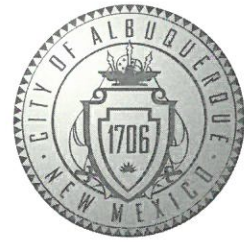


CITY OF ALBUQUERQUE



June 28, 2019

Michele M. Mullen, R.A.
Mullen Heller Architecture
1718 Central Ave SW, Suite D.
Albuquerque, NM 87104

Re: Country Club Plaza Commercial, Building 3, BP#2018-04140
1716 Central Ave SW
30-Day Temporary Certificate of Occupancy
Transportation Development Final Inspection
Engineer's/Architect's Stamp dated 6-6-19(AA) (J13D010)
Certification dated 6-26-19

Dear Ms. Mullen,

Based upon the information provided in your submittal received 6-26-19, Transportation Development will issue a 30-day Temporary Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

1. Please remove porta potty from parking stalls.
2. Please add motorcycle signs. Motorcycle parking spaces shall be designated by its own conspicuously posted upright sign, either free-standing or wall mounted per the IDO.
3. Please remove construction debris from site.
4. Please send photos of corrections to epgomez@cabq.gov for release of final CO.

If you have any questions, please contact me at (505) 924-3981.

Sincerely,

Ernie Gomez
Plan Checker, Planning Dept.
Development Review Services

EG via: email
C: CO Clerk, File

USABLE OPEN SPACE CALCULATIONS:
PER THE HUNING CASTLE & RAYNOLDS ADDITION
SECTOR DEVELOPMENT PLAN, SECTION CLD, PART 7,
USABLE OPEN SPACE REQUIREMENTS SHALL BE AS
PROVIDED IN THE R-2 ZONE IN THE COMP. CITY
ZONING CODE.

REQUIREMENT: 400SF OF USABLE OPEN SPACE PER
EFFICIENCY/1 BEDROOM DWELLING UNIT

58 EFFICIENCY/1 BEDROOM UNITS ON LOT 5 = 23,200 SF REQ'D OPEN SPACE
LOT 5 USABLE OPEN SPACE = 16,070 SF
WALKWAYS = 6,140 SF
COMMUNITY PATIO = 700 SF
BALCONIES = 2,320 SF
2ND LEVEL ROOF PATIO = 1,574 SF
TOTAL LOT 5 USABLE OPEN SPACE = 26,804 SF

NOT A PART
EXISTING
BUILDING A
1-STORY (comm.)
1,467 TOTAL SF

SITE DEVELOPMENT GENERAL NOTES:

- [A] THE DESIGN STANDARDS INCLUDED IN THE AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION FOR THIS PROJECT SHALL GOVERN ALL EXISTING AND NEW BUILDINGS FOR LOTS 1 THRU 5 OF THIS DEVELOPMENT.
[B] RECIPROCAL PARKING, INGRESS/EGRESS, ACCESS AND DRAINAGE EASEMENT FOR THE BENEFIT AND USE BY THE OWNERS OF LOTS 1 THRU 5, COUNTRY CLUB PLAZA AND TRACT A-1-A, LAGUNA SUBDIVISION, SAID EASEMENT TO BE MAINTAINED BY THE OWNER OF EACH LOT FOR THE BENEFIT OF ALL LOTS.
[C] THE PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB. ANY AREA NOT DIMENSIONED IS EXISTING TO REMAIN.
[D] LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS, THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
[E] ANY ENCROACHMENT OR OVERHANG INTO THE ROW FROM SIGNS, FENCES, CANOPY, ROOF LINES, ETC. WILL REQUIRE AN ANNUAL REVOCABLE ENCROACHMENT PERMIT.
[F] EASEMENT NOTE: 25' PRIVATE ACCESS AND DRAINAGE EASEMENT TOGETHER WITH 25' PUBLIC UTILITY, PUBLIC WATERLINE, PUBLIC SANITARY SEWER EASEMENT, SAID EASEMENT TO BE MAINTAINED BY THE OWNER OF EACH LOT FOR THE BENEFIT OF ALL LOTS.
[G] FUTURE BUILDING MOUNTED SIGNAGE IN ADDITION TO THOSE SHOWN ON THE EXTERIOR ELEVATIONS SHALL BE SUBMITTED AND APPROVED VIA ADMINISTRATIVE AMENDMENT. FUTURE SIGNAGE SHALL COMPLY WITH THE APPROVED SITE PLAN FOR SUBDIVISION AND ALL APPLICABLE ZONING AND SECTOR DEVELOPMENT PLAN REQUIREMENTS.

