, PLANNING DEPARTMENT	Date



PROPERTY LINE RADIUS INFORMATION:

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	22.87	841.50'	1'33"26"	N 49'34"05" W	22.87'
C2	51.32'	841.50'	3'29"39"	N 47'02"32" W	51.31'
C3	192.35'	841.50'	13'05"49"	N 43'47"57" W	191.94'
C4	118.16'	841.50'	8'02"43"	N 41'16"21" W	118.06'

revision  
by  
date  
rev

Project title  
Country Club Plaza  
SWC of Central Avenue and Laguna Boulevard  
Albuquerque, New Mexico 87102

sheet-  
1 of 7

Amended Site Dev't Plan for Building Permit

12-11  
SJ, MMS, AV  
Doug Heller, AIA  
07/26/2013

job number  
drawn by  
project manager  
date

Per DEC Comments (11/6/13)  
Per EPC Notice of Decision



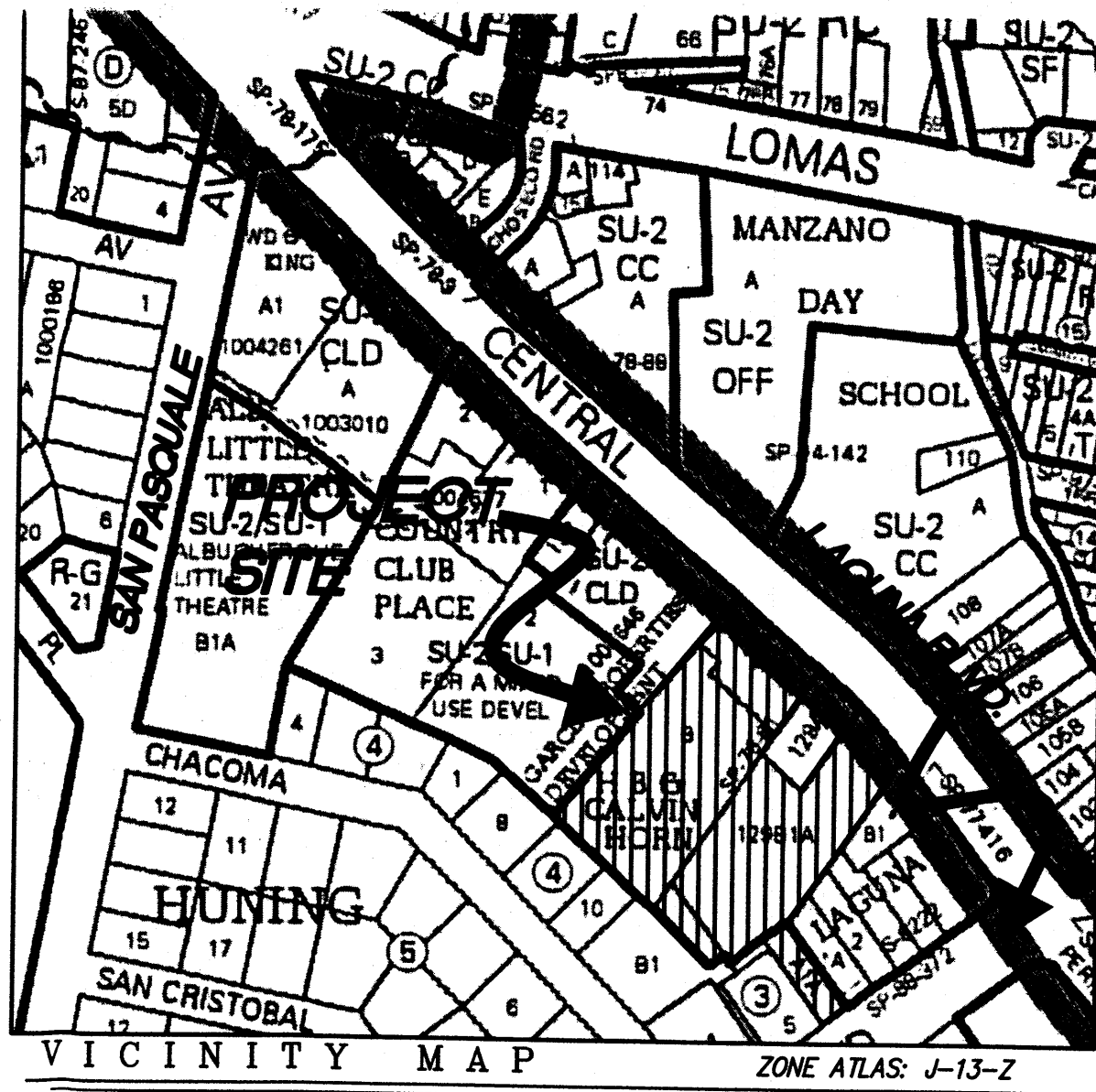
DRAINAGE CALCULATION

TOTAL PROJECT SITE AREA= 3.25 ACRES  
FOR AHYMO 100 YR 24 HR STORM EVENT USE:  
P1 = 2.01" P6 = 2.35" P24 = 2.75"  
EXISTING CONDITION  
LAND TREATMENT A/B/C/D = 43.5/43.5/0/13  
Q<sub>100</sub> = 7.29 cfs V<sub>100</sub> = 0.2379 AC-FT  
DEVELOPED CONDITIONS

PHASE 1  
THE INTENT OF THIS PLAN IS TO RETAIN  
THE 10 DAY STORM IN A TEMPORARY POND.  
CALCULABLE = 2.75 cfs/AC. x (3.25 ACRES) = 8.94 cfs

AREA THAT DRAINS TO POND  
BASIN AREA = 2.39 AC  
LAND TREATMENT A/B/C/D = 0/40/10/50  
Q<sub>100</sub> = 8.55 cfs V<sub>100</sub> = 0.327 AC-FT  
MWSEL = 50.88  
(100YR-10DAY) VOL. REQ'D = 16553 cf  
VOL DESIGN = 23087 cf  
BASIN B - DIRECT DISCHARGE TO CENTRAL  
BASIN AREA = 0.85 AC  
LAND TREATMENT A/B/C/D = 0/10/0/90  
Q<sub>100</sub> = 3.84 cfs V<sub>100</sub> = 0.1629 AC-FT  
CULVERT #1 DEVELOPED RUNOFF  
BASIN AREA = 4820 SF  
LAND TREATMENT A/B/C/D = 0/0/0/100  
Q<sub>100</sub> = 0.53 cfs V<sub>100</sub> = 0.0226 AC-FT  
USE 12" SIDEWALK CULVERT  
CULVERT #2 DEVELOPED RUNOFF  
BASIN AREA = 10256 SF  
LAND TREATMENT A/B/C/D = 0/20/0/80  
Q<sub>100</sub> = 1.0 cfs V<sub>100</sub> = 0.014 AC-FT  
USE 24" SIDEWALK CULVERT  
CULVERT #3 DEVELOPED RUNOFF  
BASIN AREA = 8902 SF  
LAND TREATMENT A/B/C/D = 0/0/0/100  
Q<sub>100</sub> = 0.97 cfs V<sub>100</sub> = 0.0417 AC-FT  
USE 24" SIDEWALK CULVERT  
CULVERT #4 DEVELOPED RUNOFF  
BASIN AREA = 3138 SF  
LAND TREATMENT A/B/C/D = 0/0/0/100  
Q<sub>100</sub> = 0.35 cfs V<sub>100</sub> = 0.0147 AC-FT  
USE 12" SIDEWALK CULVERT

RETENTION POND VOLUME CALCULATIONS  
FOR 100 YEAR 10 DAY STORM EVENT  
MAXIMUM POND ELEVATION = 4950.47  
VOLUME DESIGN (FROM 4951.0 TO 4949.5) = 32,044 CU.FT.  
VOLUME REQUIRED = 0.454 AC.FT = 19,787 CU.FT



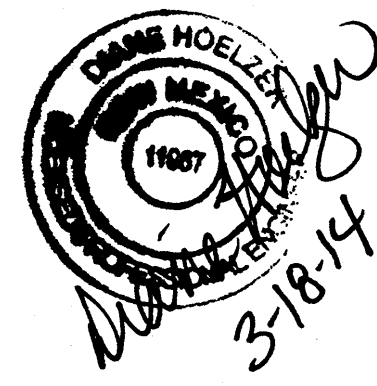
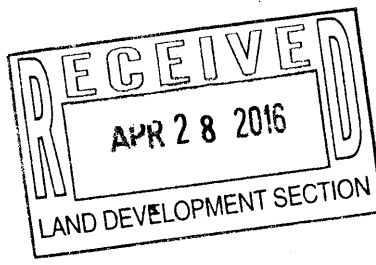
revision	
by	
date	
rev	1 2 3 4

Mullen Heller  
Architecture P.C.  
924 Park Avenue SW  
Suite B  
Albuquerque 87102  
505 268 4144[p]  
505 268 4244 [f]

- NOTES:
1. ROOFS FOR BUILDINGS NUMBER 1 AND 2 MUST DRAIN NORTH TOWARDS CENTRAL AVENUE.
  2. COUNTRY CLUB PLAZA IS IN FLOOD ZONE X AS PER FIRM MAP NO. 35001C033H. AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THEN 1 FOOT OR WITH DRAINAGE AREAS LESS THEN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.

BENCHMARK  
ACS CONTROL STATION "17-J14"  
N= 1488866.762  
E= 1519149.317  
Z= 4957.404  
NEW MEXICO STATE PLANE, CENTRAL ZONE  
G-C= 0.9996833611  
DELTA-ALPHA= -0013'59".00  
NAD 1983/NAVD 1988

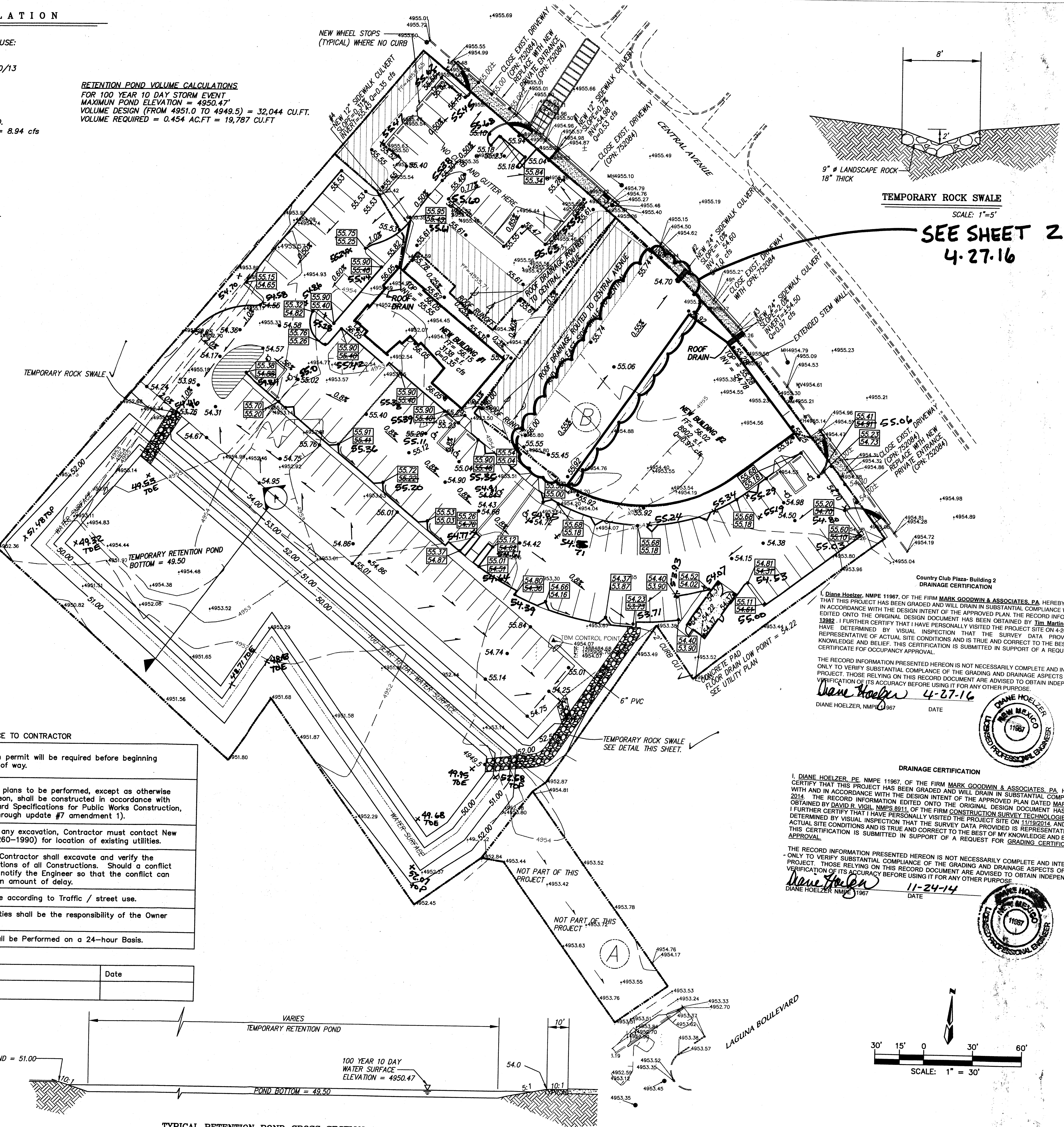
- LEGEND
- x 00.00 EXISTING SPOT ELEVATION
  - 5135- EXISTING CONTOUR
  - W EXISTING WATER WELL
  - o EXISTING BOLLARD
  - o EXISTING GUY WIRE
  - o EXISTING SAS MH
  - o EXISTING TELEPHONE PEDESTAL
  - o NEW SPOT ELEVATION
  - o SWALE
  - o NEW CONTOUR ELEVATION
  - o EXISTING SEWER MANHOLE
  - o EXISTING GAS METER
  - o EXISTING WATER VALVE
  - o EXISTING CLEANOUT
  - o EXISTING UTILITY POLE
  - o EXISTING MONITORING WELL
  - o EXISTING WATER METER
  - o EXISTING CURB
  - o NEW WATER METER
  - o NEW RETAINING WALL
  - o BASIN A
  - o BASIN B
  - o BASIN BOUNDARY
  - o TOP OF CURB
  - o BOTTOM OF CURB
  - o 52.00 NEW FLOW LINE, SPOT ELEVATION
  - o NEW SWALE
  - o 51.60 ± EXISTING ELEVATION
  - o EXISTING DRIVEWAY CUT



MARK GOODWIN & ASSOCIATES, P.A.  
CONSULTING ENGINEERS  
P.O. BOX 90606  
ALBUQUERQUE, NEW MEXICO 87199  
OFFICE (505) 828-2200, FAX (505) 797-9539

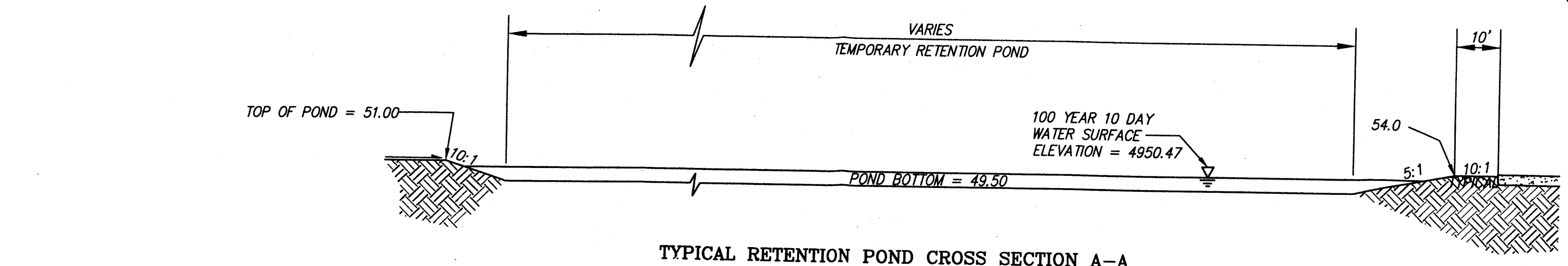
Country Club Plaza  
SWC of Central Avenue and Laguna Boulevard  
Albuquerque, New Mexico 87102  
GRADING & DRAINAGE PLAN

project title  
sheet title  
sheet-

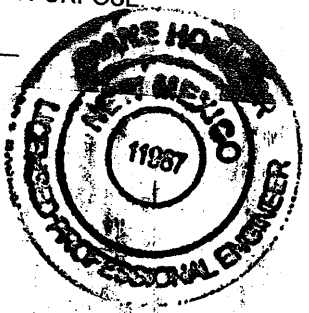


- NOTICE TO CONTRACTOR
1. An excavation/construction permit will be required before beginning any work within City right of way.
  2. All work detailed on these plans to be performed, except as otherwise stated or provided for hereon, shall be constructed in accordance with City of Albuquerque Standard Specifications for Public Works Construction, (1986 Edition as revised through update #7 amendment 1).
  3. Two working days prior to any excavation, Contractor must contact New Mexico One Call system, (260-1990) for location of existing utilities.
  4. Prior to construction, the Contractor shall excavate and verify the horizontal and vertical locations of all Constructions. Should a conflict exist, the Contractor shall notify the Engineer so that the conflict can be resolved with a minimum amount of delay.
  5. Backfill compaction shall be according to Traffic / street use.
  6. Maintenance of these facilities shall be the responsibility of the Owner of the property served.
  7. Work on Arterial Street shall be Performed on a 24-hour Basis.

Approval	Name	Date
Inspector		



DRAINAGE CERTIFICATION  
I, DIANE HOELZER, PE, NMPE 11967, OF THE FIRM MARK GOODWIN & ASSOCIATES, P.A. HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED MARCH 12, 2014. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY DAVID R. VIGIL, NMPS 8911, OF THE FIRM CONSTRUCTION SURVEY TECHNOLOGIES, INC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 11/19/2014, AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR GRADING CERTIFICATION APPROVAL.  
THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.  
Diane Hoelzer  
DIANE HOELZER, NMPE 11967  
11-24-14  
DATE







(SHEET 2)



DRAINAGE CALCULATION

TOTAL PROJECT SITE AREA= 3.25 ACRES  
FOR AHYMO 100 YR 24 HR STORM EVENT USE:  
P1 = 2.01" P6 = 2.35" P24 = 2.75"  
EXISTING CONDITION  
LAND TREATMENT A/B/C/D = 43.5/43.5/0/13  
Q<sub>100</sub> = 7.29 cfs V<sub>100</sub> = 0.2379 AC-FT  
DEVELOPED CONDITIONS

PHASE 1  
THE INTENT OF THIS PLAN IS TO RETAIN  
THE 10 DAY STORM IN A TEMPORARY POND.  
ALLOWABLE = 2.75 cfs/AC. x (3.25 ACRES) = 8.94 cfs

AREA THAT DRAINS TO POND  
BASIN AREA = 2.39 AC  
LAND TREATMENT A/B/C/D = 0/40/10/50  
Q<sub>100</sub> = 8.55 cfs V<sub>100</sub> = 0.327 AC-FT  
MWSEL = 50.88  
(100YR-10DAY) VOL. REQ'D = 16553 cf  
VOL DESIGN = 23087 cf

BASIN B - DIRECT DISCHARGE TO CENTRAL  
BASIN AREA = 0.85 AC  
LAND TREATMENT A/B/C/D = 0/10/0/90  
Q<sub>100</sub> = 3.84 cfs V<sub>100</sub> = 0.1629 AC-FT

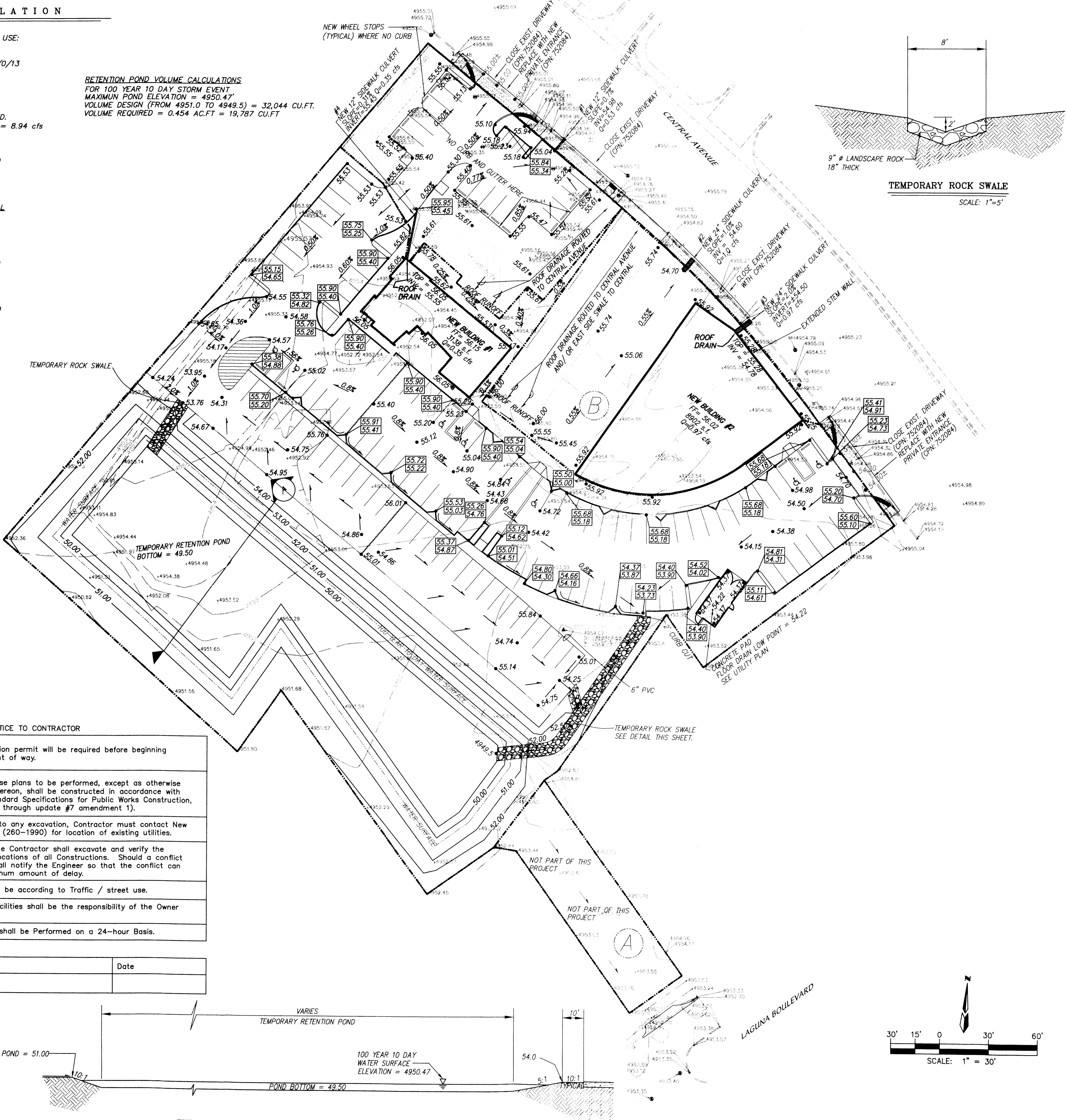
CULVERT #1 DEVELOPED RUNOFF  
BASIN AREA = 4820 SF  
LAND TREATMENT A/B/C/D = 0/0/0/100  
Q<sub>100</sub> = 0.53 cfs V<sub>100</sub> = 0.0226 AC-FT  
USE 12" SIDEWALK CULVERT

CULVERT #2 DEVELOPED RUNOFF  
BASIN AREA = 10256 SF  
LAND TREATMENT A/B/C/D = 0/20/0/80  
Q<sub>100</sub> = 1.0 cfs V<sub>100</sub> = 0.014 AC-FT  
USE 24" SIDEWALK CULVERT

CULVERT #3 DEVELOPED RUNOFF  
BASIN AREA = 8902 SF  
LAND TREATMENT A/B/C/D = 0/0/0/100  
Q<sub>100</sub> = 0.97 cfs V<sub>100</sub> = 0.0417 AC-FT  
USE 24" SIDEWALK CULVERT

CULVERT #4 DEVELOPED RUNOFF  
BASIN AREA = 3138 SF  
LAND TREATMENT A/B/C/D = 0/0/0/100  
Q<sub>100</sub> = 0.35 cfs V<sub>100</sub> = 0.0147 AC-FT  
USE 12" SIDEWALK CULVERT

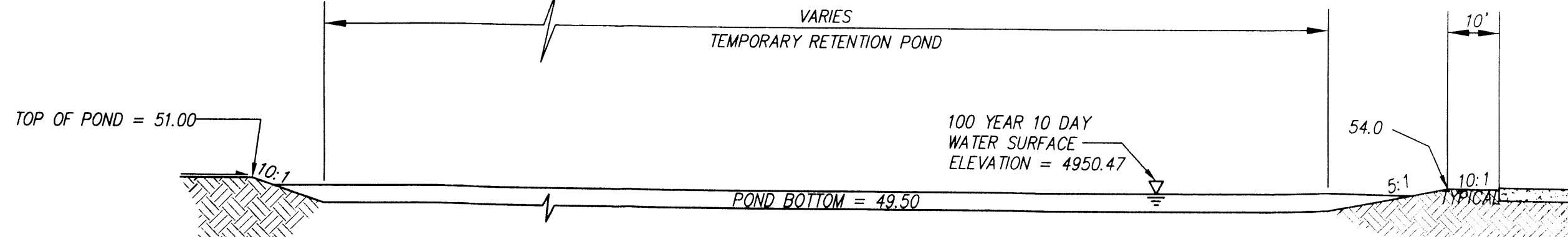
RETENTION POND VOLUME CALCULATIONS  
FOR 100 YEAR 10 DAY STORM EVENT  
MAXIMUM POND ELEVATION = 4950.47'  
VOLUME DESIGN (FROM 4951.0 TO 4949.5) = 32,044 CU.FT.  
VOLUME REQUIRED = 0.454 AC.FT = 19,787 CU.FT



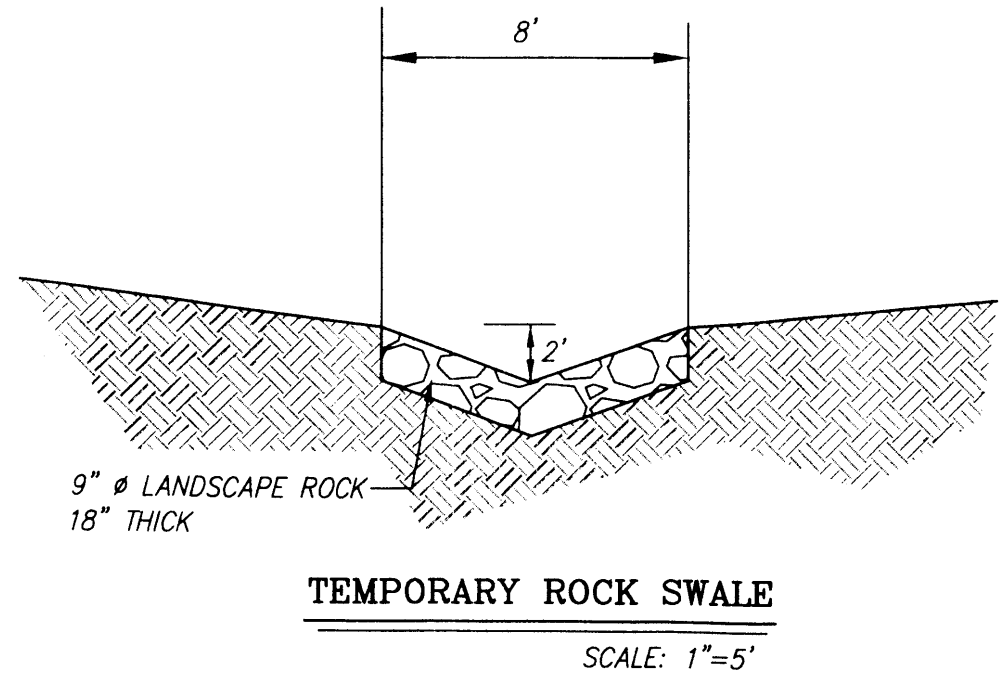
Handwritten note: 2nd floor drain to 10' deep pit. 2nd floor drain to 10' deep pit. 2nd floor drain to 10' deep pit.

NOTICE TO CONTRACTOR	
1.	An excavation/construction permit will be required before beginning any work within City right of way.
2.	All work detailed on these plans to be performed, except as otherwise stated or provided for hereon, shall be constructed in accordance with City of Albuquerque Standard Specifications for Public Works Construction, (1986 Edition as revised through update #7 amendment 1).
3.	Two working days prior to any excavation, Contractor must contact New Mexico One Call system, (260-1990) for location of existing utilities.
4.	Prior to construction, the Contractor shall excavate and verify the horizontal and vertical locations of all constructions. Should a conflict exist, the Contractor shall notify the Engineer so that the conflict can be resolved with a minimum amount of delay.
5.	Backfill compaction shall be according to Traffic / street use.
6.	Maintenance of these facilities shall be the responsibility of the Owner of the property served.
7.	Work on Arterial Street shall be Performed on a 24-hour Basis.

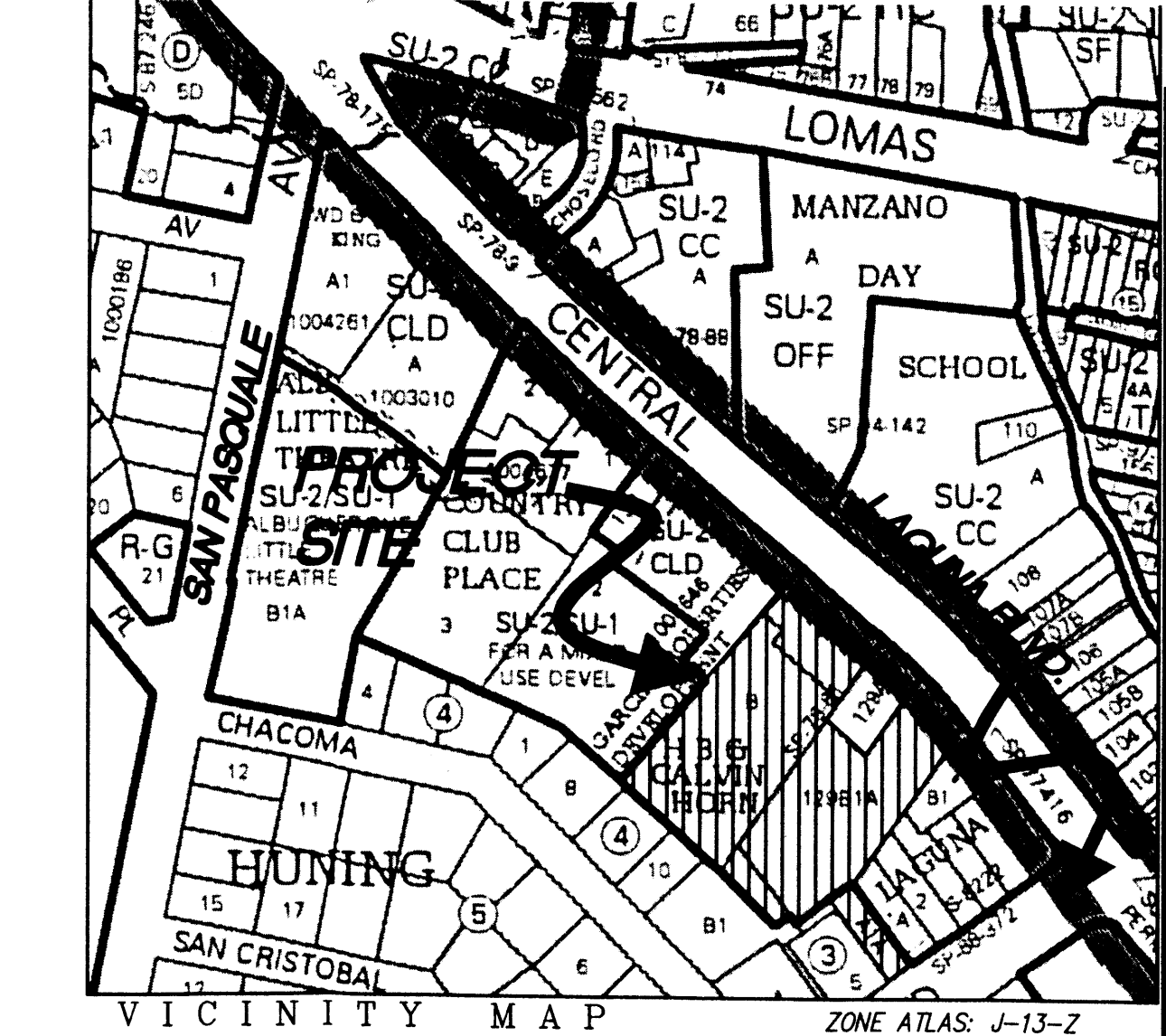
Approval	Name	Date
Inspector		



TYPICAL RETENTION POND CROSS SECTION A-A



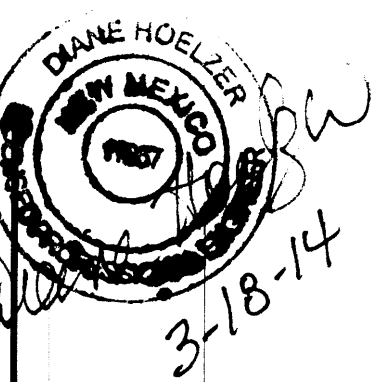
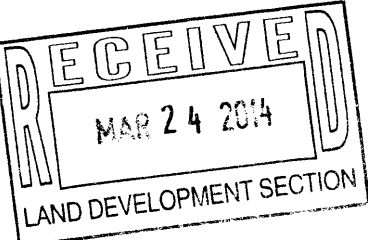
TEMPORARY ROCK SWALE  
SCALE: 1"=5'



- NOTES:
- ROOFS FOR BUILDINGS NUMBER 1 AND 2 MUST DRAIN NORTH TOWARDS CENTRAL AVENUE.
  - COUNTRY CLUB PLAZA IS IN FLOOD ZONE X AS PER FIRM MAP NO. 35001C0333H. AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THEN 1 FOOT OR WITH DRAINAGE AREAS LESS THEN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.

BENCHMARK  
ACS CONTROL STATION "17-J14"  
N= 1488866.762  
E= 1519149.317  
Z= 4957.484  
NEW MEXICO STATE PLANE, CENTRAL ZONE  
G= 0.9996833611  
DELTA-ALPHA= -0013'59".00  
NAD 1983/NAVD 1988

- LEGEND
- EXISTING SPOT ELEVATION
  - EXISTING CONTOUR
  - EXISTING WATER WELL
  - EXISTING BOLLARD
  - EXISTING GUY WIRE
  - EXISTING SAS MH
  - EXISTING TELEPHONE PEDESTAL
  - NEW SPOT ELEVATION
  - SWALE
  - NEW CONTOUR ELEVATION
  - EXISTING SEWER MANHOLE
  - EXISTING GAS METER
  - EXISTING WATER VALVE
  - EXISTING CLEANOUT
  - EXISTING UTILITY POLE
  - EXISTING MONITORING WELL
  - EXISTING WATER METER
  - EXISTING CURB
  - NEW WATER METER
  - NEW RETAINING WALL
  - BASIN A
  - BASIN B
  - BASIN BOUNDARY
  - TOP OF CURB
  - BOTTOM OF CURB
  - NEW FLOW LINE, SPOT ELEVATION
  - NEW SWALE
  - EXISTING ELEVATION
  - EXISTING DRIVEWAY CUT



MARK GOODWIN & ASSOCIATES, P.A.  
CONSULTING ENGINEERS  
P.O. BOX 90606  
ALBUQUERQUE, NEW MEXICO 87199  
OFFICE (505) 828-2200 FAX (505) 797-9539

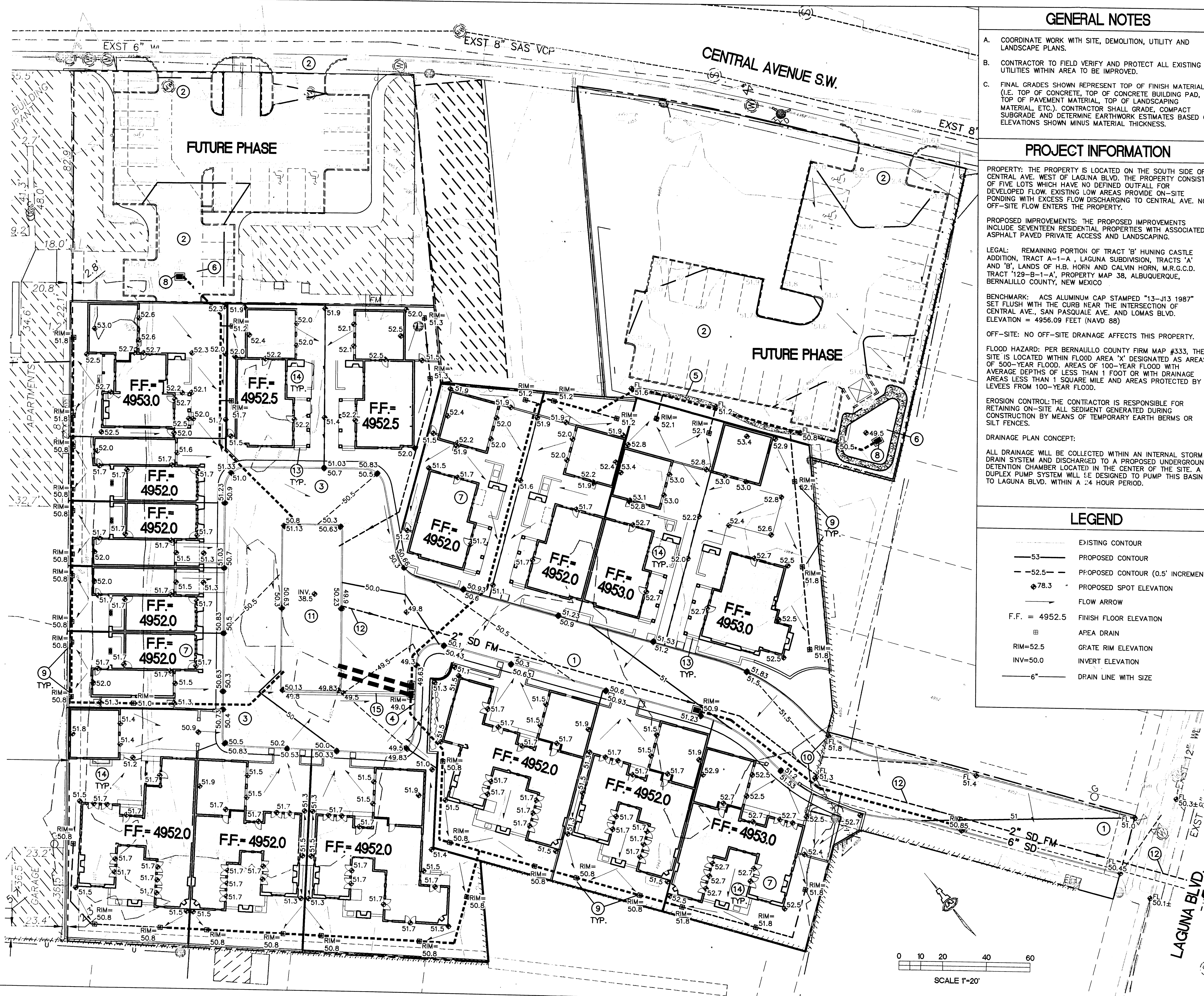
revision	by	date
1		

Mullen Heller  
Architecture P.C.  
924 Park Avenue SW  
Suite B  
Albuquerque, NM 87102  
505 268 4144 [p]  
505 268 4244 [f]

job number	12.11
drawn by	S.J. MWS
project manager	Doug Heller, AIA
date	11/13/12

Country Club Plaza  
SWC of Central Avenue and Laguna Boulevard  
Albuquerque, New Mexico 87102  
sheet title  
GRADING & DRAINAGE PLAN





GENERAL NOTES

- A. COORDINATE WORK WITH SITE, DEMOLITION, UTILITY AND LANDSCAPE PLANS.
- B. CONTRACTOR TO FIELD VERIFY AND PROTECT ALL EXISTING UTILITIES WITHIN AREA TO BE IMPROVED.
- C. FINAL GRADES SHOWN REPRESENT TOP OF FINISH MATERIAL (I.E. TOP OF CONCRETE, TOP OF CONCRETE BUILDING PAD, TOP OF PAVEMENT MATERIAL, TOP OF LANDSCAPING MATERIAL, ETC.). CONTRACTOR SHALL GRADE, COMPACT SUBGRADE AND DETERMINE EARTHWORK ESTIMATES BASED ON ELEVATIONS SHOWN MINUS MATERIAL THICKNESS.

PROJECT INFORMATION

PROPERTY: THE PROPERTY IS LOCATED ON THE SOUTH SIDE OF CENTRAL AVE. WEST OF LAGUNA BLVD. THE PROPERTY CONSISTS OF FIVE LOTS WHICH HAVE NO DEFINED OUTFALL FOR DEVELOPED FLOW. EXISTING LOW AREAS PROVIDE ON-SITE PONDING WITH EXCESS FLOW DISCHARGING TO CENTRAL AVE. NO OFF-SITE FLOW ENTERS THE PROPERTY.

PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS INCLUDE SEVENTEEN RESIDENTIAL PROPERTIES WITH ASSOCIATED ASPHALT PAVED PRIVATE ACCESS AND LANDSCAPING.

LEGAL: REMAINING PORTION OF TRACT 'B' HUNING CASTLE ADDITION, TRACT A-1-A, LAGUNA SUBDIVISION, TRACTS 'A' AND 'B', LANDS OF H.B. HORN AND CALVIN HORN, M.R.G.C.D. TRACT '129-B-1-A', PROPERTY MAP 38, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

BENCHMARK: ACS ALUMINUM CAP STAMPED "13-J13 1987" SET FLUSH WITH THE CURB NEAR THE INTERSECTION OF CENTRAL AVE. SAN PASQUALE AVE. AND LOMAS BLVD. ELEVATION = 4956.09 FEET (NAVD 88)

OFF-SITE: NO OFF-SITE DRAINAGE AFFECTS THIS PROPERTY.

FLOOD HAZARD: PER BERNALILLO COUNTY FIRM MAP #333, THE SITE IS LOCATED WITHIN FLOOD AREA 'X' DESIGNATED AS AREAS OF 500-YEAR FLOOD. AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE AND AREAS PROTECTED BY LEVEES FROM 100-YEAR FLOOD.

EROSION CONTROL: THE CONTRACTOR IS RESPONSIBLE FOR RETAINING ON-SITE ALL SEDIMENT GENERATED DURING CONSTRUCTION BY MEANS OF TEMPORARY EARTH BERMS OR SILT FENCES.

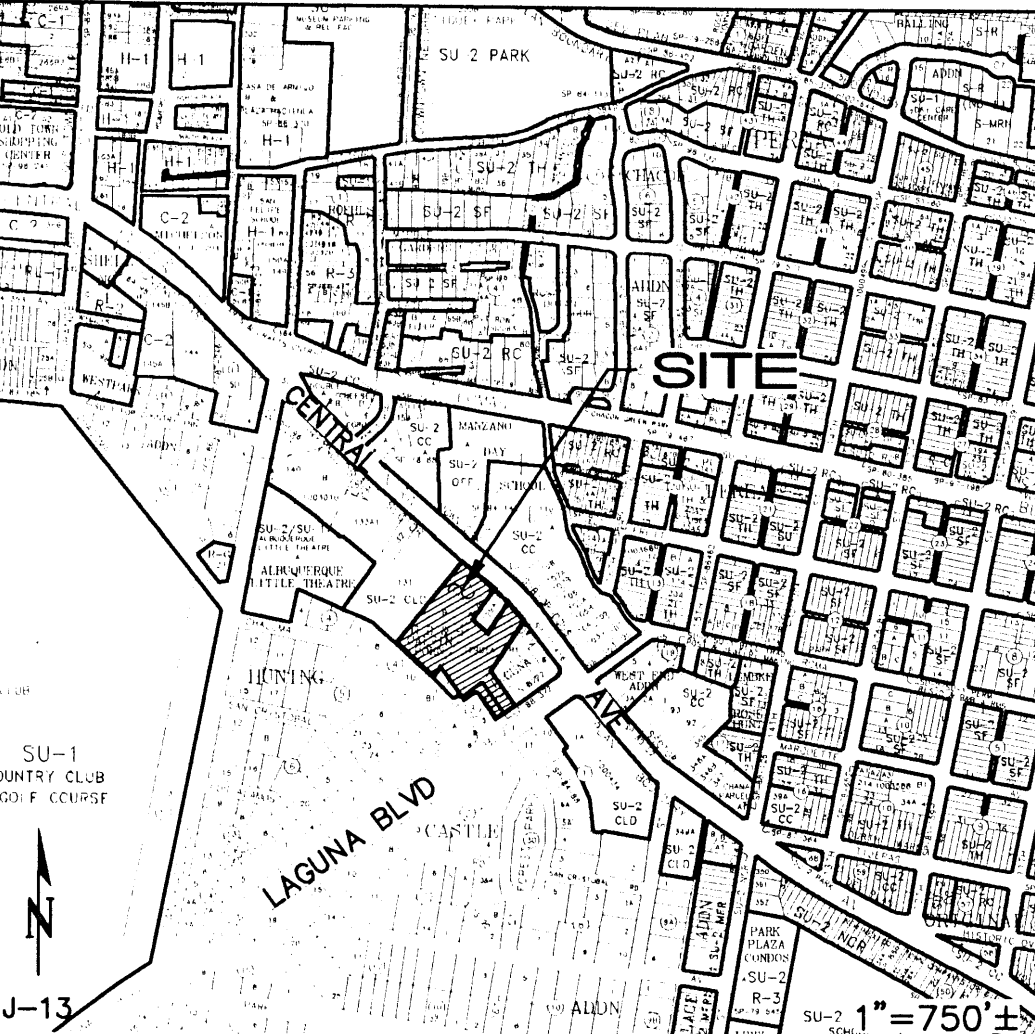
DRAINAGE PLAN CONCEPT:

ALL DRAINAGE WILL BE COLLECTED WITHIN AN INTERNAL STORM DRAIN SYSTEM AND DISCHARGED TO A PROPOSED UNDERGROUND DETENTION CHAMBER LOCATED IN THE CENTER OF THE SITE. A DUPLEX PUMP SYSTEM WILL BE DESIGNED TO PUMP THIS BASIN TO LAGUNA BLVD. WITHIN A 24 HOUR PERIOD.

LEGEND

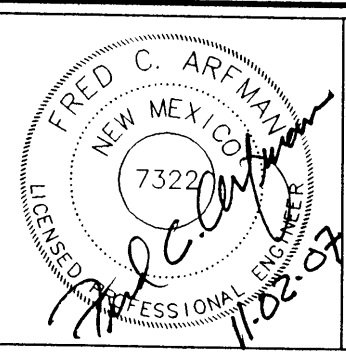
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED CONTOUR (0.5' INCREMENT)
- PROPOSED SPOT ELEVATION
- FLOW ARROW
- FINISH FLOOR ELEVATION
- AREA DRAIN
- GRATE RIM ELEVATION
- INVERT ELEVATION
- DRAIN LINE WITH SIZE

VICINITY MAP J-13



KEYED NOTES

- 1. NEW 'COUNTRY CLUB PLAZA LANE' ROADWAY, CURB AND GUTTER AND SIDEWALKS SHOWN FOR GENERAL INFORMATION ONLY - SEE WORK ORDER DOCUMENTS FOR CONSTRUCTION INFORMATION.
- 2. NEW ACCESS DRIVES FROM CENTRAL AVE. AND PAVED PARKING LOTS TO BE CONSTRUCTED AS A FUTURE PHASE. PHASE 1 TO INCLUDE ROUGH GRADING OF SITE AND INSTALLATION OF STORM DRAIN SYSTEM, COBBLE SWALE AND DESILTATION POND(S) AS SHOWN.
- 3. CONSTRUCT ASPHALT PAVED LOOP TO ELEVATIONS SHOWN WITH ROLL CURB (TYPICAL UNLESS NOTED) AND WALK AS SHOWN. SEE ARCHITECTURAL FOR DIMENSIONS AND DETAILS.
- 4. CONSTRUCT STANDARD CURB AND GUTTER (C.O.A. STD. DWG. 2415) FULL LENGTH OF LINEAR SEGMENT THIS AREA, TRANSITION TO TYPICAL ROLL CURB ALONG CURB RETURN EACH SIDE. CONSTRUCT DOUBLE 'C' INLET CENTERED ON LINEAR SEGMENT. SEE SHEET C002.
- 5. CONSTRUCT COBBLE SWALE. SEE DETAIL SHEET C002.
- 6. CONSTRUCT TEMPORARY 15'X20'X12" DEEP DESILTATION POND.
- 7. EACH TOWNHOME UNIT WILL DISCHARGE ROOF FLOW TO PERIMETER. PROVIDE PRECAST CONCRETE SPLASHBLOCK AT ALL LOCATIONS WHICH WILL RECEIVE CONCENTRATED ROOF DISCHARGE. GRADE AWAY FROM BUILDING AT 2% MIN. FOR FIRST 5' TYPICAL.
- 8. CONSTRUCT STORM DRAIN INLET AT RIM AND INVERT ELEVATIONS SHOWN. PROVIDE EROSION PROTECTION PER SWPPP TO BE INSTALLED (TO BE LEFT IN PLACE FOLLOWING COMPLETE OF PHASE I).
- 9. INSTALL AREA DRAINS AT RIM AND INVERT ELEVATIONS SHOWN. GRADE REAR AND SIDEYARD LANDSCAPING TO DIRECT DISCHARGE (MIN. 1% SLOPE) TO INLETS. SEE SHEET C002 FOR DETAILS. TYPICAL EACH LOT.
- 10. HIGH POINT THIS AREA.
- 11. CONSTRUCT UNDERGROUND STORMWATER DETENTION CHAMBER PER STRUCTURAL DETAILS PROVIDED SEPARATELY. SEE CALCULATIONS FOR SIZING INFORMATION.
- 12. INSTALL PUMP SYSTEM (DETAILS PROVIDED SEPARATELY) AND 2" STORM DRAIN FORCE MAIN TO DRAIN POND TO EXISTING LAGUNA BLVD. STORM DRAIN SYSTEM.
- 13. SEE ARCHITECTURAL FOR STEP DETAILS TO TRANSITION TO ADJACENT GRADES. TYPICAL.
- 14. SLOPE TOWNHOME WALKS, PATIOS, ETC. TO DRAIN AT 1% SLOPE (MINIMUM). OUTDOOR STRUCTURES CONSTRUCTED WITHIN DRAINAGE FLOWPATHS WILL REQUIRE OPENINGS (4" DIA. AT 6' O.C.) AT FLOWLINE TO PASS FLOW. TYPICAL.
- 15. CONSTRUCT 2' WIDE ALLEY GUTTER PER C.O.A. STD. DWG. 2415 AT ELEVATIONS SHOWN.
- 16. CONSTRUCT SINGLE 'D' INLETS WITH EQUALIZER PIPE BETWEEN. PROVIDE 6" DISCHARGE TO NEW LAGUNA BLVD. STORM DRAIN MANHOLE. SEE SHEET C002.



**ISAACSON & ARFMAN, P.A.**  
Consulting Engineering Associates  
128 Monroe Street N.E.  
Albuquerque, New Mexico 87108  
Ph: 505-268-8828 Fax: 505-268-2632  
1462GRD.dwg Nov 02, 2007

**COUNTRY CLUB PLAZA**  
INFILL SOLUTIONS, LLC

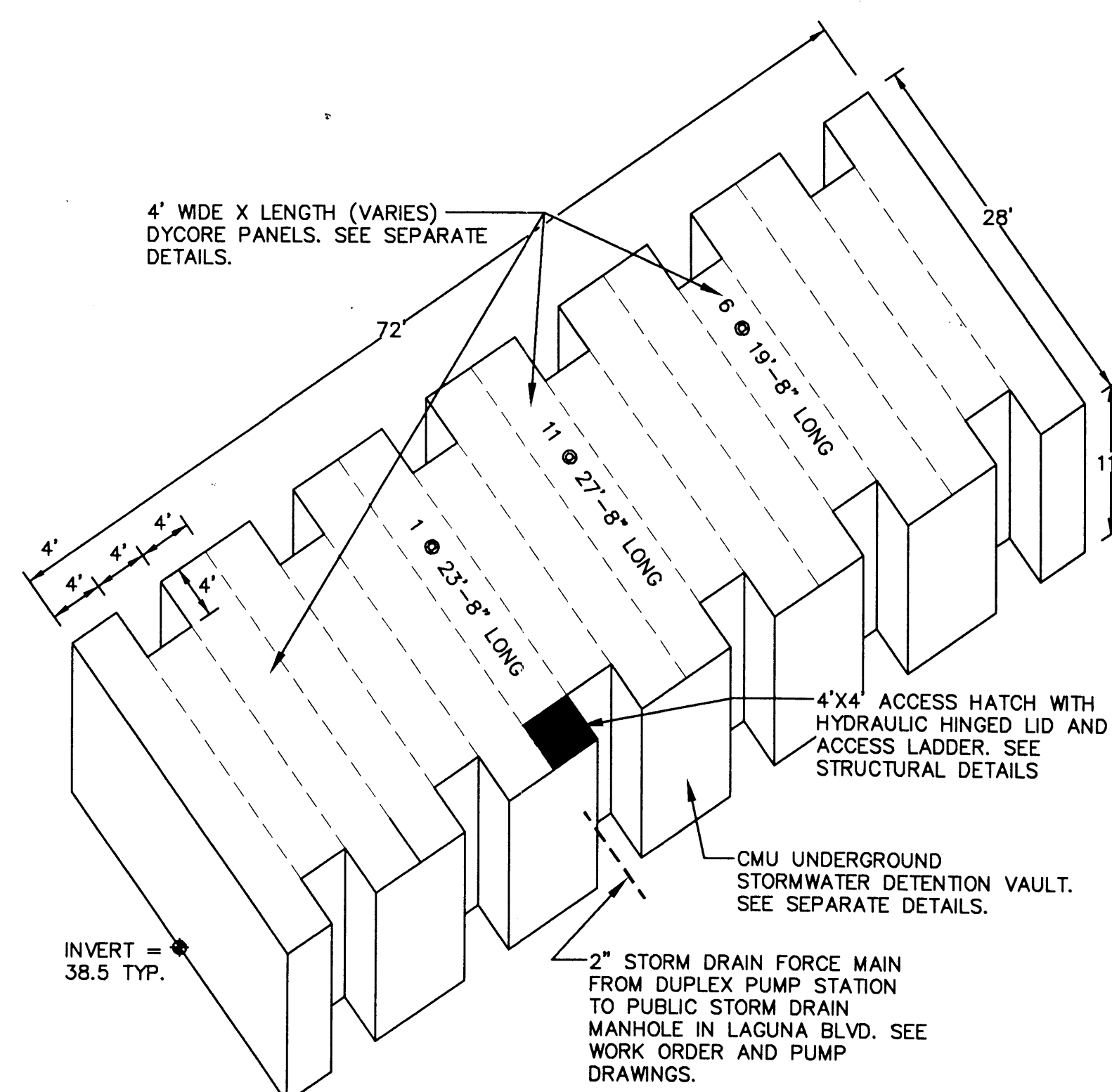
**GRADING AND DRAINAGE PLAN**

Date:	No.	Revision	Date:	Job No.
Nov '07				1462
Drawn By:				<b>COO1</b>
Chk By:				SH. OF

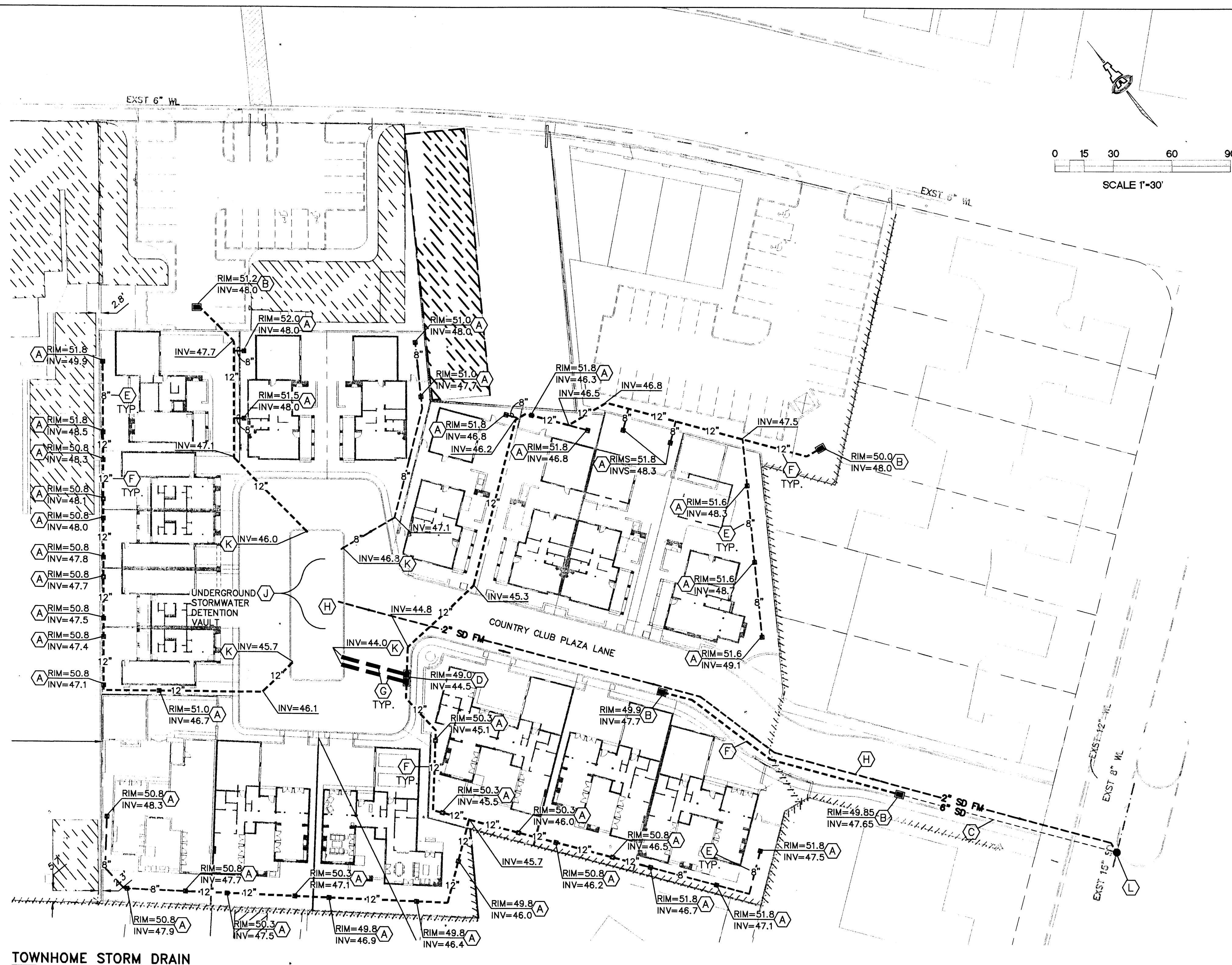


- A. INSTALL ALL STORM DRAIN INLETS AND PIPE PER MANUFACTURER'S REQUIREMENTS.
- B. ALL NEW STORM DRAIN LINE IS TO BE INSTALLED AT RIM / INVERT ELEVATIONS SHOWN. MINIMUM SLOPE = 1.0% AS SHOWN.
- C. ALL STORM DRAIN TO BE A.D.S. N-12WT (WATERTIGHT) PIPE OR APPROVED EQUAL.
- D. ALL COBBLE EROSION PROTECTION TO BE 6" AVG. DIA. ANGULAR FACED RIP-RAP.

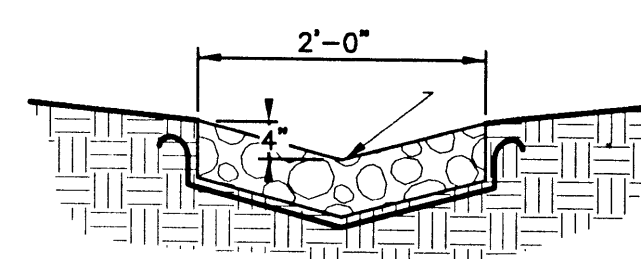
- (A) INSTALL 12" DIA. ADS NYLOPLAST INLINE DRAIN (PART #2712AG) WITH 6" ADAPTER AND 12" DIA. DOME GRATE (PART #1293CGD).
- (B) CONSTRUCT SINGLE 'D' INLET PER C.O.A. STD. DWG. 2206.
- (C) ALL 6" STORM DRAIN. INSTALL 6" DIA. ADS N12WT WATERTIGHT STORM DRAIN AT INVERT ELEVATIONS SHOWN. SLOPE = 1% MINIMUM.
- (D) CONSTRUCT DOUBLE 'C' INLET PER C.O.A. STD. DWG. 2205.
- (E) ALL 8" STORM DRAIN. INSTALL 8" DIA. ADS N12WT WATERTIGHT STORM DRAIN AT INVERT ELEVATIONS SHOWN. SLOPE = 1% MINIMUM.
- (F) ALL 12" STORM DRAIN. INSTALL 12" DIA. ADS N12WT WATERTIGHT STORM DRAIN AT INVERT ELEVATIONS SHOWN. SLOPE = 1% MINIMUM.
- (G) ALL 24" STORM DRAIN. INSTALL 24" DIA. ADS N12WT WATERTIGHT STORM DRAIN AT INVERT ELEVATIONS SHOWN. SLOPE = 1% MINIMUM.
- (H) INSTALL 2" FORCELINE FROM PUMPING SYSTEM TO EXISTING PUBLIC STORM DRAIN MANHOLE IN LAGUNA BLVD. SEE UTILITY PLAN FOR ADDITIONAL INFORMATION.
- (J) CONSTRUCT UNDERGROUND STORMWATER DETENTION CHAMBER. SEE SEPARATE DETAILS.
- (K) EXTEND STORM DRAIN LINE INTO UNDERGROUND STORMWATER DETENTION VAULT. SEE SEPARATE DETAILS.
- (L) EXISTING PUBLIC STORM DRAIN WITHIN LAGUNA BLVD., NO AS-BUILT INFORMATION AVAILABLE. EXISTING STORM DRAIN MANHOLES SEALED WITH ASPHALT. CONTRACTOR TO FIELD LOCATE / DETERMINE INVERT OF EXISTING STORM DRAIN THIS AREA. CONSTRUCT 4" DIA. STORM MANHOLE PER C.O.A. STD. DWG. 2101. EXTEND PROPOSED 2" FORCE MAIN AND 6" CITY CLUB PLAY AREA STORM DRAIN USING WATERTIGHT FITTINGS. CONTRACTOR TO PROVIDE ENGINEER WITH EXISTING STORM DRAIN LOCATION AND INVERT (SURVEYED BY CERTIFIED SURVEYOR) TO M.S.L.D. AS PART OF AS-BUILT INFORMATION.



### UNDERGROUND STORMWATER DETENTION CHAMBER – GENERAL INFORMATION




## TOWNHOME STORM DRAIN



- VARY COBBLE SIZE BETWEEN 4" AND 8" DIA. (AVG.=6")  
TOTAL DEPTH = 12" TYP.
- PLACE GEOTEX 501 NON-WOVEN GEOTEXTILE (O.E.) BENEATH COBBLE SWALE PER MANUFACTURER'S RECOMMENDATIONS.

COBBLE LINED SWALE

	<h2 style="margin: 0;">ISAACSON &amp; ARFMAN, P.A.</h2> <p style="margin: 0;">Consulting Engineering Associates</p> <p style="margin: 0;">128 Monroe Street N.E.</p> <p style="margin: 0;">Albuquerque, New Mexico 87108</p> <p style="margin: 0;">Ph. 505-268-8828    Fax. 505-268-2632</p> <p style="margin: 0;">14620.TLS.dwg                      Nov 02, 2007</p>
<p><small>This design, calculations, and concepts are owned by and remain the property of Isaacson &amp; Arfman, P.A. and no part thereof shall be utilized by any person, firm or corporation for any purpose whatsoever except with the written permission of Isaacson &amp; Arfman, P.A.</small></p>	
<h1 style="margin: 0;">COUNTRY CLUB PLAZA</h1> <h2 style="margin: 0;">INFILL SOLUTIONS, LLC</h2>	
<h1 style="margin: 0;">DRAINAGE DETAILS</h1>	



DRAINAGE CALCULATION

TOTAL PROJECT SITE AREA= 3.25 ACRES  
FOR AHMO 100 YR 24 HR STORM EVENT USE:  
P1 = 2.01" P2 = 2.35" P24 = 2.75"  
EXISTING CONDITION  
LAND TREATMENT A/B/C/D = 43.5/43.5/0/13  
Q<sub>100</sub> = 7.29 cfs V<sub>100</sub> = 0.2379 AC-FT  
DEVELOPED CONDITIONS

PHASE 1  
THE INTENT OF THIS PLAN IS TO RETAIN  
THE 10 DAY STORM IN A TEMPORARY POND.  
CALCULABLE = 2.75 cfs/AC. x (3.25 ACRES) = 8.94 cfs

AREA THAT DRAINS TO POND  
BASIN AREA = 2.39 AC  
LAND TREATMENT A/B/C/D = 0/40/10/50  
Q<sub>100</sub> = 8.55 cfs V<sub>100</sub> = 0.327 AC-FT  
MWSEL = 50.88  
(100YR-10DAY) VOL. REQ'D = 16553 cf  
VOL. DESIGN = 23087 cf

BASIN B - DIRECT DISCHARGE TO CENTRAL  
BASIN AREA = 0.85 AC  
LAND TREATMENT A/B/C/D = 0/10/0/90  
Q<sub>100</sub> = 3.84 cfs V<sub>100</sub> = 0.1629 AC-FT

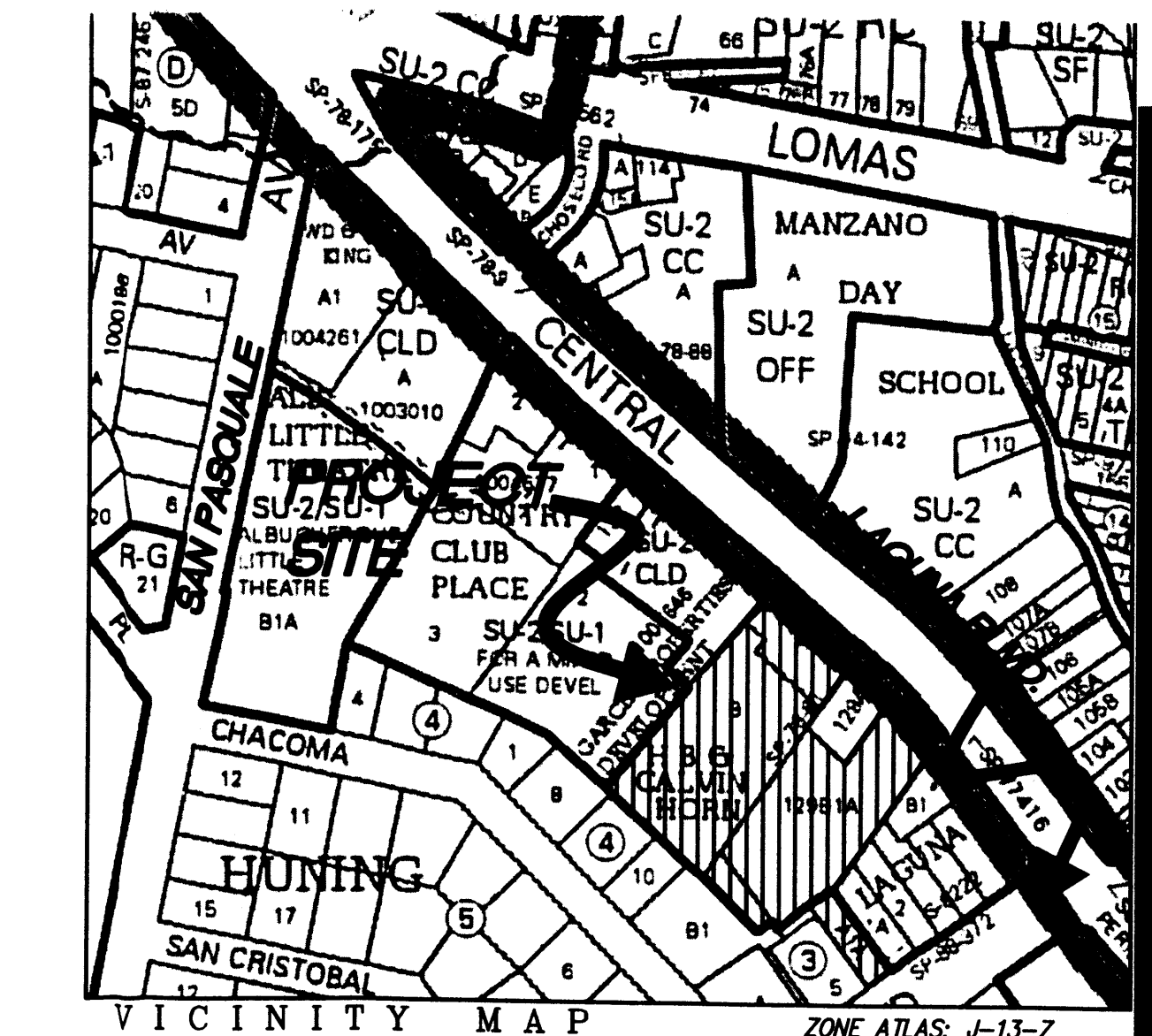
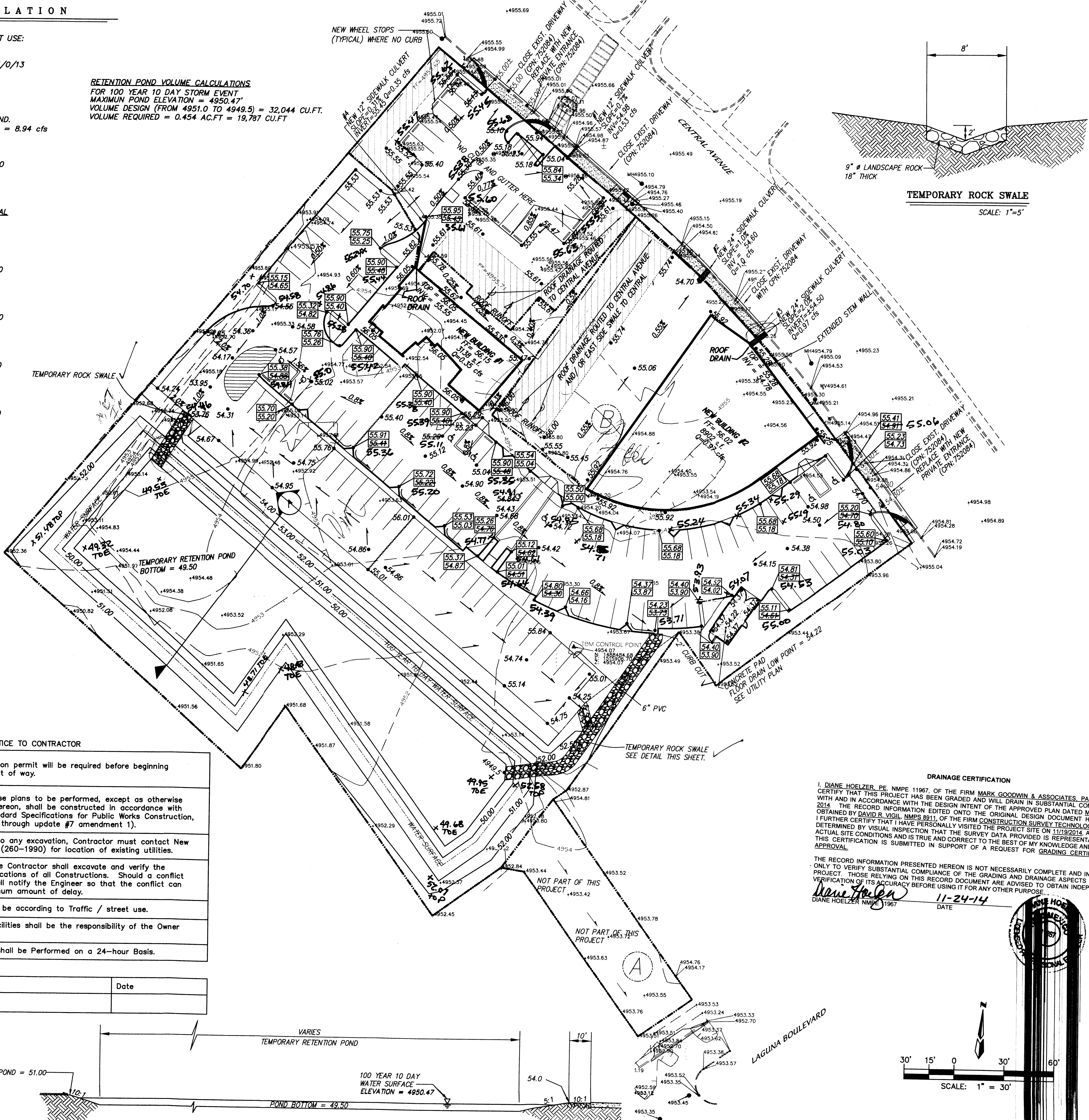
CULVERT #1 DEVELOPED RUNOFF  
BASIN AREA = 4820 SF  
LAND TREATMENT A/B/C/D = 0/0/0/100  
Q<sub>100</sub> = 0.53 cfs V<sub>100</sub> = 0.0226 AC-FT  
USE 12" SIDEWALK CULVERT

CULVERT #2 DEVELOPED RUNOFF  
BASIN AREA = 10256 SF  
LAND TREATMENT A/B/C/D = 0/20/0/80  
Q<sub>100</sub> = 1.0 cfs V<sub>100</sub> = 0.014 AC-FT  
USE 24" SIDEWALK CULVERT

CULVERT #3 DEVELOPED RUNOFF  
BASIN AREA = 8902 SF  
LAND TREATMENT A/B/C/D = 0/0/0/100  
Q<sub>100</sub> = 0.97 cfs V<sub>100</sub> = 0.0417 AC-FT  
USE 24" SIDEWALK CULVERT

CULVERT #4 DEVELOPED RUNOFF  
BASIN AREA = 3138 SF  
LAND TREATMENT A/B/C/D = 0/0/0/100  
Q<sub>100</sub> = 0.35 cfs V<sub>100</sub> = 0.0147 AC-FT  
USE 12" SIDEWALK CULVERT

RETENTION POND VOLUME CALCULATIONS  
FOR 100 YEAR 10 DAY STORM EVENT  
MAXIMUM POND ELEVATION = 4950.47'  
VOLUME DESIGN (FROM 4951.0 TO 4949.5) = 32,044 CU.FT.  
VOLUME REQUIRED = 0.454 AC-FT = 19,787 CU.FT



- NOTES:
- ROOFS FOR BUILDINGS NUMBER 1 AND 2 MUST DRAIN NORTH TOWARDS CENTRAL AVENUE.
  - COUNTRY CLUB PLAZA IS IN FLOOD ZONE X AS PER FIRM MAP NO. 35001003334. AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THEN 1 FOOT OR WITH DRAINAGE AREAS LESS THEN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.

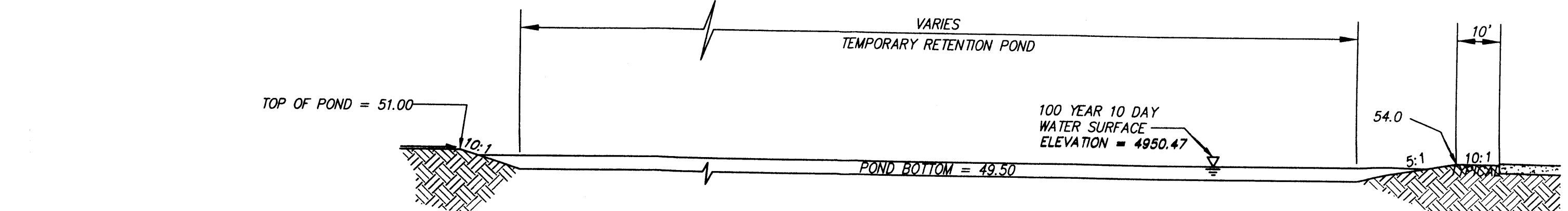
BENCHMARK  
ACS CONTROL STATION "17-14"  
N= 1488866.782  
E= 1519149.317  
Z= 4957.484  
NEW MEXICO STATE PLANE, CENTRAL ZONE  
G-G= 0.9996833611  
DELTA-ALPHA= -0071359".00  
NAD 1983/NAVD 1988

- LEGEND
- EXISTING SPOT ELEVATION
  - EXISTING CONTOUR
  - EXISTING WATER WELL
  - EXISTING BOLLARD
  - EXISTING GUY WIRE
  - EXISTING SAS MH
  - EXISTING TELEPHONE PEDESTAL
  - NEW SPOT ELEVATION
  - SWALE
  - NEW CONTOUR ELEVATION
  - EXISTING SEWER MANHOLE
  - EXISTING GAS METER
  - EXISTING WATER VALVE
  - EXISTING CLEANOUT
  - EXISTING UTILITY POLE
  - EXISTING MONITORING WELL
  - EXISTING WATER METER
  - EXISTING CURB
  - NEW WATER METER
  - NEW RETAINING WALL
  - BASIN A
  - BASIN B
  - BASIN BOUNDARY
  - TOP OF CURB
  - BOTTOM OF CURB
  - NEW FLOW LINE, SPOT ELEVATION
  - NEW SWALE
  - EXISTING ELEVATION
  - EXISTING DRIVEWAY CUT

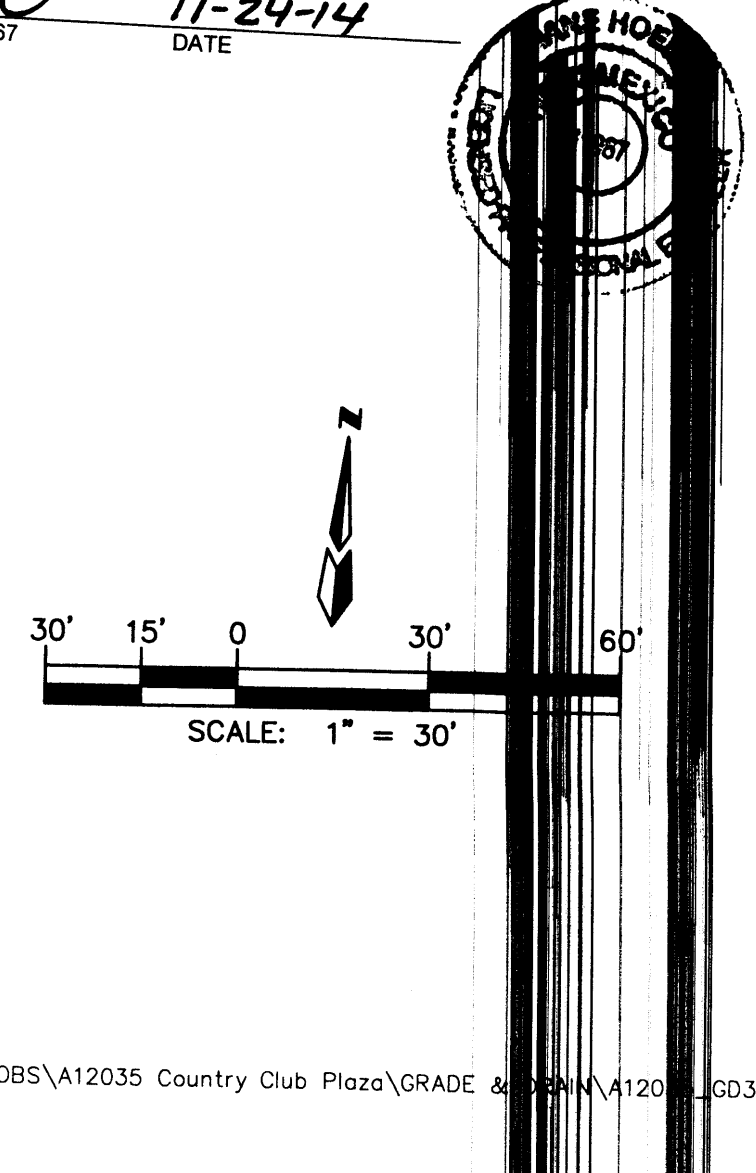
NOTICE TO CONTRACTOR

1.	An excavation/construction permit will be required before beginning any work within City right of way.
2.	All work detailed on these plans to be performed, except as otherwise stated or provided for hereon, shall be constructed in accordance with City of Albuquerque Standard Specifications for Public Works Construction, (1986 Edition as revised through update #7 amendment 1).
3.	Two working days prior to any excavation, Contractor must contact New Mexico One Call system, (260-1990) for location of existing utilities.
4.	Prior to construction, the Contractor shall excavate and verify the horizontal and vertical locations of all Constructions. Should a conflict exist, the Contractor shall notify the Engineer so that the conflict can be resolved with a minimum amount of delay.
5.	Backfill compaction shall be according to Traffic / street use.
6.	Maintenance of these facilities shall be the responsibility of the Owner of the property served.
7.	Work on Arterial Street shall be Performed on a 24-hour Basis.

Approval	Name	Date
Inspector		



DRAINAGE CERTIFICATION  
I, DIANE HOELZER, PE, NMPE 11967, OF THE FIRM MARK GOODWIN & ASSOCIATES, P.A. HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED MARCH 18, 2014. THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.  
DIANE HOELZER NMPE 11967 11-24-14 DATE



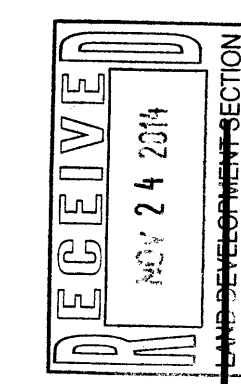
MARK GOODWIN & ASSOCIATES, P.A.  
CONSULTING ENGINEERS  
P.O. BOX 90606  
ALBUQUERQUE, NEW MEXICO 87199  
OFFICE (505) 828-2200, FAX (505) 797-9539

revision	by	date



Mullen Heller  
Architecture P.C.  
924 Park Avenue SW  
Suite B  
Albuquerque 87102  
505 268 4144[p]  
505 268 4244 [f]

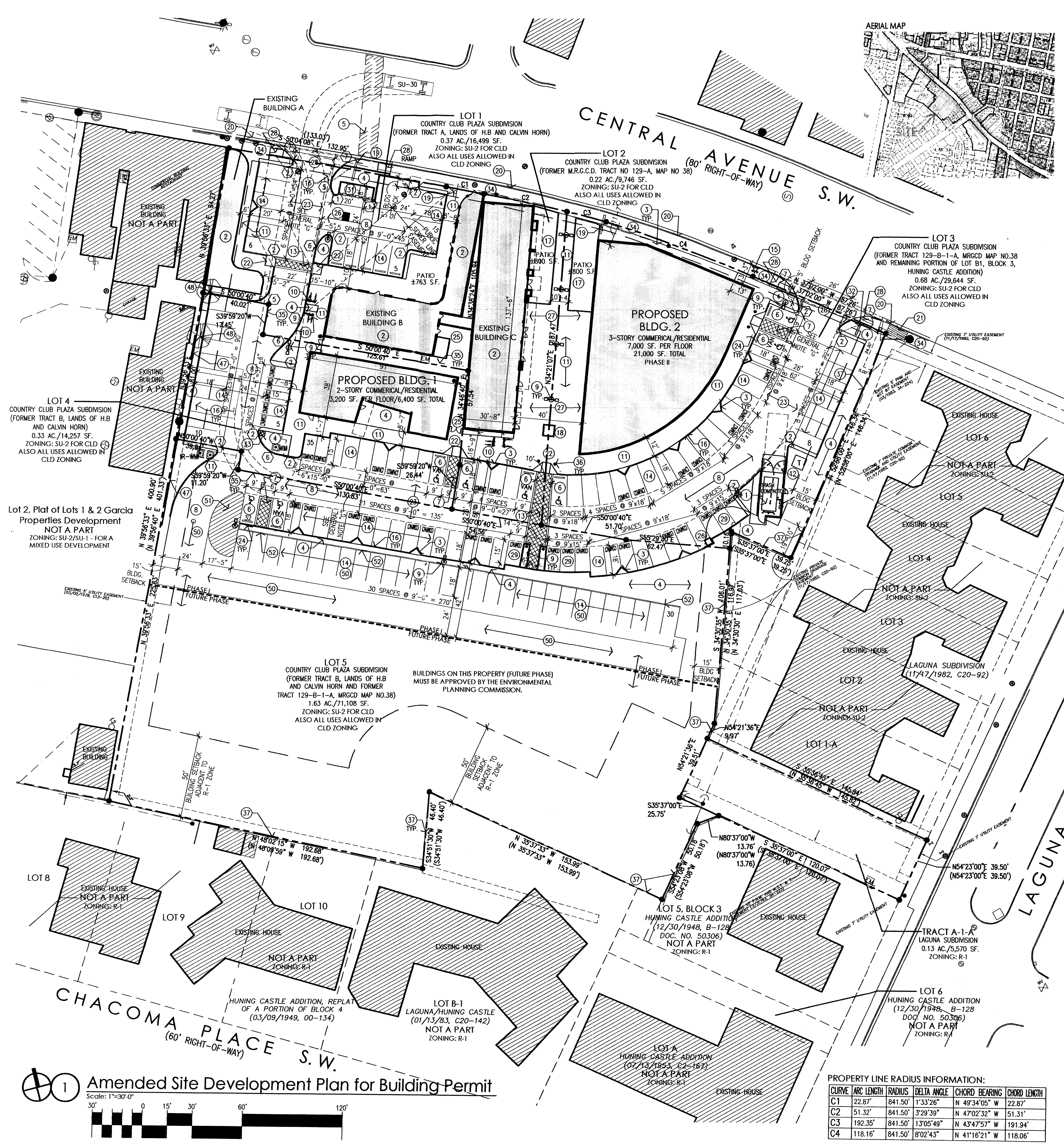
job number	12-11
drawn by	S.J. MWS
project manager	Doug Heller, AIA
date	11/13/12



Country Club Plaza  
SWC of Central Avenue and Laguna Boulevard  
Albuquerque, New Mexico 87102  
GRADING & DRAINAGE PLAN

project file  
sheet





PARKING CALCULATIONS: PER APPENDIX J IN THE COA COMPREHENSIVE ZONING CODE

General Land Use Classification	Weekdays			Weekends		
	midnight to 7am	7am to 6pm	6pm to midnight	midnight to 7am	7am to 6pm	6pm to midnight
Office	0%	100%	5%	0%	10%	0%
Restaurants	0%	80%	100%	0%	60%	100%
Retail	0%	80%	50%	0%	100%	10%
Residential	100%	20%	100%	100%	80%	100%

Parking Calculations for Required Number of Spaces

Land Use	Area/Number of Units	Parking Requirements	Required parking
Office - First Floor	3200	200 /sf	16
Office - Second Floor	3200	300 /sf	11
Restaurants	3400 *	45 /sf	80
Retail	9,583	200 /sf	48
Residential	25	1 **/unit	25

General Land Use Classification

	Weekdays			Weekends		
	midnight to 7am	7am to 6pm	6pm to midnight	midnight to 7am	7am to 6pm	6pm to midnight
Office	0	27	0	0	3	0
Restaurants	0	44	80	0	48	80
Retail	0	38	24	0	48	5
Residential	25	5	25	25	20	25

Total Number of Spaces

Required per time period	25	134	130	25	119	110
Required parking for Restaurants (assuming for a 6,000sf facility, 60% seating (3,600sf) divided by 15sf/occupant (240 occupants). Required parking for a full-service liquor establishment is 1 space/3 occupants (80).						
**Required parking for Residential uses is 1:1 Zone						

Peak Parking Requirement 134 spaces  
Less 10% bus line credit 121 spaces required  
Parking Provided 135 spaces

PARKING CALCULATIONS:  
SHARED PARKING FOR THIS DEVELOPMENT IS ALLOWED PER THE CITY OF ALBUQUERQUE OFF-STREET PARKING REGULATIONS (14-16-3-1) APPENDIX J. THE ABOVE TABLE ASSUMES USES OF THE FUTURE COMMERCIAL BUILDINGS (SUCH AS OFFICE, RETAIL, RESTAURANT) AS WELL AS THE TOTAL NUMBER OF RESIDENTIAL UNITS. ONCE THE USES/NUMBER OF UNITS ARE CONFIRMED FOR ALL BUILDINGS, THE RELATED BUILDING PERMIT SUBMITTAL WILL UPDATED THE PARKING CALCULATIONS.

BASED ON THE PARKING CALCULATIONS IN THE TABLE ABOVE, THE MAXIMUM NUMBER OF REQUIRED SPACES FOR A GIVEN TIME FRAME IS 134.

EXISTING BUILDINGS:  
NO PARKING IS REQUIRED FOR EXISTING BUILDINGS ON LOT 1 AND LOT 2 PER CITY OF ALBUQUERQUE COMPREHENSIVE ZONING CODE OFF-STREET PARKING REGULATIONS (14-16-3-1): "OFF-STREET PARKING SHALL BE PROVIDED FOR ALL USES AND BUILDINGS, EXCEPT BUILDINGS CONSTRUCTED BEFORE OCTOBER 22, 1965 NEED SUPPLY SUCH PARKING UNITS TO THE EXISTENT ON-PREMISE GROUND SPACE IS AVAILABLE."

TRANSIT REDUCTIONS:  
134 SPACES REQ'D x 10% REDUCTION = 120.6 SPACES (PROXIMATE TO BUS ROUTE 768 AND 66)  
134 x 10% = 121 TOTAL SPACES REQUIRED

TOTAL PARKING SPACES REQUIRED: = 121 SPACES  
TOTAL PARKING SPACES PROVIDED: = 135 SPACES

89 REGULAR SPACES  
8 HANDICAP PARKING SPACES  
38 COMPACT SPACES

COMPACT PARKING CALCULATION:  
121 REQ'D SPACES x 33% = 40 SPACES ALLOWED  
TOTAL COMPACT SPACES = 38 SPACES PROVIDED

DISABLED PARKING REQUIREMENTS:  
TOTAL DISABLED SPACES REQUIRED = 8 SPACES  
TOTAL DISABLED SPACES PROVIDED = 8 SPACES

MOTORCYCLE REQUIREMENTS:  
TOTAL MOTORCYCLE SPACES REQUIRED = 5 SPACES  
TOTAL MOTORCYCLE SPACES PROVIDED = 5 SPACES

RESIDENTIAL BICYCLE REQUIREMENTS:  
1 BICYCLE SPACE PER 2 DWELLING UNITS = 25 DWELLING UNITS/2 = 13 TOTAL SPACES REQUIRED

COMMERCIAL BICYCLE REQUIREMENTS:  
1 BICYCLE SPACE FOR EACH 20 PARKING SPACES = 121 PARKING SPACES/20 = 6 TOTAL SPACES REQUIRED

TOTAL BICYCLE SPACES REQUIRED: = 19 SPACES  
TOTAL BICYCLE SPACES PROVIDED: = 20 SPACES

- KEYED NOTES:
- [1] PROPOSED CMU REFUSE ENCLOSURE WITH RECYCLING AREA ON LOT 3.
  - [2] EXISTING BUILDING TO REMAIN.
  - [3] PROPOSED TREE WELL, TYPICAL. SEE LANDSCAPING.
  - [4] PROPOSED LANDSCAPING.
  - [5] EXISTING CROSSWALK STRIPING.
  - [6] PROPOSED HANDICAP PAVEMENT SIGN.
  - [7] PROPOSED STAMPED COLORED CONCRETE HANDICAP AISLE.
  - [8] PROPOSED ASPHALT PAVING.
  - [9] PROPOSED SITE LIGHTING. HEIGHT TO BE 16'-0" MAX.
  - [10] PROPOSED BIKE BACK WITH 5 SPACES.
  - [11] PROPOSED CONCRETE SIDEWALK.
  - [12] PROPOSED ELECTRICAL TRANSFORMER WITH LANDSCAPING SCREENING.
  - [13] PROPOSED STAMPED COLORED CONCRETE PEDESTRIAN CONNECTION.
  - [14] PROPOSED PAINTED PARKING STRIPING.
  - [15] EXISTING FIRE HYDRANT TO BE REMAIN.
  - [16] PROPOSED CONCRETE CURB. SEE GRADING & DRAINAGE PLAN AND COA STD. DWG. 2415A.
  - [17] CONCRETE PATIO WITH TUBE STEEL FENCING, WATER/LANDSCAPING FEATURE. SEE LANDSCAPING.
  - [18] EXISTING POLE SIGN TO BE RECONSTRUCTED.
  - [19] EXISTING CITY CURB AND GUTTER.
  - [20] EXISTING BUS STOP TO REMAIN.
  - [21] PROPOSED HANDICAP RAMP.
  - [22] PROPOSED 20'-0" WATERLINE EASEMENT. SEE UTILITY PLAN.
  - [23] PROPOSED HANDICAP PARKING SIGNS. SEE DETAIL 10/SHEET 7. "VAN" WHERE NOTED.
  - [24] PROPOSED CONCRETE RECEIVING AREA WITH FENCE AND GATES (CLOSED TO PUBLIC).
  - [25] PROPOSED DRAINAGE INLET. SEE GRADING AND DRAINAGE.
  - [26] PROPOSED PLAZA WITH BENCH SEATING AND WATER FEATURE. SEE SHEET 8 FOR SEATING CALCULATION.
  - [27] PROPOSED CONCRETE DRIVEWAY (STD. DWG. 2426) AND RAMP (STD. DWG. 2426) TO BE CONSTRUCTED TO COA STANDARDS.
  - [28] COMPACT PARKING SPACES 9'-0"x15'-0" WITH PAINTED "COMPACT CAR" PAVEMENT DESIGNATION.
  - [29] PROPOSED STUCCO RETAINING WALL. SEE CIVIL.
  - [30] PROPOSED 4'-0" WIDE x 8'-0" LONG MOTORCYCLE SPACES WITH SIGNAGE AT EACH SPACE.
  - [31] PROPOSED 100 SF. POLE SIGN. SEE SHEET 7.
  - [32]

PROPERTY LINE RADIUS INFORMATION:

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	22.87	841.50	1°33'26"	N 49°34'05" W	22.87
C2	51.32	841.50	3°29'39"	N 47°02'32" W	51.31
C3	192.35	841.50	13°05'49"	N 43°47'57" W	191.94
C4	118.16	841.50	8°02'43"	N 41°16'21" W	118.06

SITE DEVELOPMENT DATA:

PROPOSED LEGAL DESCRIPTION:  
LOTS 1 THRU 5, COUNTRY CLUB PLAZA SUBDIVISION AND TRACT A-1-A LAGUNA SUBDIVISION, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

BUILDING ADDRESSES:  
BLDG. A AND B (EXISTING): 1720 CENTRAL AVE., S.W. ALBUQUERQUE, N.M.  
BLDG. C (EXISTING): 1710 CENTRAL AVE., S.W. ALBUQUERQUE, N.M.

LAND AREA:  
3.37 ACRES (146,975 SQ. FT.)

CURRENT ZONING:  
SU-2/CLD (HUNING CASTLE AND RAYNOLDS ADDITION NEIGHBORHOOD SECTOR DEVELOPMENT PLAN) FOR LOTS 1 THRU 5.

R-1 (HUNING CASTLE AND RAYNOLDS ADDITION NEIGHBORHOOD SECTOR DEVELOPMENT PLAN) FOR TRACT A-1-A.

ZONE ATLAS PAGE:  
J-13-Z

DEVELOPMENT PHASING:  
PHASE I:  
PHASE I WILL INCLUDE THE RENOVATION OF THE EXISTING BUILDINGS A, B & C, THE PARKING LOT ON LOT 1, THE CONSTRUCTION OF PROPOSED BUILDING 1 AND THE MAIN DRIVE AISLE AND RELATED PARKING FROM THE SOUTH SIDE OF LOT 1 OUT TO CENTRAL AVENUE ON THE EAST SIDE OF LOT 3.

PHASE II:  
PHASE II WILL INCLUDE THE CONSTRUCTION OF BUILDING 2.

FUTURE PHASE:  
CONSTRUCTION OF BUILDINGS ON LOT 5 ONCE APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION.

PROPOSED USES:  
- ALL USES PERMITTED IN THE CLD ZONES FOR LOTS 1 THRU 5  
- ALL USES PERMITTED IN THE R-1 ZONES

BUILDING AREAS:  
EXISTING BUILDING A 1,467 SF  
EXISTING BUILDING B 2,900 SF  
EXISTING BUILDING C 4,216 SF  
PROPOSED BUILDING 1 6,400 SF  
PROPOSED BUILDING 2 21,000 SF  
TOTAL BUILDING AREA = 35,983 SF

TOTAL PROPOSED RESIDENTIAL UNITS: 25 TOTAL UNITS

SITE DEVELOPMENT GENERAL NOTES:  
[A] THE DESIGN STANDARDS INCLUDED IN THE AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION FOR THIS PROJECT SHALL GOVERN ALL EXISTING AND NEW BUILDINGS FOR LOTS 1 THRU 5 OF THIS DEVELOPMENT.  
[B] RECIPROCAL PARKING, INGRESS/EGRESS, ACCESS AND DRAINAGE FOR THE BENEFIT AND USE BY THE OWNERS OF LOTS 1 THRU 5, COUNTRY CLUB PLAZA AND TRACT A-1-A, LAGUNA SUBDIVISION, SAID EASEMENT TO BE MAINTAINED BY THE OWNER OF EACH LOT FOR THE BENEFIT OF ALL LOTS. THIS WILL BE GRANTED WITH REPLAT OF ALL LOTS.  
[C] THE PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB.  
[D] LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.  
[E] ANY ENCROACHMENT OR OVERHANG INTO THE ROW FROM SIGNS, FENCES, CANOPY, ROOF LINES, ETC. WILL REQUIRE AN ANNUAL REVOCABLE ENCROACHMENT PERMIT.  
[F] ALL ABANDONED DRIVEWAYS IN THE COA-ROW SHALL BE REMOVED AND REPLACED WITH COA STANDARD SIDEWALK, CURB AND GUTTER.

SITE DEVELOPMENT SITE LIGHTING NOTES:  
[A] THE LOCATION OF THE LIGHTING FIXTURES TOGETHER WITH ITS CUT-OFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC RIGHT-OF-WAY OR ADJACENT RESIDENTIAL PROPERTY.  
[B] THE MAXIMUM HEIGHT OF A LIGHT POLE MEASURED FROM THE FINISH GRADE TO THE TOP OF THE POLE SHALL BE 16'-0" MAX. TO MATCH EXISTING.  
[C] LIGHTING TO BE PROVIDED ON COMMERCIAL BUILDING FACADES SHALL BE MOUNTED AT 12 FEET MAXIMUM.  
[D] SITE LIGHTING SHALL BE FULLY SHIELDED, AND HIGH-PRESSURE SODIUM LIGHTING AND UN-SHIELDED UPLIGHTING SHALL BE PROHIBITED.

RADIUS INFORMATION:  
(1) = 2'-0" (5) = 10'-0" (9) = 35'-0"  
(2) = 3'-0" (6) = 15'-0" (10) = 40'-0"  
(3) = 4'-0" (7) = 25'-0" (11) = 46'-0"  
(4) = 5'-0" (8) = 30'-0"

PROJECT NUMBER: 1004677 APPLICATION NUMBER: 13EPC-40139

THIS PLAN IS CONSISTANT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) DATED: October 10, 2013 AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.

IS AN INFRASTRUCTURE LIST REQUIRED? ( ) YES ( ) NO IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

	Date
TRAFFIC ENGINEER, TRANSPORTATION DIVISION	
UTILITIES DEVELOPMENT	
PARKS AND RECREATION DEPARTMENT	
CITY ENGINEER	
*ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	
SOLID WASTE MANAGEMENT	
DRB CHAIRPERSON, PLANNING DEPARTMENT	

Country Club Plaza  
S.W. of Central Avenue and Laguna Boulevard  
Albuquerque, New Mexico 87102

Amended Site Dev't Plan for Building Permit

project file  
sheet file

1 of 7

revision  
by  
date  
rev  
date

12-11  
S.J. MWS, A.V.  
Doug Heller, A.A.  
project manager  
date  
09/26/2013

Per DRB Comments (11/6/13)  
Per EPC Notice of Decision



DRAINAGE CALCULATION

PHASE 1

THE INTENT OF THIS PLAN IS TO RETAIN  
THE 10 DAY STORM IN A TEMPORARY POND.  
ALLOWABLE = 2.75 cfs/AC. = 8.25 cfs

BASIN A - DRAINS TO POND

BASIN AREA = 2.42 AC  
P1 = 2.01 IN ; P6 = 2.35 IN ; P24 = 2.75 IN  
LT A = 0% ; LT B = 10% ; LT C = 42% ; LT D = 48%  
AREA OF POND = 29707 sf  
DEPTH = 0.7' VOL = 59677 cf

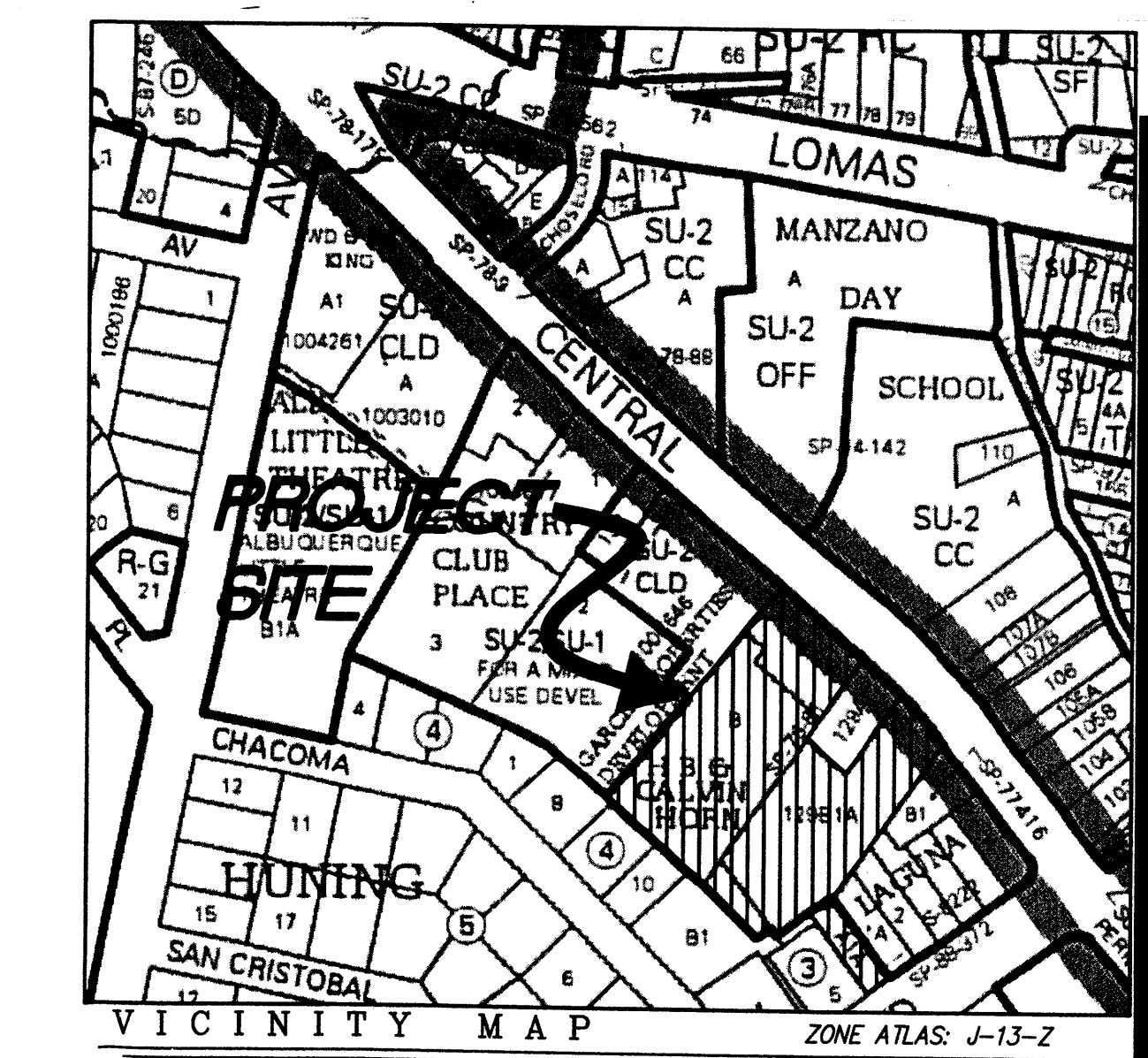
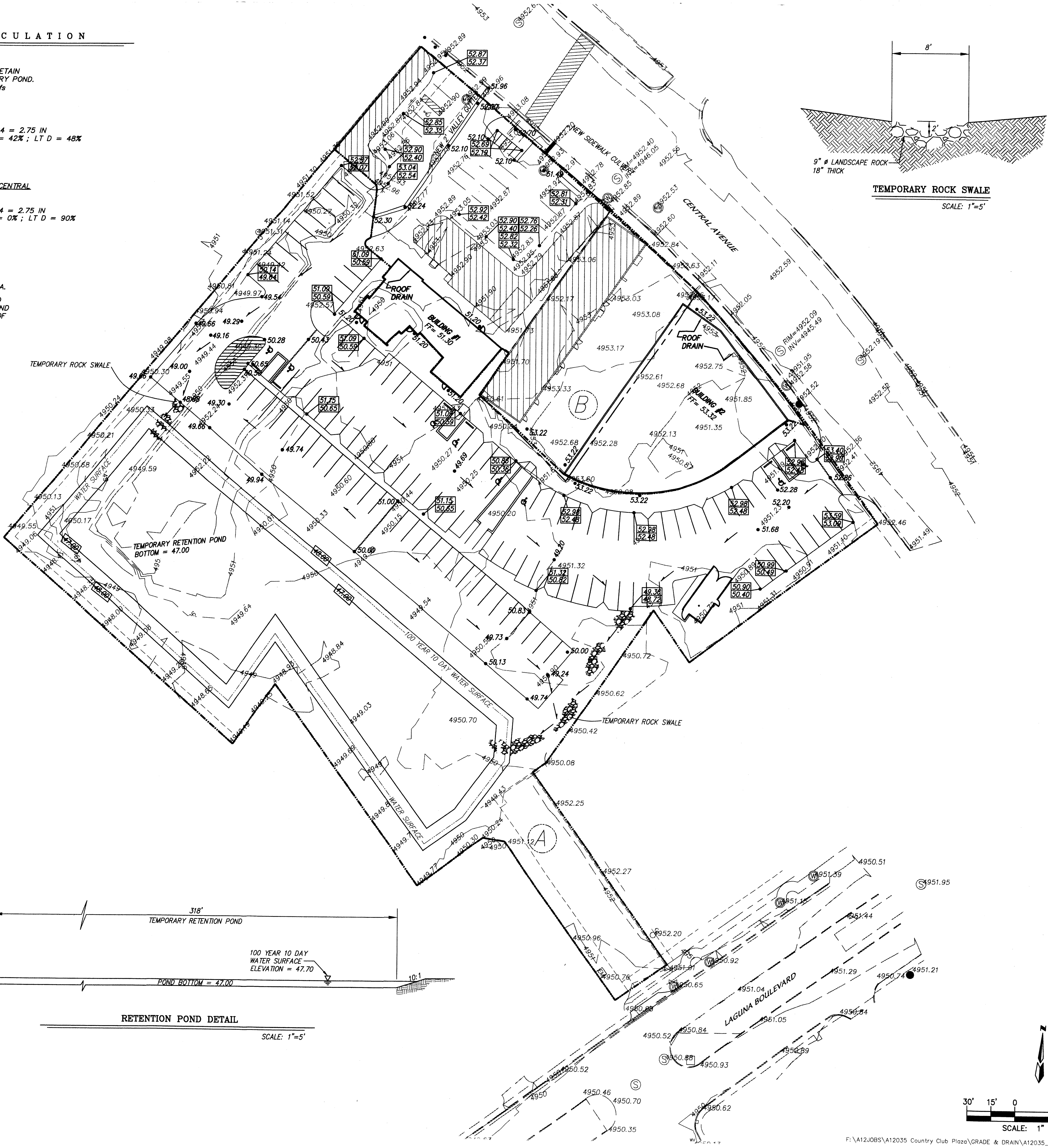
BASIN B - DIRECT DISCHARGE TO CENTRAL

BASIN AREA = 0.95 AC  
P1 = 2.01 IN ; P6 = 2.35 IN ; P24 = 2.75 IN  
LT A = 0% ; LT B = 10% ; LT C = 0% ; LT D = 90%  
Q100 = 4.30 cfs  
V100 = 0.188 AC-FT

PHASE 2 - FUTURE

CONSIST OF CONDO BUILDING  
AT THE SOUTH END OF PROJECT  
WITH A BELOW GRADE PARKING AREA.

TEMPORARY RETENTION POND WOULD  
BE CONVERTED TO A DETENTION POND  
WITH ALLOWABLE DISCHARGE RATE OF  
8.25 CFS - 4.30 CFS = 3.95 CFS.



NOTES:

1. ROOFS FOR BUILDINGS NUMBER 1 AND 2 MUST  
DRAIN NORTH TOWARDS CENTRAL AVENUE.

LEGEND

- EXISTING SPOT ELEVATION
- EXISTING CONTOUR
- EXISTING WATER WELL
- EXISTING BOLLARD
- EXISTING GUY WIRE
- EXISTING SAS MH
- EXISTING TELEPHONE PEDESTAL
- NEW SPOT ELEVATION
- SWALE
- NEW CONTOUR ELEVATION
- EXISTING SEWER MANHOLE
- EXISTING GAS METER
- EXISTING WATER VALVE
- EXISTING CLEANOUT
- EXISTING UTILITY POLE
- EXISTING MONITORING WELL
- EXISTING WATER METER
- EXISTING CURB
- NEW WATER METER
- NEW RETAINING WALL
- BASIN A
- BASIN B
- BASIN BOUNDARY

revision  
by  
date



Mullen Heller  
Architecture P.C.

924 Park Avenue SW  
Suite B  
Albuquerque 87102  
505 268 4144[p]  
505 268 4244 [f]



project title	12-11
job number	S.J. MWS
drawn by	Doug Heller, AIA
project manager	Doug Heller, AIA
date	11/13/12

Country Club Plaza  
SWC of Central Avenue and Laguna Boulevard  
Albuquerque, New Mexico 87102

GRADING & DRAINAGE PLAN

sheet-

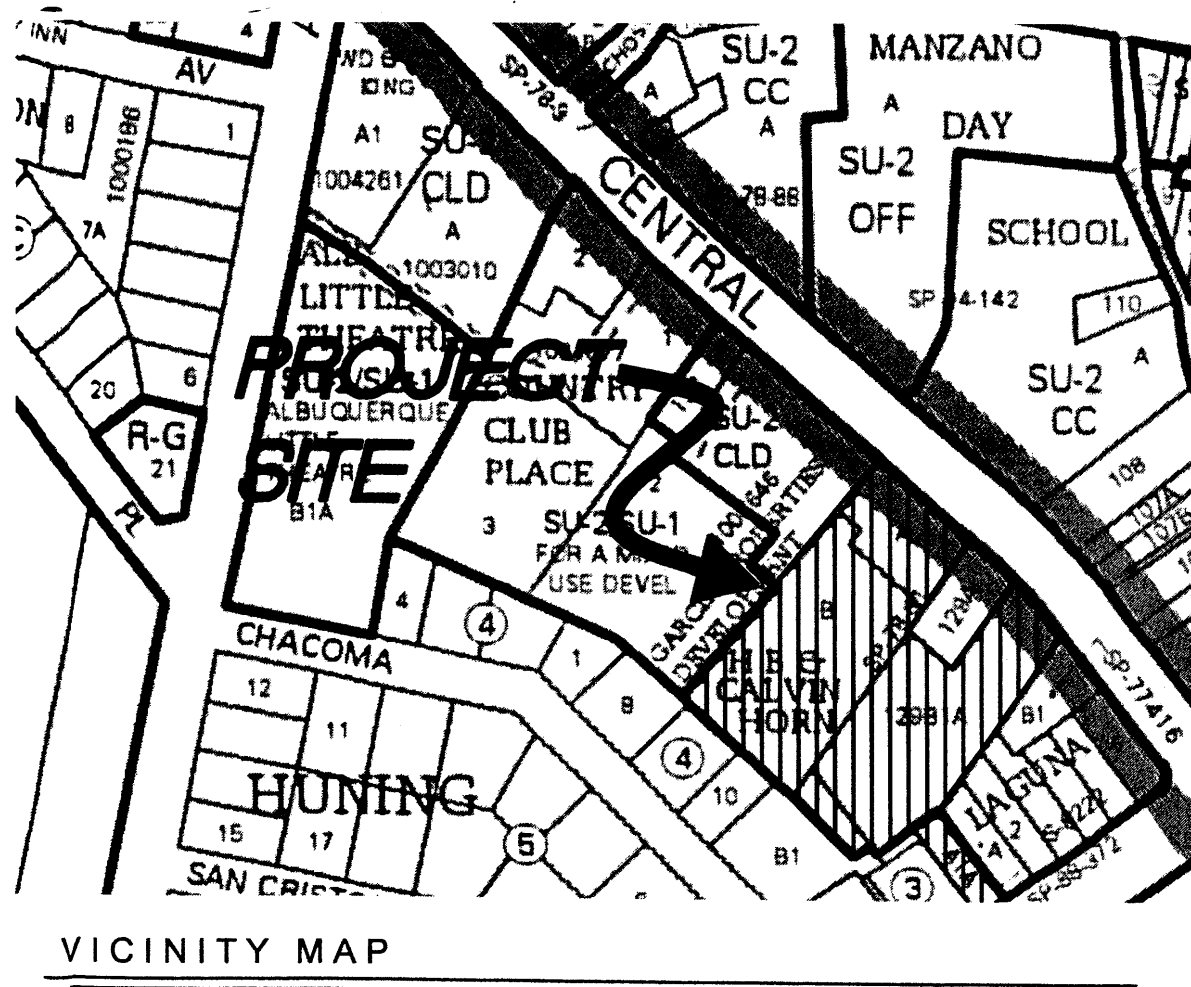
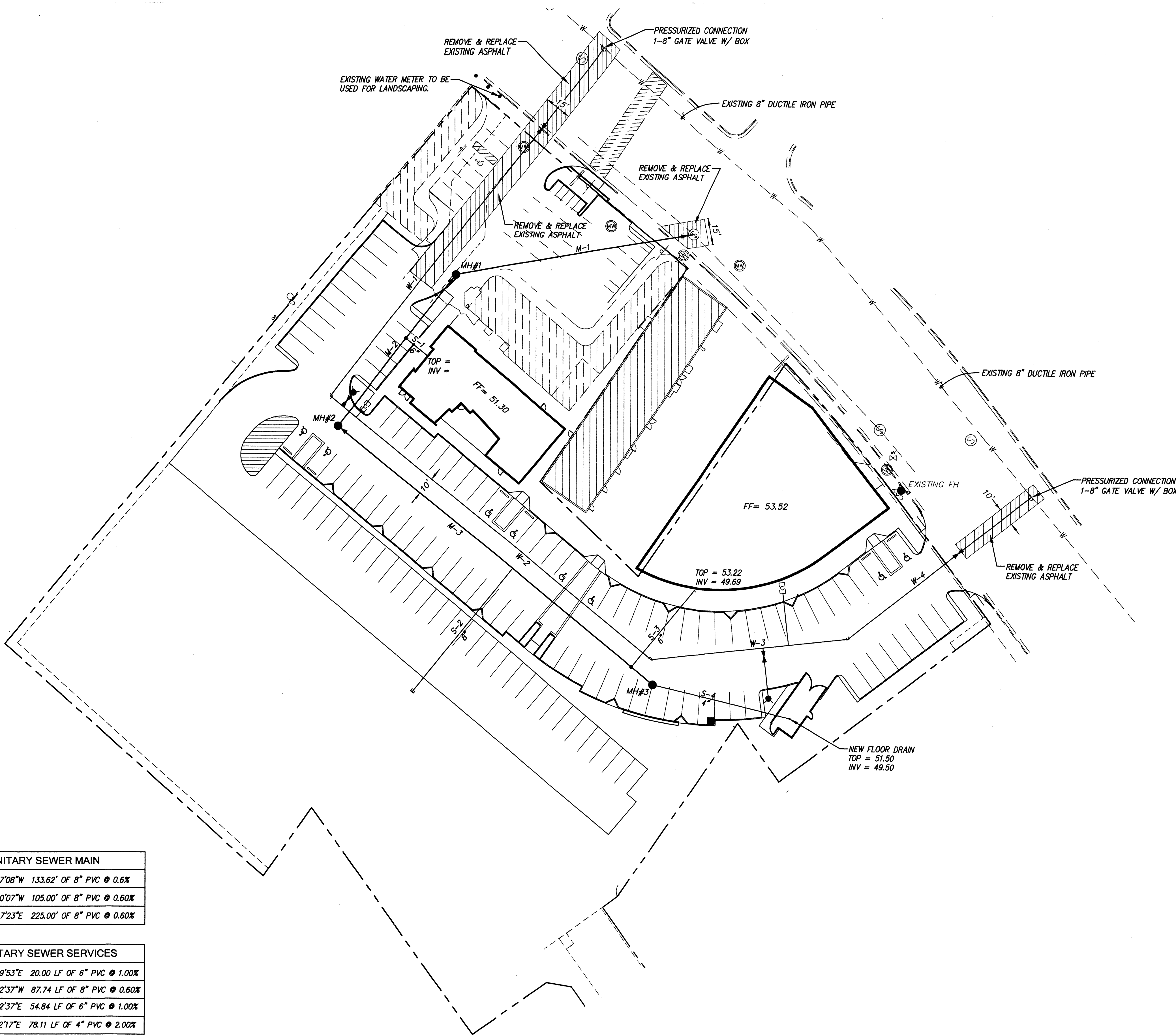


SANITARY SEWER MAIN	
M-1	S79°57'08"W 133.62' OF 8" PVC @ 0.6%
M-2	S38°20'07"W 105.00' OF 8" PVC @ 0.60%
M-3	S50°47'23"E 225.00' OF 8" PVC @ 0.60%

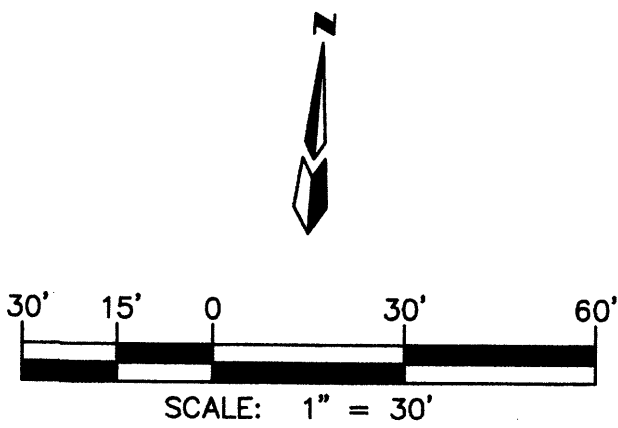
SANITARY SEWER SERVICES	
S-1	S51°39'53"E 20.00 LF OF 6" PVC @ 1.00%
S-2	S39°12'37"W 87.74 LF OF 8" PVC @ 0.60%
S-3	N39°12'37"E 54.84 LF OF 6" PVC @ 1.00%
S-4	S76°42'17"E 78.11 LF OF 4" PVC @ 2.00%

WATER MAIN	
W-1	S38°20'07"W 243.60 LF OF 8" PVC C900
W-2	S50°47'23"E 229.47 LF OF 8" PVC C900
W-3	N83°30'01"E 108.82 LF OF 8" PVC C900
W-4	N52°00'19"E 128.74 LF OF 8" PVC C900

NOTE:  
ALL WATER SERVICES TO BE 2"  
UNLESS OTHER WISE NOTED.



LEGEND	
x 00.00	EXISTING SPOT ELEVATION
51.35-	EXISTING CONTOUR
⊙	EXISTING WATER WELL
○	EXISTING BOLLARD
→	EXISTING GUY WIRE
⊙	EXISTING SAS MH
●	EXISTING TELEPHONE PEDESTAL
• 00.00	NEW SPOT ELEVATION
00.00	NEW CONTOUR ELEVATION
⊙	EXISTING SEWER MANHOLE
⊙	EXISTING GAS METER
⊗	EXISTING WATER VALVE
⊙	EXISTING CLEANOUT
●	EXISTING UTILITY POLE
⊙	EXISTING MONITORING WELL
⊙	EXISTING WATER METER
⊙	EXISTING CURB
⊙	NEW WATER METER
⊙	NEW RETAINING WALL




dmg MARK GOODWIN & ASSOCIATES, P.A.  
CONSULTING ENGINEERS  
P.O. BOX 90606  
ALBUQUERQUE, NEW MEXICO 87199  
OFFICE (505) 828-2200, FAX (505) 797-9539

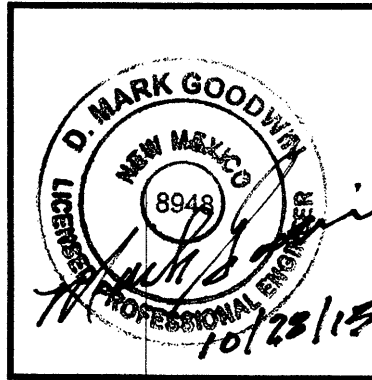
project title	Country Club Plaza
sheet title	CONCEPTUAL SITE UTILITY PLAN
job number	12-11
drawn by	SJ, MWS
project manager	Doug Heller, AIA
date	11/13/12

Country Club Plaza  
SWC of Central Avenue and Laquana Boulevard  
Albuquerque, New Mexico 87102

revision	
by	
date	
rev	◀◀◀◀◀



Mullen Heller  
Architecture P.C.  
924 Park Avenue SW  
Suite B  
Albuquerque 87102  
505 268 4144[p]  
505 268 4244 [f]





GENERAL LANDSCAPE NOTES

LANDSCAPE DESIGN

ALL PLANTING AREAS SHALL BE TOP DRESSED WITH 7/16" BUILDING BROWN ROCK MULCH AND 2"-4" COBBLE MULCH. CONCRETE HEADERS SHALL BE PROVIDED TO SEPARATE TURF AREAS FROM PLANTING AREAS.

IRRIGATION

IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. A FULLY AUTOMATED IRRIGATION SYSTEM WILL BE USED TO IRRIGATE TURF AREAS AND TREE, SHRUB AND GROUND COVER PLANTING AREAS. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO ISOLATE PLANT MATERIAL ACCORDING TO SOLAR EXPOSURE AND WILL BE SET UP BY PLANT ZONES ACCORDING TO WATER REQUIREMENTS. THE TREES WILL BE PROVIDED WITH (6) 2 GPH EMITTERS, WITH THE ABILITY TO BE EXPANDED TO ACCOMMODATE THE GROWTH OF THE TREE. SHRUBS AND GROUND COVERS WILL BE PROVIDED WITH (2) 1 GPH EMITTERS. TREES, SHRUBS AND GROUND COVERS WILL BE GROUPED ON THE SAME VALVE.

RESPONSIBILITY OF MAINTENANCE

MAINTENANCE OF ALL PLANTING AND IRRIGATION, INCLUDING THOSE WITHIN THE PUBLIC ROW, SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

METHOD FOR COMPLYING WITH WATER CONSERVATION ORDINANCE

THE LANDSCAPE PLAN FOR COUNTRY CLUB PLAZA SHALL LIMIT THE MEDIUM WATER USE TURF TO A MAXIMUM OF 20 PERCENT OF THE REQUIRED LANDSCAPED AREA. THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING THE VIABILITY OF THE PLANTS. AN EVAPOTRANSPIRATION MANAGEMENT CONTROLLER WILL BE INCLUDED IN THE DESIGN OF THE IRRIGATION SYSTEM TO MONITOR WEATHER CONDITIONS SO THAT THE OPTIMUM MOISTURE BALANCE IS ACHIEVED AND THE POSSIBILITY OF OVER-WATERING IS REDUCED.

PLANTING CONSIDERATIONS

TO ENSURE OPTIMAL GROWTH OF THE SITE TREES LOCATED WITHIN THE PARKING LOT, PERMEABLE PAVERS WILL BE INTEGRATED INTO THE SIDE WALK AT THE TREE WELLS TO PROVIDE FOR BETTER ROOT CAPACITY AND WATER PERMEABILITY TO TREES.

STREET TREES

DUE TO SITE CONSTRAINTS ALONG CENTRAL AVENUE, AN EXEMPTION FROM THE STREET TREE ORDINANCE (LISTED UNDER THE CITY OF ALBUQUERQUE ZONING CODE, SECTION 14-16-3-10, PART 6, ITEM 2) IS BEING REQUESTED. THE INTENT OF THE STREET TREE ORDINANCE IS TO PROVIDE SUMMER SHADE AND COOLNESS AND TO ENHANCE THE APPEARANCE OF THE CITY'S MAJOR STREETS. THIS PROJECT CONSISTS OF 415 LINEAR FEET OF STREET FRONTAGE ALONG CENTRAL AVENUE, 242 LINEAR FEET OF WHICH IS OCCUPIED BY EXISTING BUILDINGS, EXISTING PARKING, AND A PROPOSED BUILDING. THE PROXIMITY OF THESE BUILT FEATURES TO THE CITY SIDEWALK AND STREET WILL PROVIDE A STRONG STREET FACADE BUT WILL HINDER THE ABILITY TO PLANT STREET TREES. THE PROJECT MEETS THE INTENT OF THIS ORDINANCE BY PROVIDING SMALL, SCULPTURAL SHRUBS ALONG THE STREET FRONTAGE WHERE TREES ARE NOT FEASIBLE. THE PROJECT ALSO MEETS AND EXCEEDS OTHER LANDSCAPING REQUIREMENTS, SPECIFICALLY SITE AND PARKING LOT TREE REQUIREMENTS.

PNM COORDINATION

COORDINATION WITH PNM'S NEW SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES.

SCREENING WILL BE DESIGN TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST 5 FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

LANDSCAPE COVERAGE

TOTAL SITE AREA (PHASE I & II):

146,475 SF (3.31 AC)

TOTAL SITE AREA (PHASE I):

97,479 SF (2.24 AC)

BUILDING AREA (EXISTING BUILDINGS & PHASE I BUILDINGS):

35,888 SF

TOTAL NET AREA:

61,440 SF

REQUIRED LANDSCAPE AREA (15% OF NET AREA):

9,224 SF

PROVIDED LANDSCAPE AREA:

11,026 SF (18%)

REQUIRED LIVE VEGETATIVE COVER:

6,910 SF

(15% COVERAGE OF THE 15% LANDSCAPE REQUIREMENT, MINUS PARKING CLEARANCE AND PEDESTRIAN ACCESS IN TEMPORARY LANDSCAPE AREA)

1,642 SF

TOTAL LIVE VEGETATIVE COVER NEEDED:

5,276 SF

PROVIDED LIVE VEGETATIVE COVER (16%):

5,291 SF

SPECIAL BUFFER LANDSCAPING/SCREENING TREES

THE LANDSCAPE BUFFERS ADJACENT TO RESIDENTIAL PROPERTIES CONSISTS OF A COMBINATION OF DECIDUOUS AND EVERGREEN TREES WHICH ARE SPACED AT DISTANCE EQUAL TO 75% OF THE MATURE CANOPY DIAMETER OF THE TREE.

PARKING LOT TREES

COUNTRY CLUB PLAZA IS PROVIDING 125 PARKING SPACES. PARKING LOT TREE REQUIREMENTS ARE BASED UPON ONE TREE PER 10 SPACES.

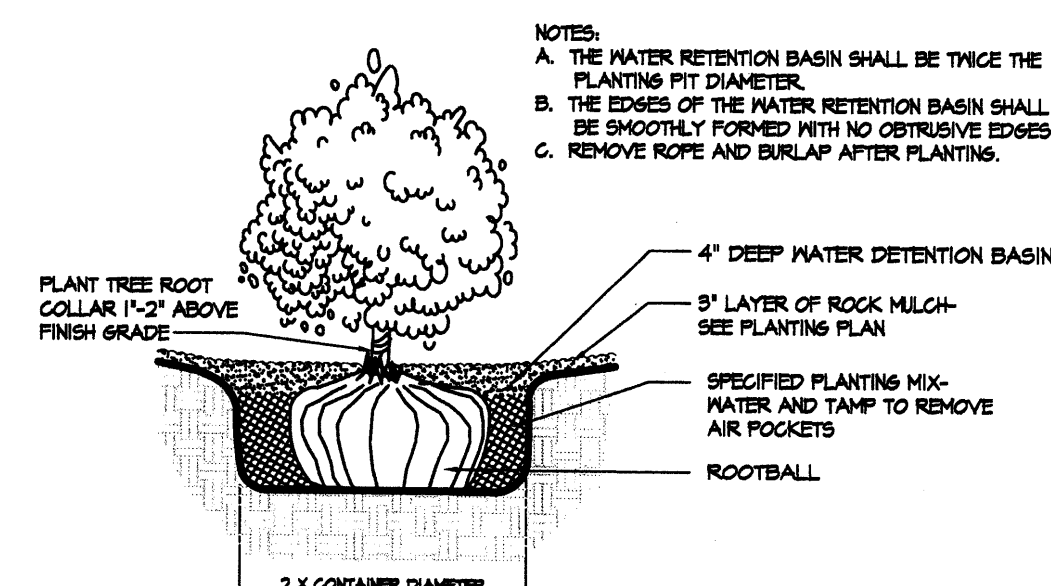
REQUIRED: 14

PROVIDED: 14

PHASE I

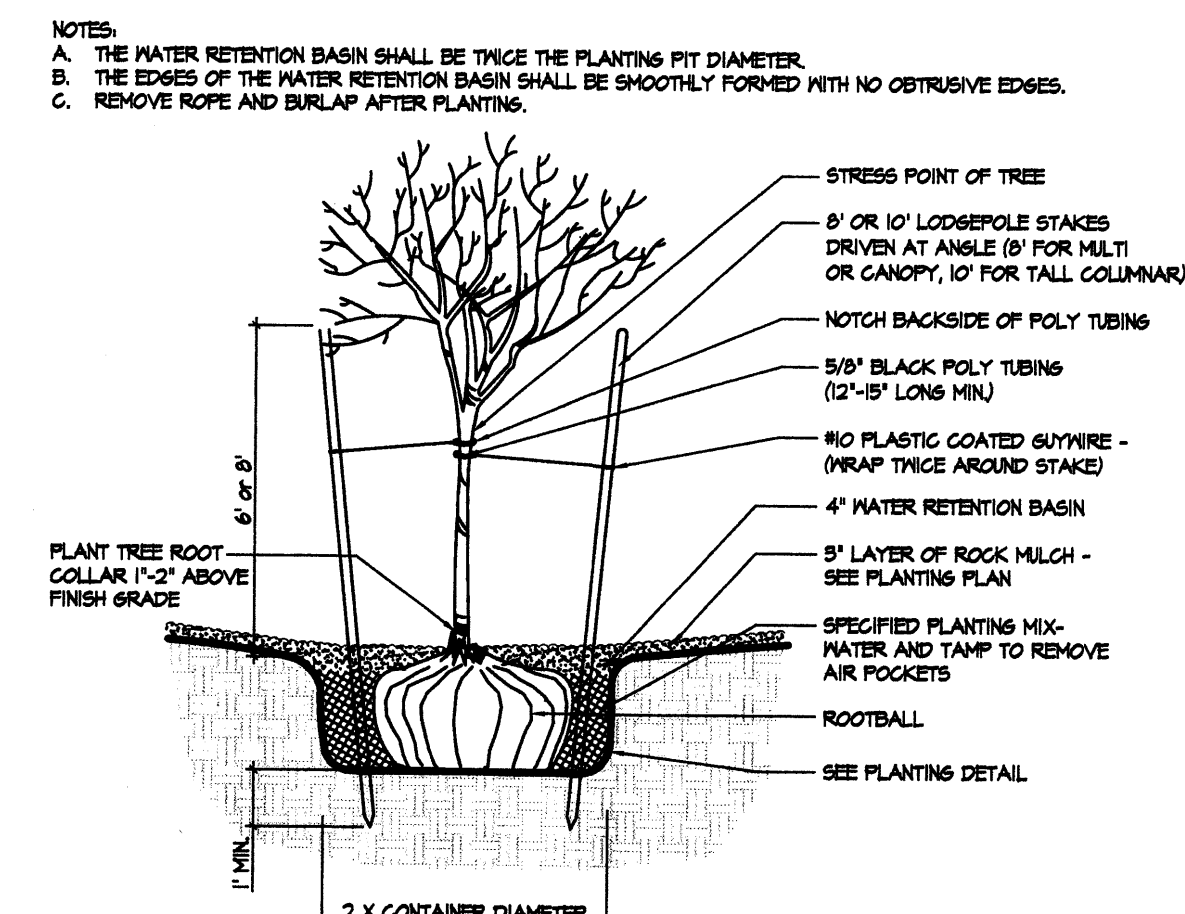
PLANT LEGEND

QTY.	SYMBOL	SCIENTIFIC NAME COMMON NAME	SIZE	INSTALLED SIZE MATURE SIZE	WATER USE
TREES					
2		EXISTING TREE TO REMAIN			
1		ACER TARTARICUM 'HOT WINGS' HOT WINGS MAPLE	2" B&B	10' HT. X 4' SPR. 20' HT. X 24' SPR.	MED
3		KOELERUTERIA PANICULATA GOLDEN RAIN TREE	2" B&B	16' HT. X 6' SPR. 30' HT. X 30' SPR.	MED
1		LAETROSTROPHIA INDICA 'FAURIE' GRAPE MYRTLE 'ZIN'	15-GAL.	8' HT. X 4' SPR. 15' HT. X 15' SPR.	MED
3		PIRUS LEUCODERMIS BOGIAN PINE	B&B	6' MIN HT. 35' HT. X 10' SPR.	MED
1		PISTACHIA CHINENSIS CHINESE PISTACHE	2" B&B	10' HT. X 5' SPR. 30' HT. X 30' SPR.	MED+
3		PLATANUS A. BLOODGOOD LONDON PLANE TREE	25" B&B	16' HT. X 6' SPR. 60' HT. X 10' SPR.	MED
16		ZELKOYA SERRATA 'GREEN VASE' GREEN VASE ZELKOYA	2" B&B	14' HT. X 6' SPR. 45' HT. X 30' SPR.	MED
SHRUBS/GROUND COVERS					
10		BACCHARIS SAROTHIODES DESERT BROOM	5-GAL.	8' O.C. 8' HT. X 8' SPR.	LOW
7		BUDDLEIA DAVIDII 'NANHOENSIS' BUTTERFLY BUSH	5-GAL.	5' O.C. 5' HT. X 5' SPR.	LOW
11		CEBRATUM TOMENTOSUM SNOW-IN-SUMMER	1-GAL.	2' O.C. 2' HT. X 2' SPR.	LOW
8		ERYTHRONIUM 'BOWLES MAUIE' BOWLES MAUIE MALLFLOWER	1-GAL.	2' O.C. 2' HT. X 2' SPR.	MED+
6		FALLISIA PARADOXA APACHE PLUME	5-GAL.	4' O.C. 5' HT. X 4' SPR.	LOW
5		HELICHRYSUM AUGUSTIFOLIA CURRY PLANT	1-GAL.	2' O.C. 2' HT. X 2' SPR.	LOW
16		LAVANDULA ANGSTIFOLIA ENGLISH LAVENDER	1-GAL.	3' O.C. 3' HT. X 3' SPR.	MED
8		NANDINA DOMESTICA 'COMPACTA' COMPACT NANDINA	1-GAL.	2' O.C. 2' HT. X 2' SPR.	MED
12		PEROVSKIA ATRIPLICIFOLIA RUSSIAN SAGE	5-GAL.	6' O.C. 4' HT. X 5' SPR.	LOW
3		PIRUS MISO MISO PINE	5-GAL.	5' O.C. 4' HT. X 5' SPR.	MED
10		POTENTILLA FRUTICOSA SHRUBBY CINQUEFOIL	1-GAL.	3' O.C. 3' HT. X 3' SPR.	LOW
14		RHAPHIOLEPS INDICA INDIA HANTHORN	5-GAL.	5' O.C. 3' HT. X 3' SPR.	MED
14		RHUS TRILOBATA 'AUTUMN AMBER' CREEPING THREE-LEAF SUMAC	1-GAL.	4' O.C. 2' HT. X 4' SPR.	LOW+
6		SEDUM TELEPHIUM AUTUMN JOY SEDUM	1-GAL.	2' O.C. 2' HT. X 2' SPR.	LOW+
15		ZAUSCHNERIA CALIFORNICA HUMMINGBIRD PLANT	1-GAL.	3' O.C. 2' HT. X 3' SPR.	LOW
VINES					
5		HIMILIS LUPULUS 'CHINOOK' CHINOOK HOPS	1-GAL.	8' HT. X 6' SPR.	LOW
9		PYRACANTHA COCCINEA PYRACANTHA	1-GAL.	5' O.C. 10' HT. X 10' SPR.	LOW
ORNAMENTAL GRASSES					
18		GALAMAGROSTIS A. KARL FOERSTER+GAL. KARL FOERSTER REED GRASS	2" O.C.	4' HT. X 2' SPR.	MED
55		MISCANTHUS SPP. MAIDEN GRASS	5-GAL.	5' O.C. 5' HT. X 5' SPR.	MED+
26		MULHENSBERGIA CAPILLARIS REGAL MIST	1-GAL.	3' O.C. 3' HT. X 3' SPR.	MED
54		PANICUM VIRSATUM SWITCH GRASS	1-GAL.	3' O.C. 4' HT. X 3' SPR.	MED+
7		SPOROBOLUS WRIGHTII GIANT SACATON	5-GAL.	7' O.C. 8' HT. X 7' SPR.	MED
ACCENTS					
6		DASYLIROTH WHEELERI SOTOL	5-GAL.	4' O.C. 4' HT. X 4' SPR.	LOW
BOULDERS, MULCHES, AND TURF					
34		MOSS ROCK BOULDERS (3'X3' MIN)			
110,26 SF		7/16" GRAVEL MULCH COLOR: BUILDING BROWN (3" DEPTH OVER DENTIT PRO-5 NEED CONTROL FABRIC)			



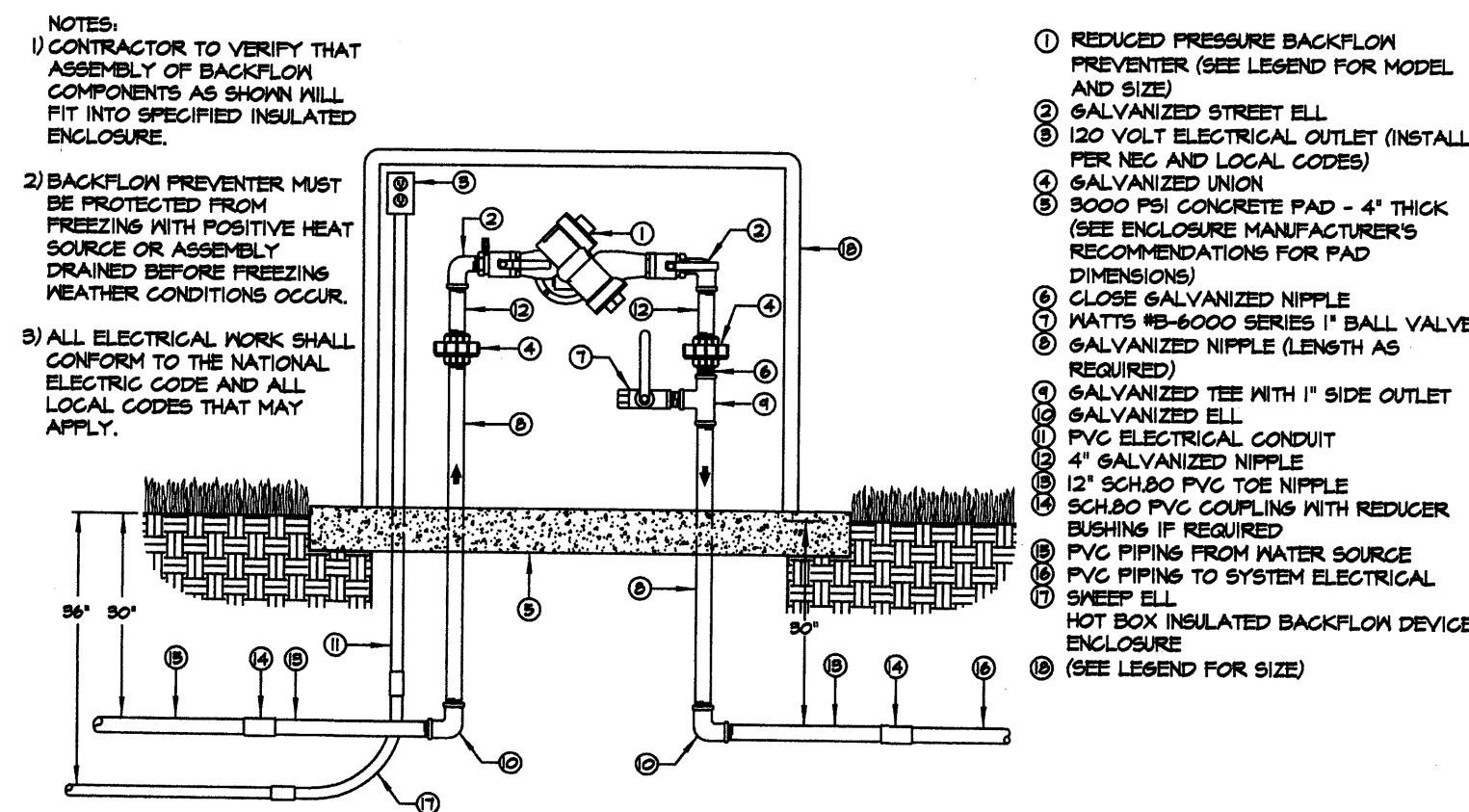
SHRUB PLANTING ON GRADE

Not to Scale



TREE PLANTING ON GRADE

Not to Scale

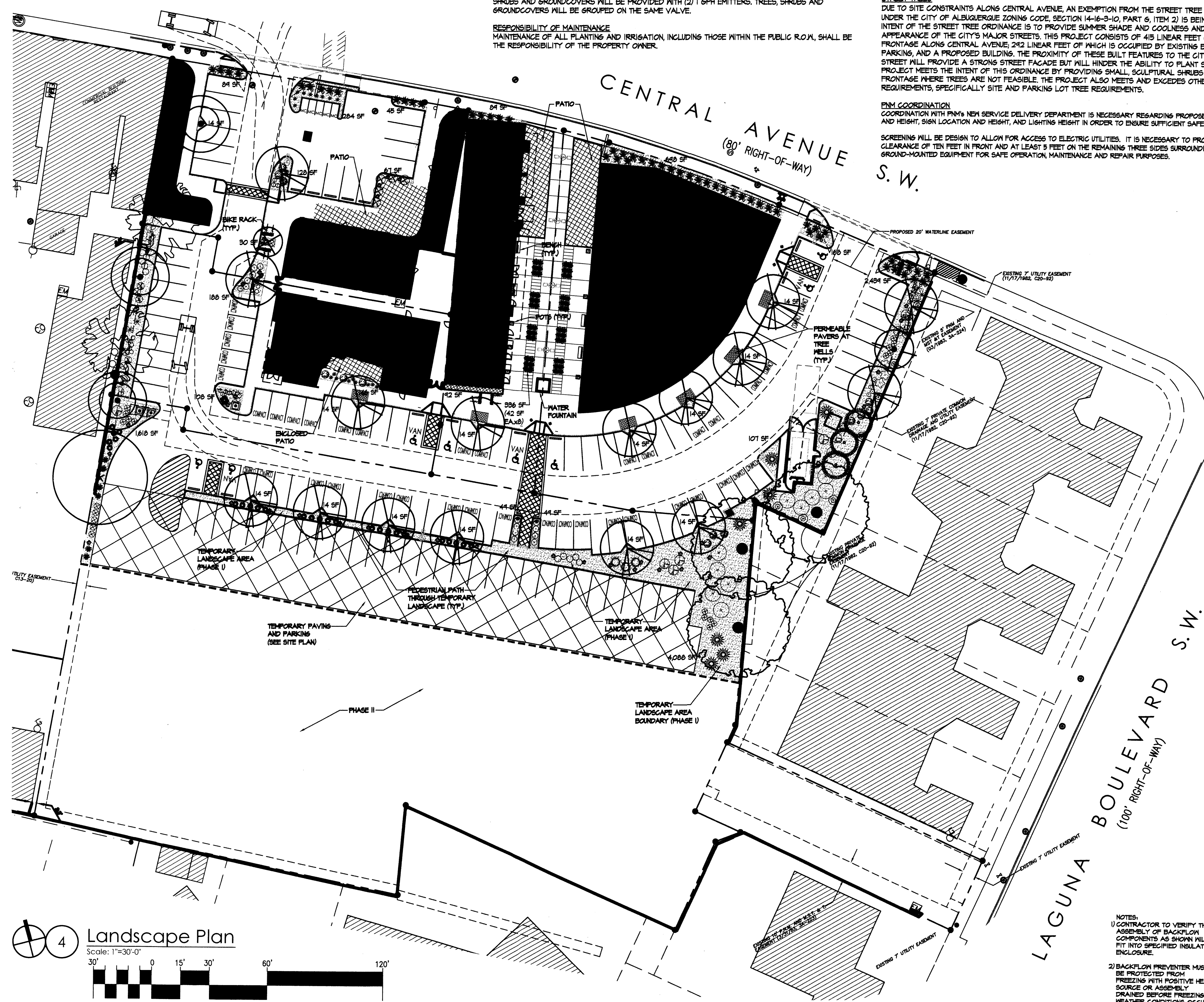


BACKFLOW PREVENTER

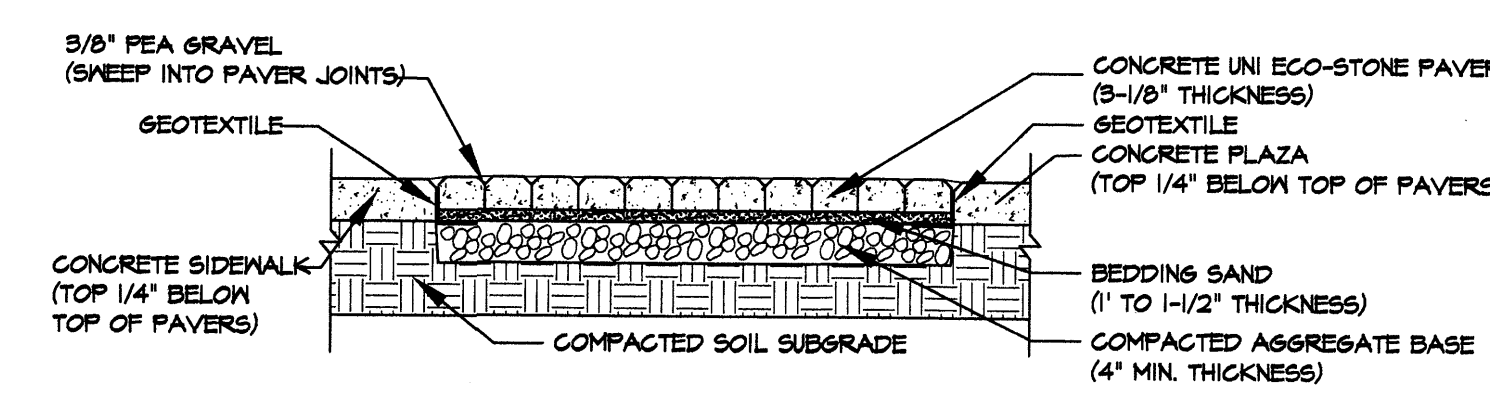
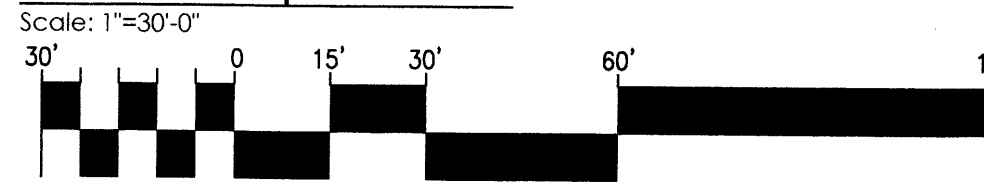
Not to Scale

CONCRETE PAVEMENT AT TREE WELL

Not to Scale



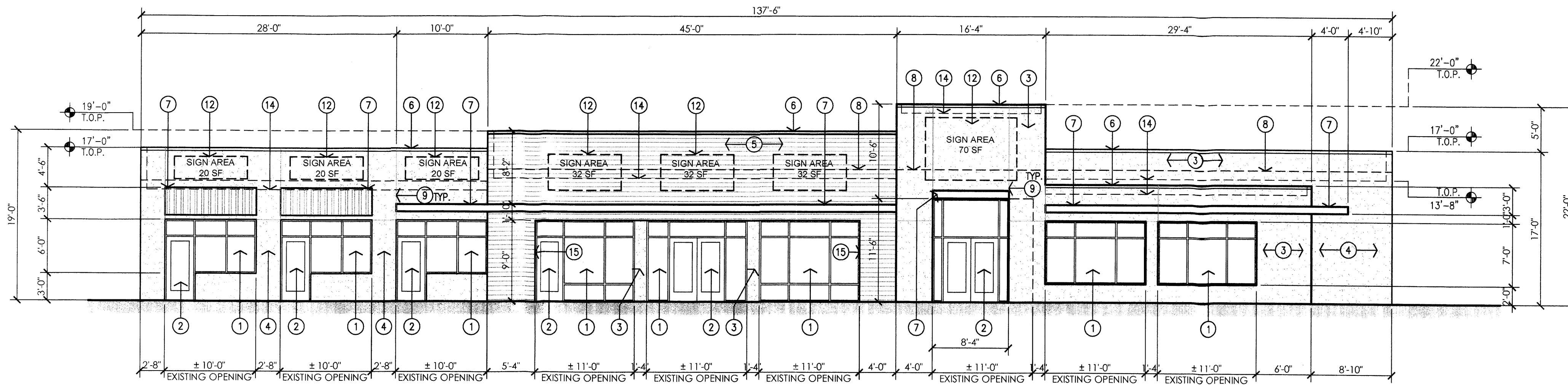
Landscape Plan



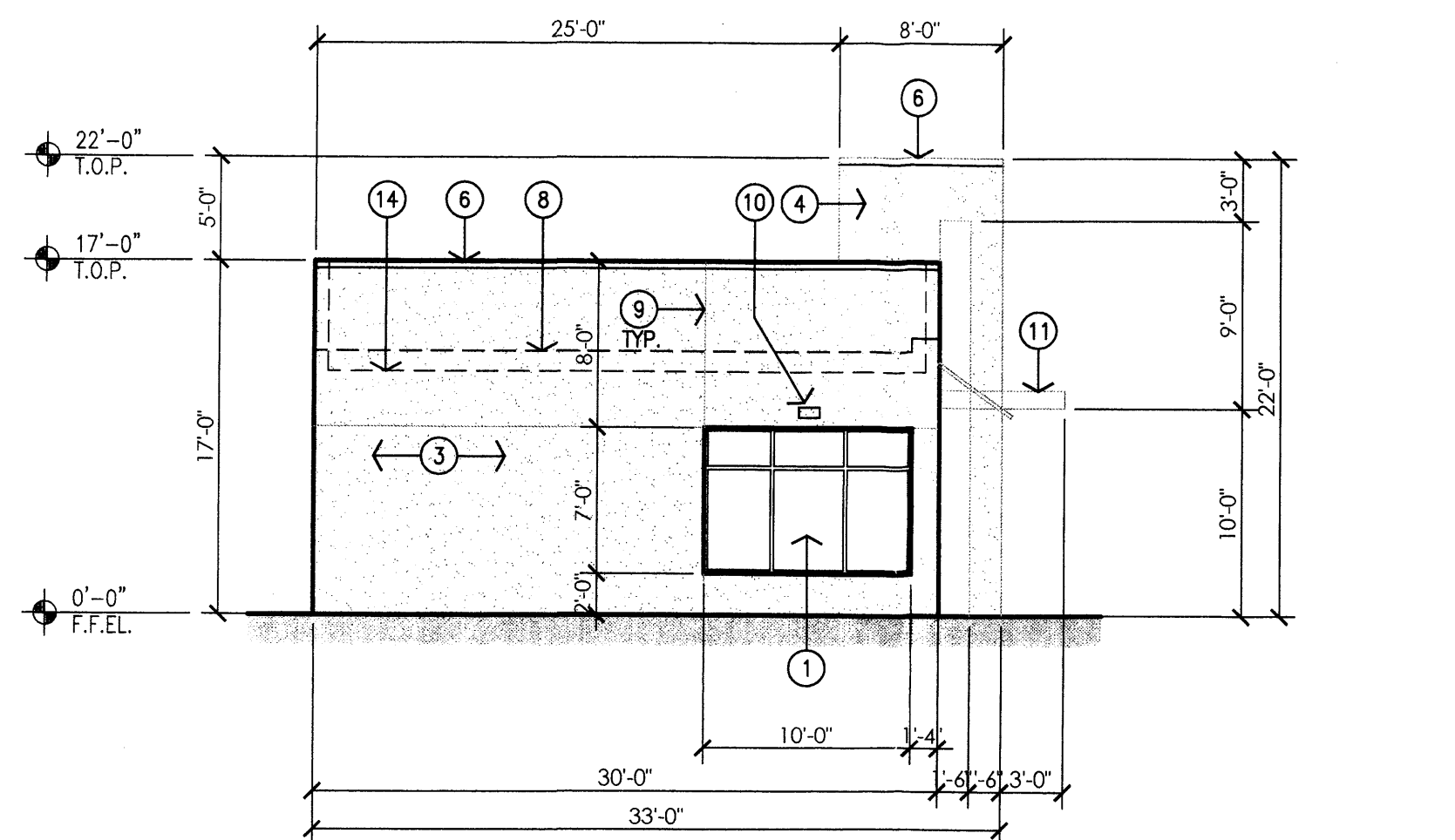
revision  
by  
date  
rev  
12-11  
job number  
drawn by  
project manager  
sheet file  
date

Country Club Plaza Development  
SWC of Central Avenue and Laguna Boulevard  
Albuquerque, New Mexico 87102  
Landscape Plan

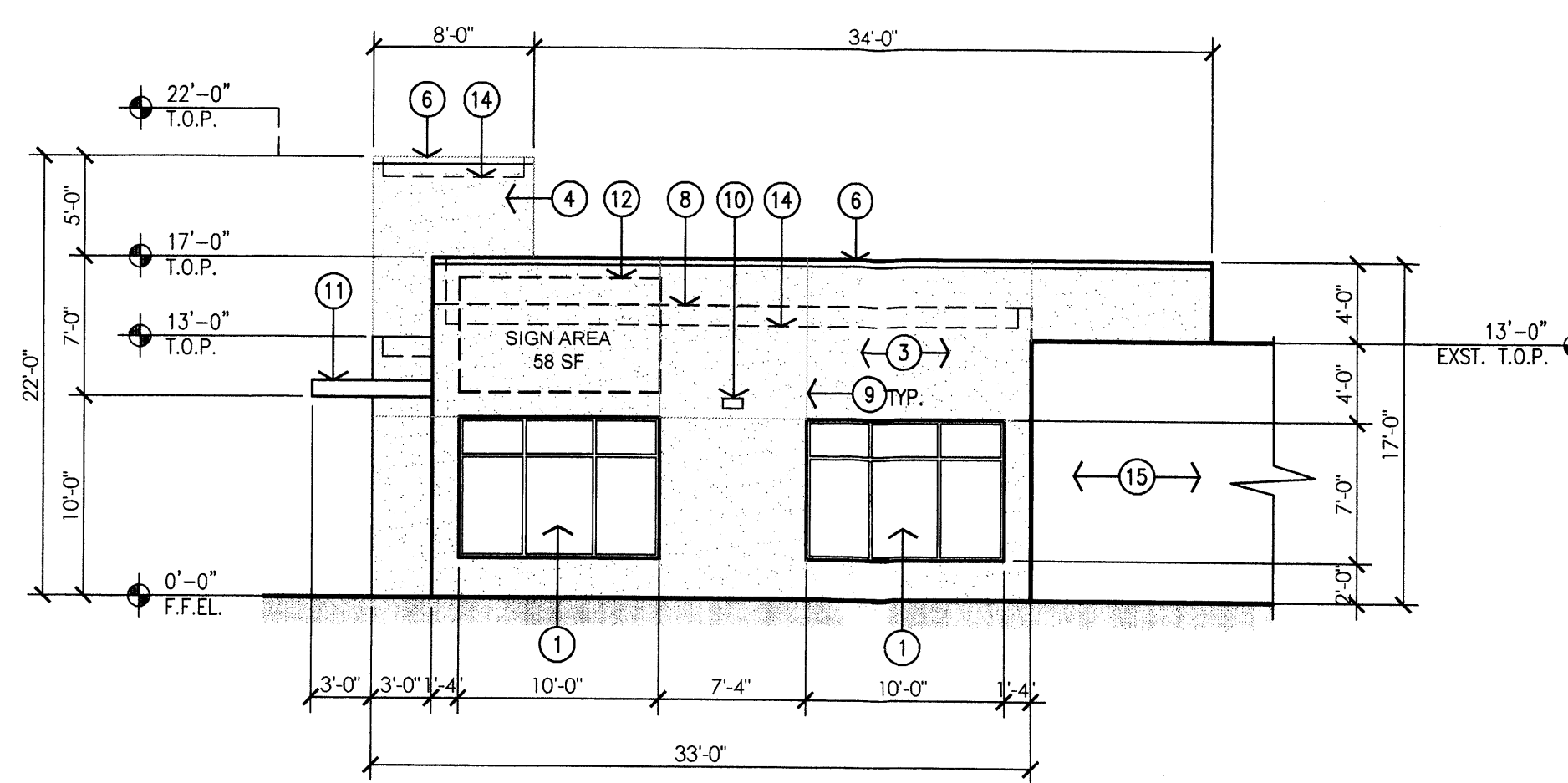




1 Existing Building C - East Elevation  
Scale 1/8" = 1'-0"



2 Existing Building C - South Elevation  
Scale 1/8" = 1'-0"



3 Existing Building C - North Elevation  
Scale 1/8" = 1'-0"

GENERAL NOTES:  
[A] MAIN ENTRY MAY BE RELOCATED DUE TO TENANT'S LAYOUT.

- KEYED NOTES:
- [1] ALUMINUM STOREFRONT SYSTEM, DARK BRONZE FRAME WITH TINTED GLAZING.
  - [2] ALUMINUM STOREFRONT DOOR, DARK BRONZE FRAME WITH TINTED GLAZING.
  - [3] 2-COAT SYNTHETIC STUCCO SYSTEM WITH ELASTOMERIC FINISH COAT. COLOR: LIGHT TAN.
  - [4] 2-COAT SYNTHETIC STUCCO SYSTEM WITH ELASTOMERIC FINISH COAT. COLOR: MEDIUM TAN.
  - [5] SYNTHETIC WOOD PLANK SIDING, COLOR: NATURAL LIGHT WOOD.
  - [6] LINE OF PARAPET, FINISH WITH METAL PARAPET CAP COLOR TO MATCH ADJACENT STUCCO/WOOD SIDING.
  - [7] METAL CANOPY, COLOR: TERRACOTTA OR GRAY.
  - [8] LINE OF EXISTING PARAPET, EXTEND PARAPET HEIGHT AS INDICATED ON DRAWINGS.
  - [9] STUCCO CONTROL JOINT, TYPICAL.
  - [10] EXTERIOR WALL PACK.
  - [11] NEW METAL CANOPY BEYOND.
  - [12] NEW AREA OF INDIVIDUALLY ILLUMINATED CHANNEL LETTER SIGNAGE.
  - [13] EXISTING BUILDING TO REMAIN.
  - [14] LINE OF ROOF BEYOND.
  - [15] WRAP WOOD SIDING ON ALL INTERIOR FACES OF RECESSED ENTRY AND STOREFRONT.

EXISTING BUILDING C  
SIGNAGE CALCULATIONS:  
BUILDING MOUNTED:  
EAST ELEVATION- 2510 SF x 9%  
226 SF ALLOWED  
226 SF ILLUMINATED PROVIDED  
NORTH ELEVATION- 637 SF x 9%  
58 SF ALLOWED  
58 SF ILLUMINATED PROVIDED

revision

by

date

rev



Mullen Heller  
Architecture P.C.

924 Park Avenue SW  
Suite B  
Albuquerque 87102  
505 268 4144 [p]  
505 268 4244 [f]

job number 12-11  
drawn by S.J. MWS, A.V.  
project manager Doug Heller, AIA  
date 09/26/2013

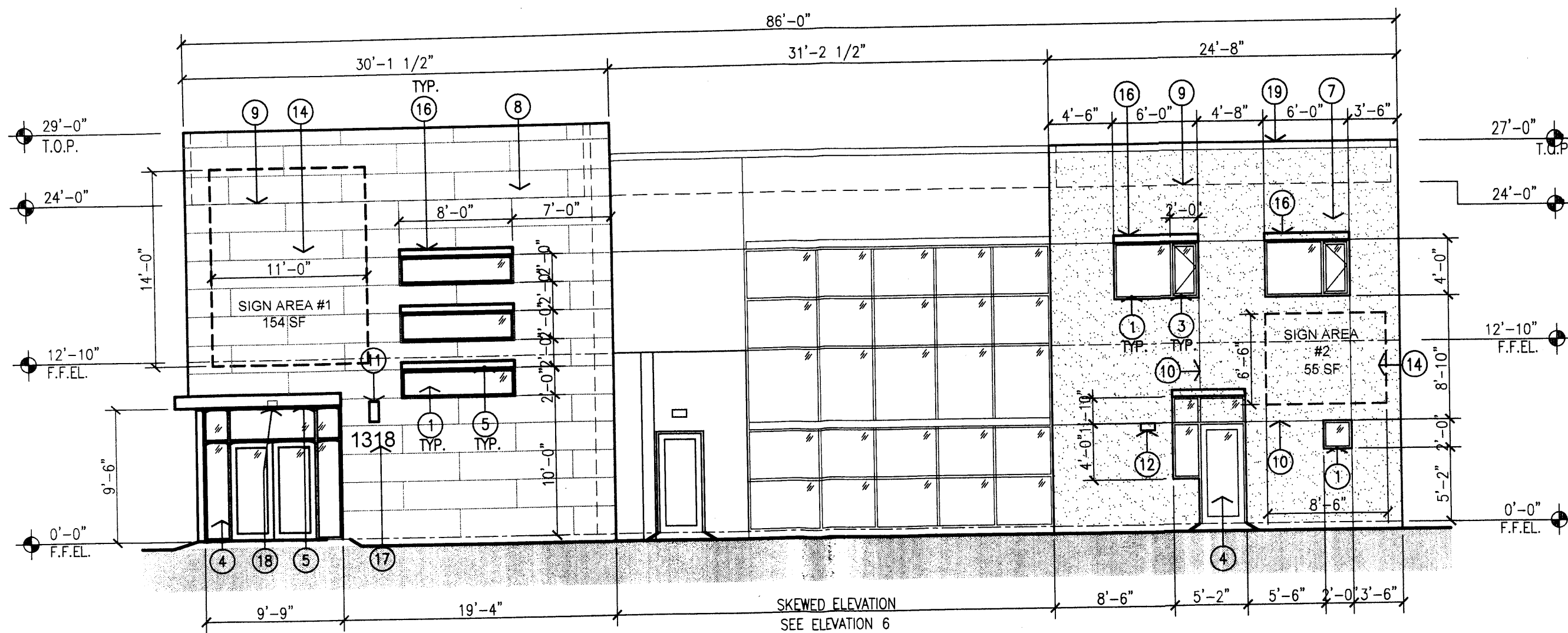
project title  
Country Club Plaza  
SW of Central Avenue and Laguna Boulevard  
Albuquerque, New Mexico 87102

sheet title  
Exterior Elevations - Existing Building C

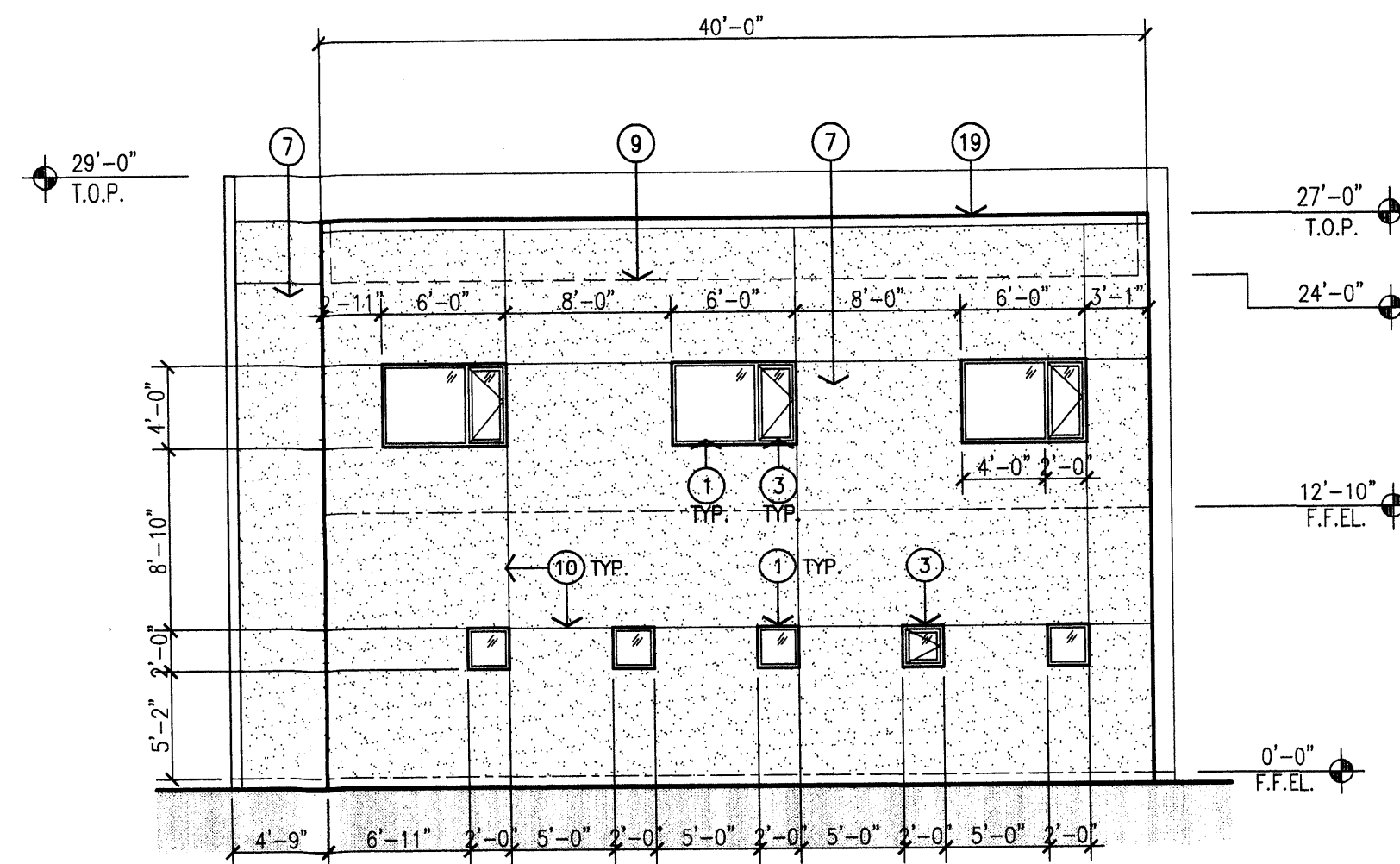
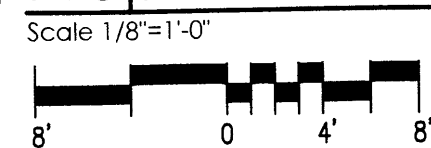
sheet-

5 of 7

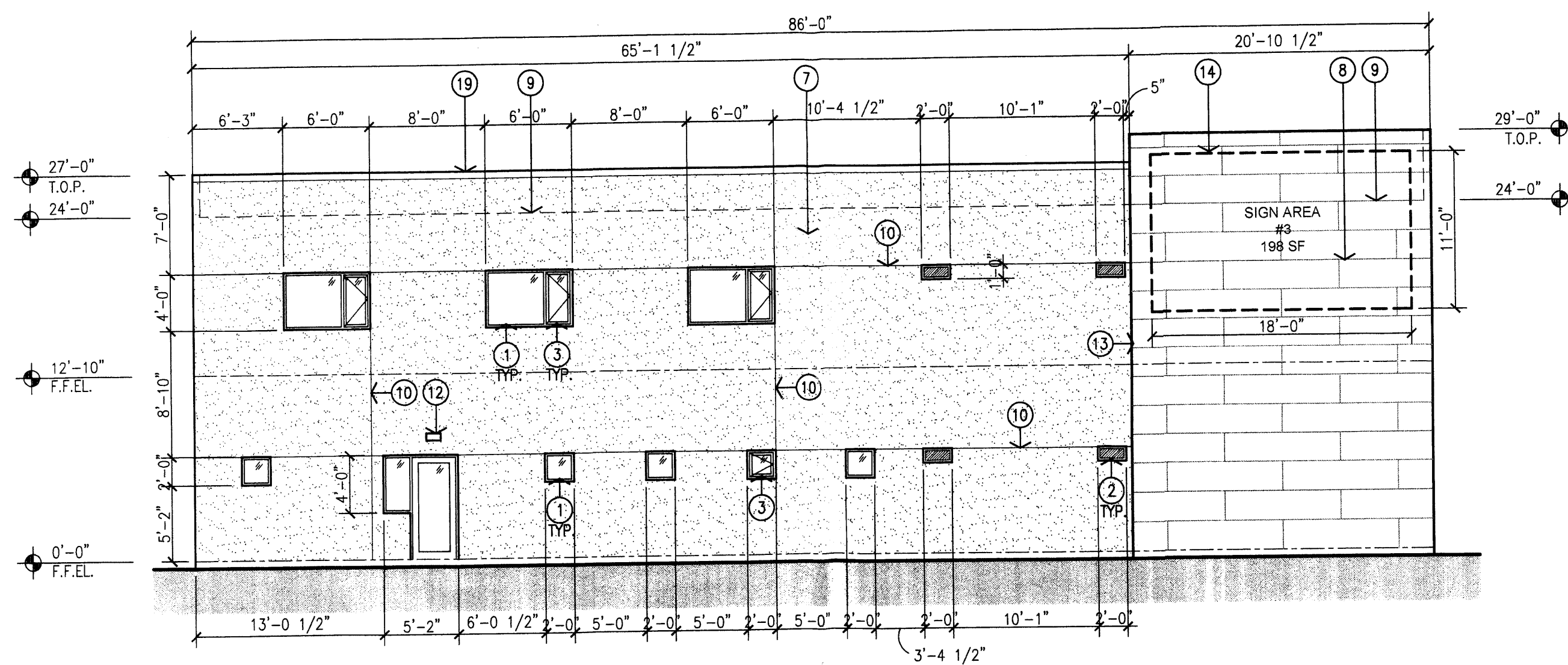
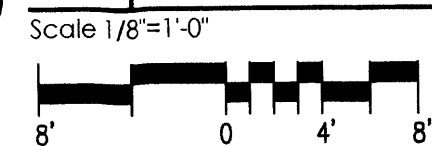




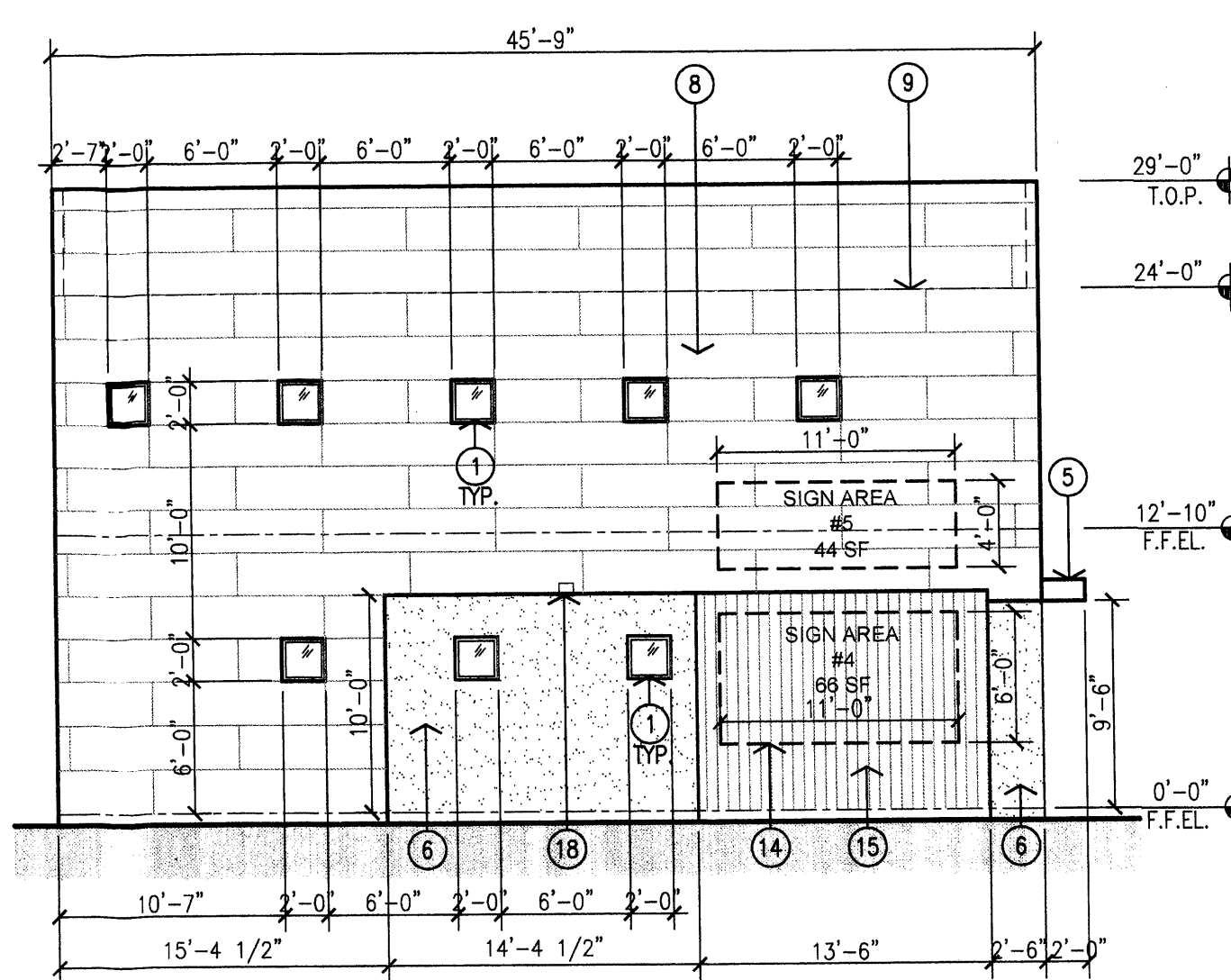
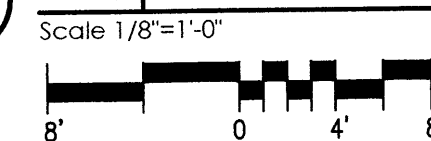
1 Proposed Building 1 - South Elevation



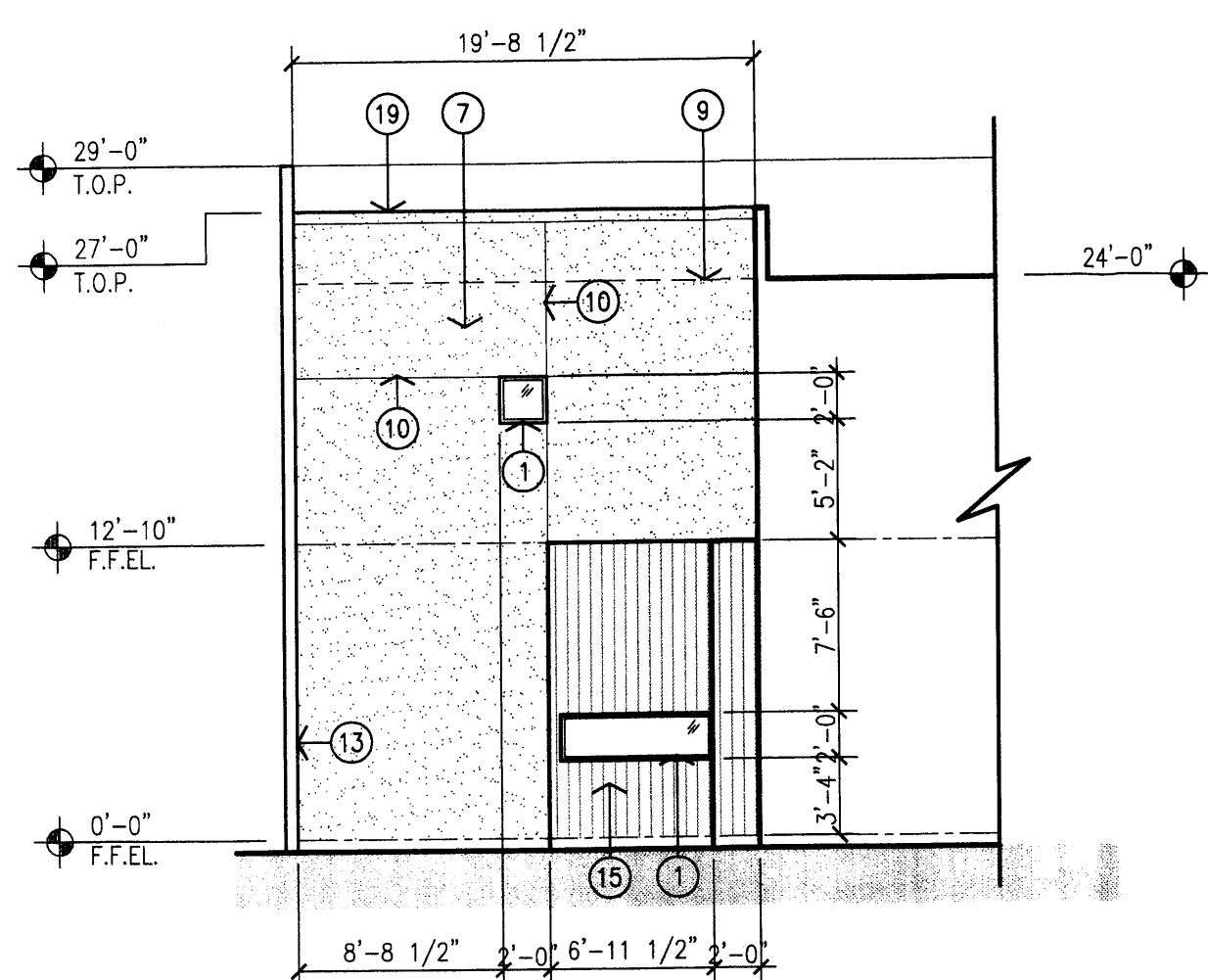
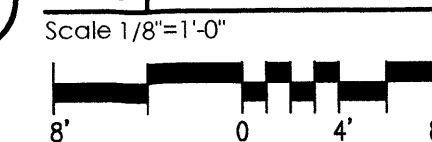
2 Proposed Building 1 - East Elevation



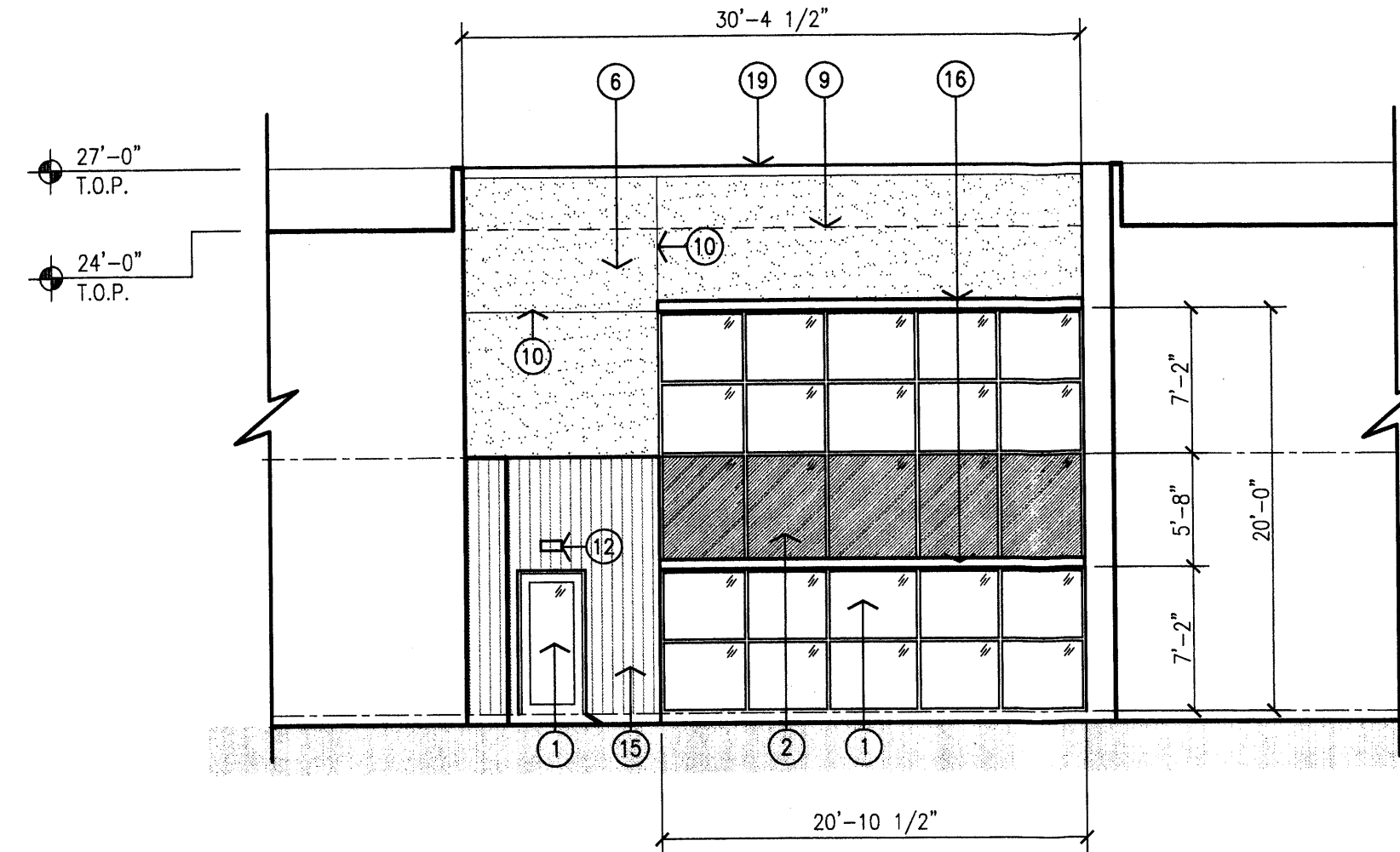
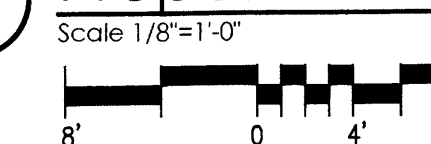
3 Proposed Building 1 - North Elevation



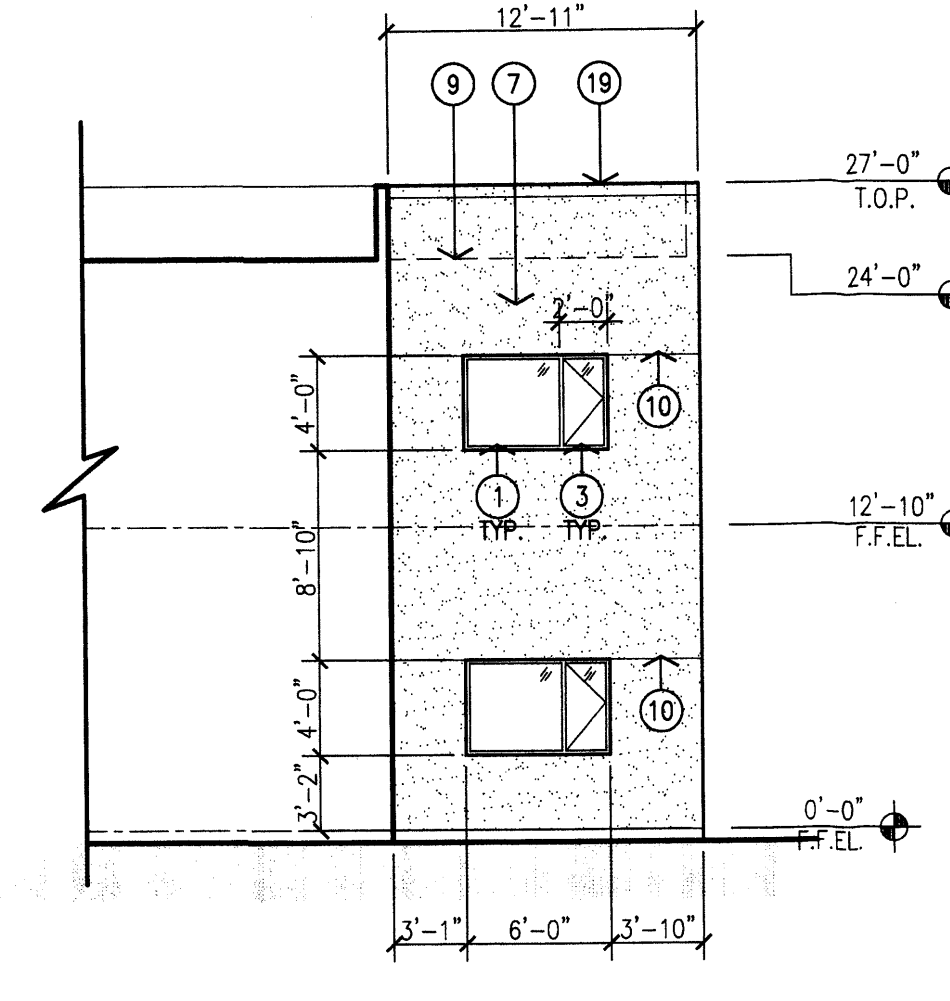
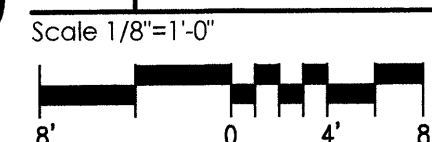
4 Proposed Building 1 - West Elevation



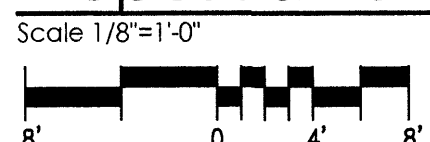
5 Proposed Building 1 - Courtyard West Elevation



6 Proposed Building 1 - Courtyard South Elevation



7 Proposed Building 1 - Courtyard East Elevation



- KEYED NOTES:
- ALUMINUM STOREFRONT FIXED WINDOW, DARK BRONZE FRAME WITH TINTED GLAZING.
  - ALUMINUM STOREFRONT FIXED WINDOW, DARK BRONZE FRAME WITH TRANSLUCENT GLAZING.
  - ALUMINUM STOREFRONT DOUBLE CASEMENT WINDOW, DARK BRONZE FRAME WITH TINTED GLAZING.
  - ALUMINUM STOREFRONT SYSTEM, DARK BRONZE FRAME WITH TINTED GLAZING.
  - ROOF CANOPY WITH STUCCO SOFFIT.
  - 2-COAT SYNTHETIC STUCCO SYSTEM WITH ELASTOMERIC FINISH COAT. COLOR: GREEN TONE.
  - 2-COAT SYNTHETIC STUCCO SYSTEM WITH ELASTOMERIC FINISH COAT. COLOR: LIGHT TAN.
  - METAL WALL PANELS, CUSTOM PATTERN. COLOR: TERRACOTTA OR GRAY.
  - LINE OF ROOF BEYOND.
  - STUCCO CONTROL JOINT, TYPICAL.
  - DECORATIVE WALL MOUNTED LIGHT FIXTURE.
  - EXTERIOR WALL PACK.
  - 2-COAT SYNTHETIC STUCCO SYSTEM WITH ELASTOMERIC FINISH COAT. COLOR TO MATCH WALL PANELS.
  - NEW AREA OF INDIVIDUALLY ILLUMINATED CHANNEL LETTER SIGNAGE.
  - SYNTHETIC WOOD PLANK SIDING, COLOR: NATURAL LIGHT WOOD.
  - METAL CANOPY, COLOR: TERRACOTTA OR GRAY.
  - 12" HIGH ADDRESS CHANNEL LETTERS.
  - RECESSED SOFFIT LIGHTING.
  - LINE OF PARAPET, FINISH WITH METAL PARAPET CAP TO MATCH STUCCO COLOR.

#### BUILDING 1

#### SIGNAGE CALCULATIONS:

BUILDING MOUNTED:  
SOUTH ELEVATION- 858 + 641 = 2377 SF x 9%  
214 SF ALLOWED  
(#1)154 + (#2)55 = 209 SF ILLUMINATED PROVIDED  
NORTH ELEVATION- 2363 SF x 9%  
212.67 SF ALLOWED  
(#3)198 SF ILLUMINATED PROVIDED  
WEST ELEVATION- 1304 SF x 9%  
117.4 SF ALLOWED  
(#4)66 + (#5)44 = 110 SF ILLUMINATED PROVIDED

project title  
Country Club Plaza  
SWC of Central Avenue and Laguna Boulevard  
Albuquerque, New Mexico 87102

sheet title  
Exterior Elevations - Proposed Building 1

job number  
12-11  
drawn by  
S.J. WWS, A.V.  
project manager  
Doug Heller, AIA.  
date  
09/26/2013

revision

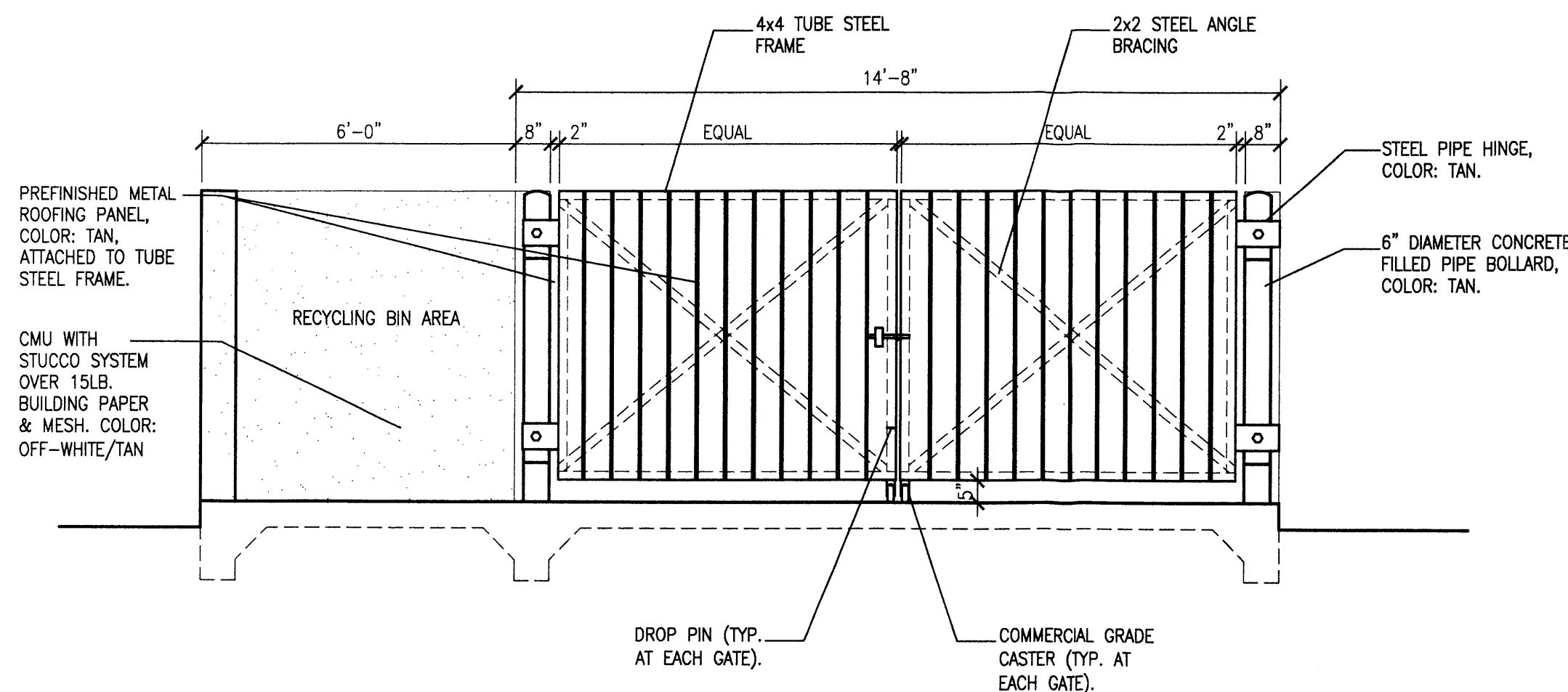
by

date

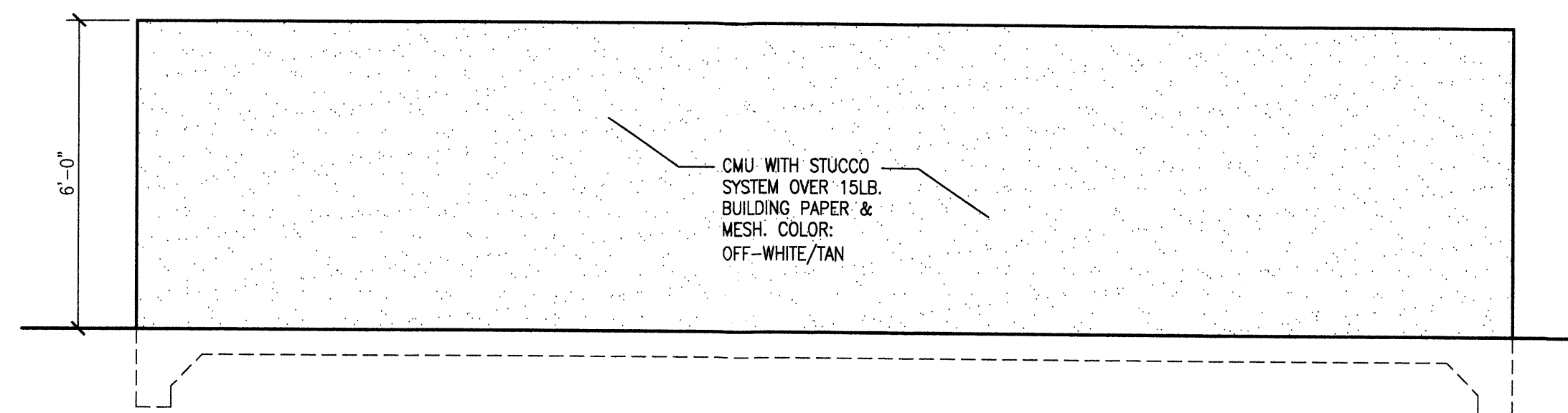
rev

Mullen Heller  
Architecture P.C.  
924 Park Avenue SW  
Suite B  
Albuquerque 87102  
505 268 4144(p)  
505 268 4244 (f)

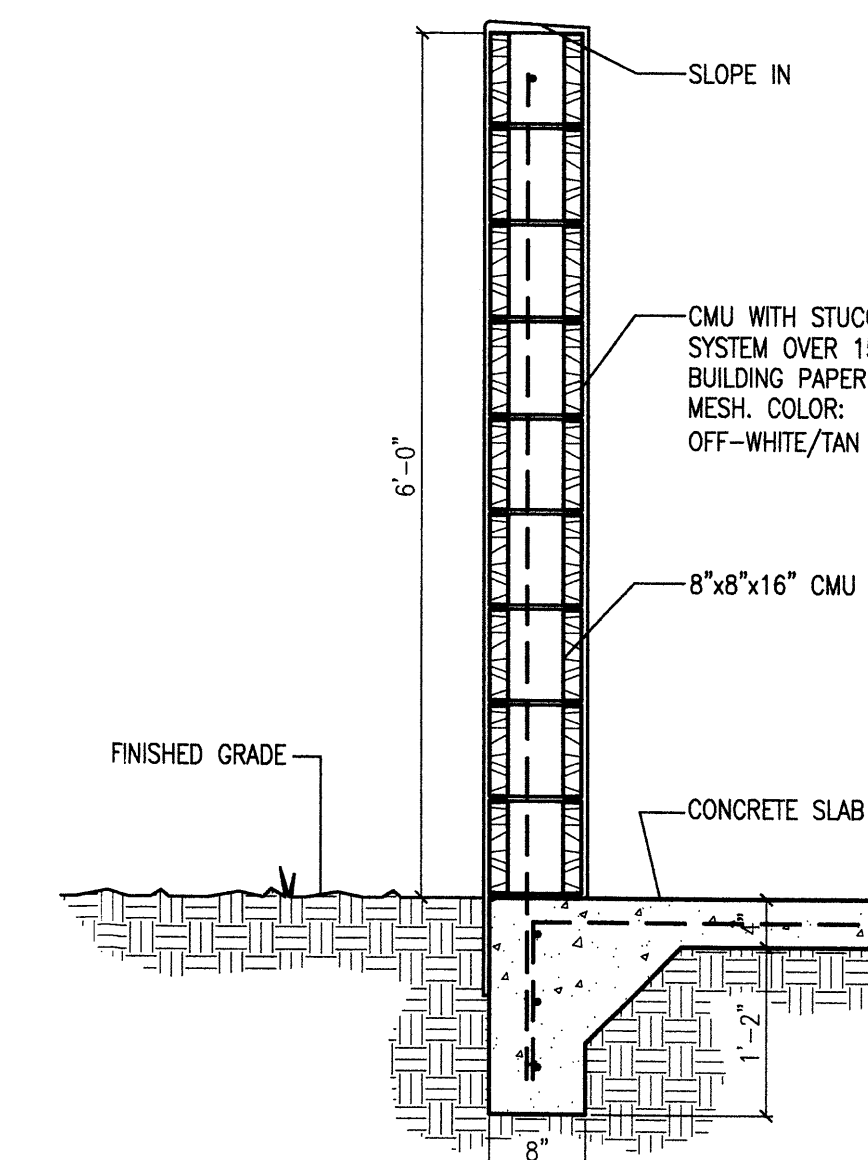




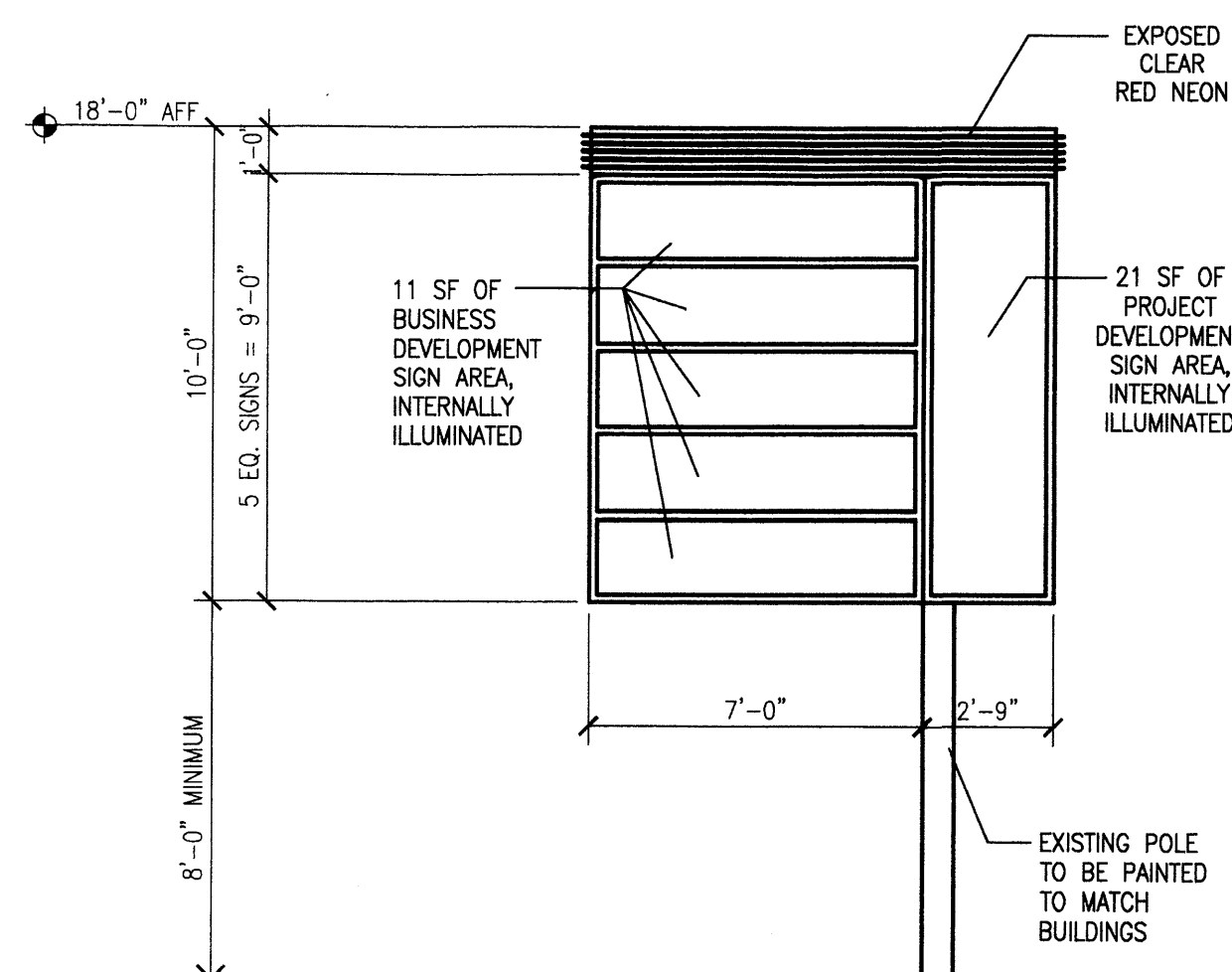
1 Refuse Enclosure Front Elevation  
Scale: 3/8" = 1'-0"



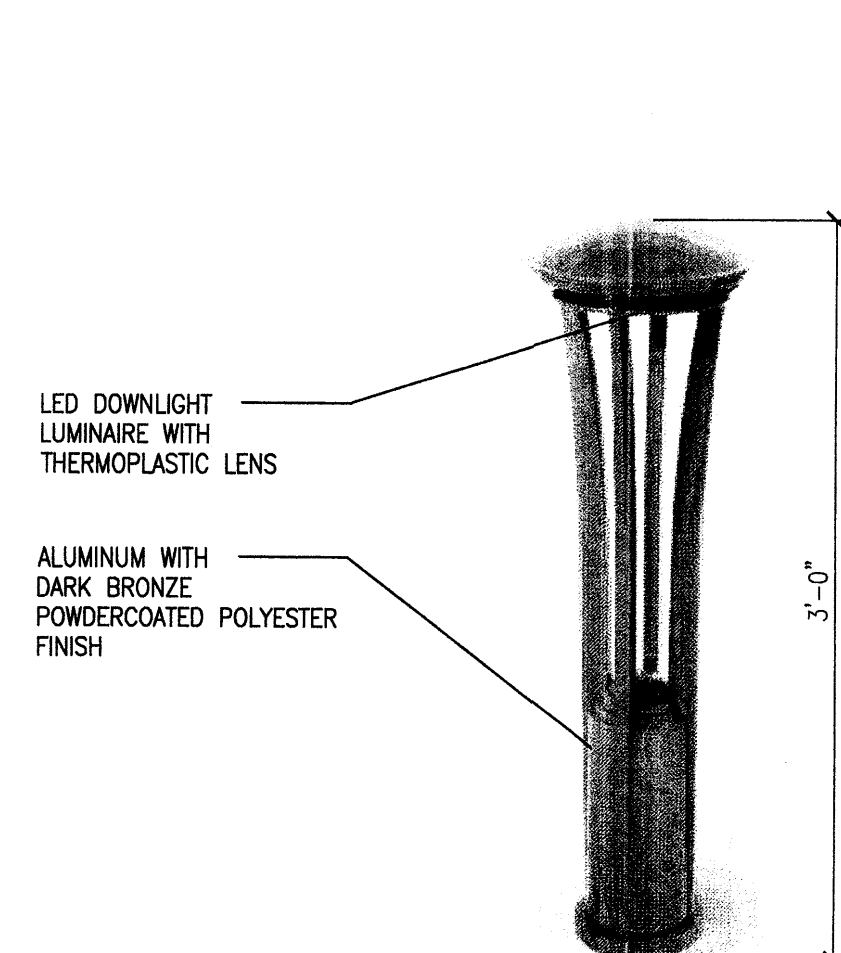
2 Refuse Enclosure Typ. Side Elevation  
Scale: 3/8" = 1'-0"



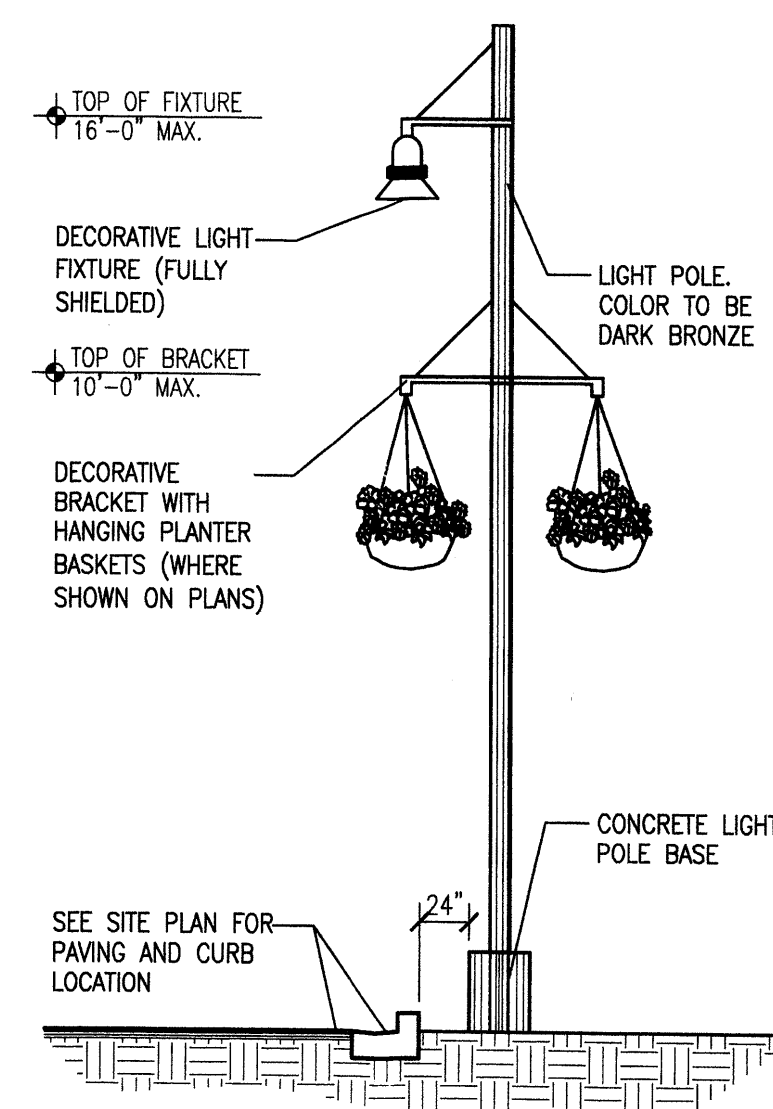
3 Refuse Enclosure Wall Section  
Scale: 1" = 1'-0"



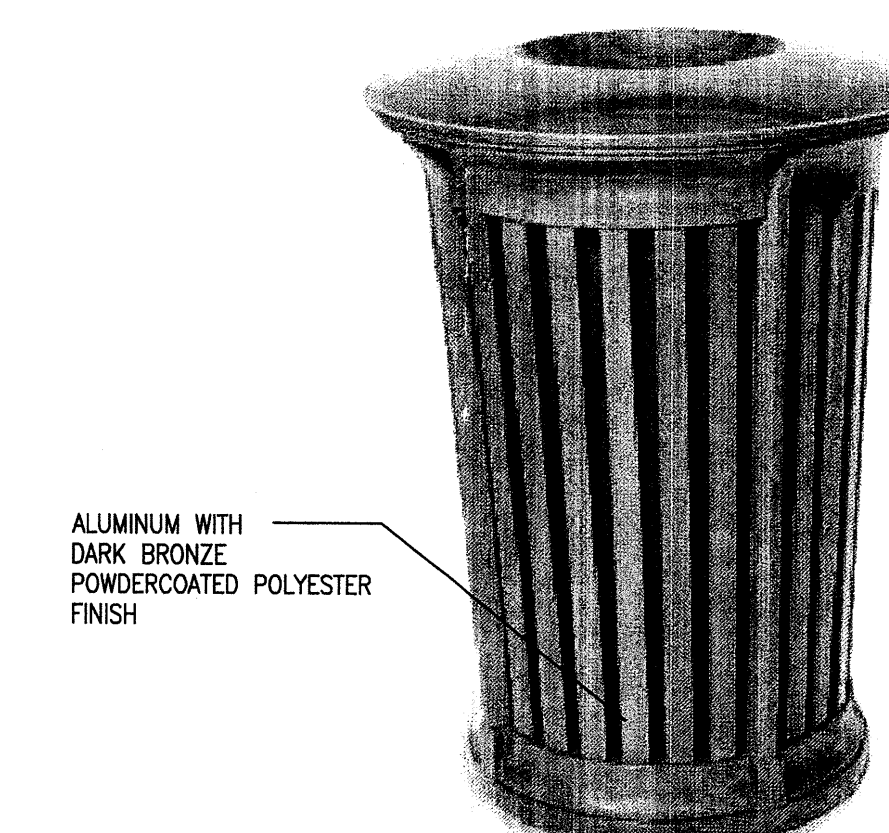
4 Pole Sign Detail  
Scale: 1/4" = 1'-0"



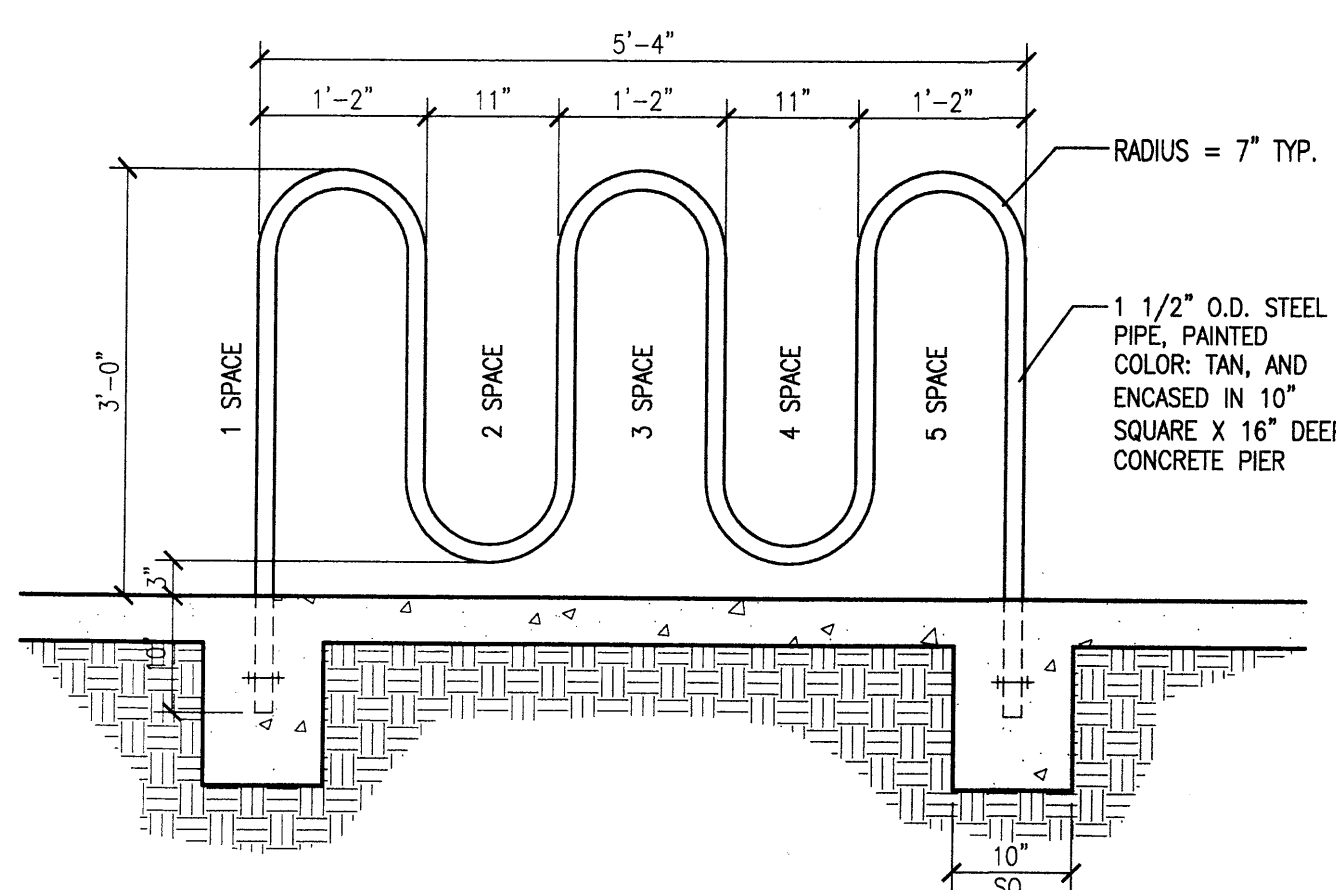
5 Light Bollard Detail  
Scale: Not to Scale



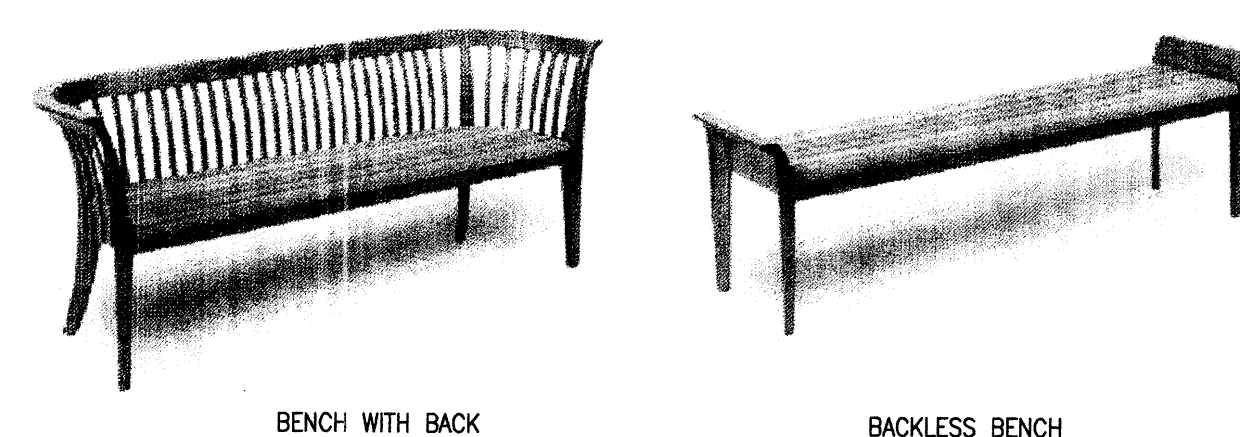
6 Site Lighting Elevation  
Scale: Not to Scale



7 Typical Site Litter/Recycling Receptacle  
Scale: Not to Scale



8 Typical Bicycle Rack Detail  
Scale: 3/4" = 1'-0"



9 Bench Detail - 6' Long (min.)  
Scale: Not to Scale

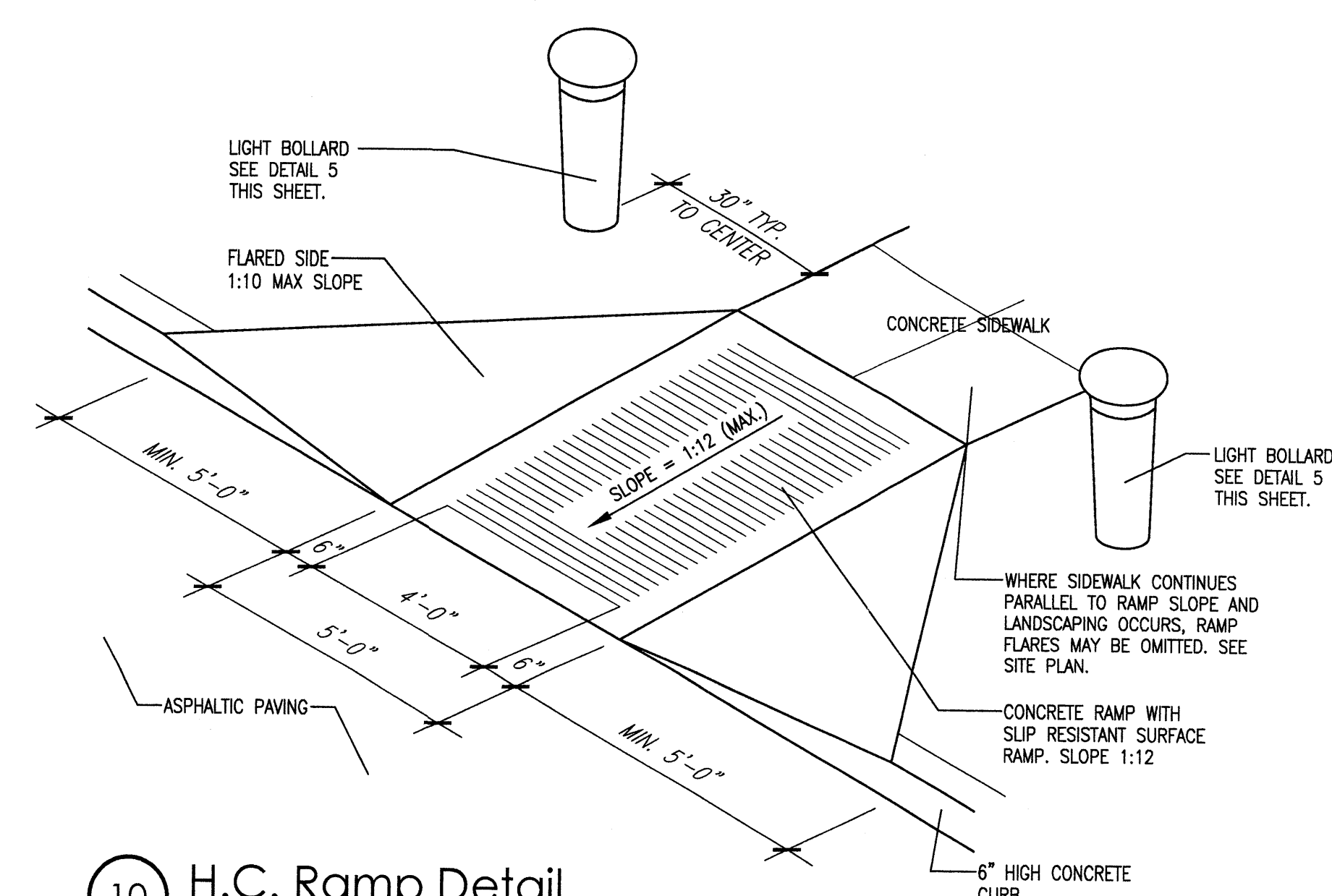
SECTION 14-16-3-18 (C)(3) - FACADES GREATER THAN 100 FEET IN LENGTH:  
1 SEAT PER 25 LINEAR FEET OF BUILDING FACADE.

**BUILDING C**  
137'-6" OF BUILDING FACADE / 25 = 6 SEATS REQUIRED  
(EACH SEAT SHALL BE A MINIMUM OF 24 INCHES IN WIDTH AND 15 INCHES IN HEIGHT.)

TWO (2) - 6'-0" LONG BENCHES = 6 SEATS PROVIDED  
(SEE SHEET 1)

**BUILDING A, B, 1 AND 3**  
NOT APPLICABLE

**BUILDING 2**  
BENCH REQUIREMENTS FOR BUILDING 2 WILL BE DETERMINED UNDER DRB.



10 H.C. Ramp Detail  
Scale: Not to Scale (Isometric)

revision	
by	
date	
rev	1 2 3 4



Mullen Heller  
Architecture P.C.

924 Park Avenue SW  
Suite B  
Albuquerque 87102  
505 268 4144 [p]  
505 268 4244 [f]

job number	12-11
drawn by	S.J. MWS, A.Y.
project manager	Doug Heller, AIA
date	09/26/2013

project title  
**Country Club Plaza**  
SW of Central Avenue and Laguna Boulevard  
Albuquerque, New Mexico 87102

sheet title  
**Site Development Details**