SITE DEVELOPMENT SITE LIGHTING NOTES:

- [A] THE LOCATION OF THE LIGHTING FIXTURES TOGETHER WITH ITS CUT-OFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC RIGHT-OF-WAY OR ADJACENT RESIDENTIAL PROPERTY.
[B] THE MAXIMUM HEIGHT OF A LIGHT POLE MEASURED FROM THE FINISH GRADE TO THE TOP OF THE POLE SHALL BE 16'-0" MAX. TO MATCH EXISTING.
[C] LIGHTING TO BE PROVIDED ON COMMERCIAL BUILDING FACADES SHALL BE MOUNTED AT 12 FEET MAXIMUM.
[D] SITE LIGHTING SHALL BE FULLY SHIELDED, AND HIGH-PRESSURE SODIUM LIGHTING AND UN-SHIELDED UPLIGHTING SHALL BE PROHIBITED.
[E] PROPOSED SITE LIGHTING SHALL MATCH THE EXISTING ON-SITE.

RADIUS INFORMATION:

NOTE: RADIIUSES NOT NOTED ARE EXISTING TO REMAIN.
(1) = 2'-0" (5) = 10'-0" (9) = 30'-0"
(2) = 3'-0" (6) = 15'-0" (10) = 35'-0"
(3) = 4'-0" (7) = 20'-0" (11) = 40'-0"
(4) = 5'-0" (8) = 25'-0" (12) = 45'-0"

PER APPENDIX J IN THE COA COMPREHENSIVE ZONING CODE

General Land Use Classification		Weekdays		Weekends	
Parking Calculations:		From 7am to 5pm	From 5pm to 11pm	From 7am to 5pm	From 5pm to 11pm
Office	1000	1000	500	1000	500
Residential	1000	1000	500	1000	500
Commercial	1000	1000	500	1000	500

Parking Calculations for Required Number of Spaces		Weekdays		Weekends	
Land Use	Area/Number of Units	Parking Requirements	Required parking***		
Office - First Floor	(8000) 1	2000	2000	1400	1400
Office - Second Floor	(8000) 1	2000	2000	1400	1400
Office - Third Floor	(8000) 1	2000	2000	1400	1400
Residential	(8000) 2	2000	2000	1400	1400
Commercial	(8000) 2	2000	2000	1400	1400
Residential	(8000) 2	2000	2000	1400	1400

General Land Use Classification		Weekdays		Weekends	
Parking Calculations:		From 7am to 5pm	From 5pm to 11pm	From 7am to 5pm	From 5pm to 11pm
Office	1000	1000	500	1000	500
Residential	1000	1000	500	1000	500
Commercial	1000	1000	500	1000	500

Total Number of Spaces		Weekdays	Weekends
Office	1000	1000	1000
Residential	1000	1000	1000
Commercial	1000	1000	1000

PARKING CALCULATIONS:

SHARED PARKING FOR THIS DEVELOPMENT IS ALLOWED PER THE CITY OF ALBUQUERQUE OFF-STREET PARKING REGULATIONS (14-16-3-1) APPENDIX J. THE ABOVE TABLE ASSUMES THE FUTURE TENANT USES OF THE COMMERCIAL BUILDINGS (SUCH AS OFFICE, RETAIL, RESTAURANT, ONCE THE USES ARE CONFIRMED FOR ALL BUILDINGS, THE RELATED BUILDING PERMIT SUBMITTAL WILL UPDATED THE PARKING CALCULATIONS.

BASED ON THE PARKING CALCULATIONS IN THE TABLE ABOVE, THE MAXIMUM NUMBER OF REQUIRED SPACES FOR A GIVEN TIME FRAME IS 170.

EXISTING BUILDINGS:

NO PARKING IS REQUIRED FOR EXISTING BUILDINGS ON LOT 1 AND LOT 2 PER CITY OF ALBUQUERQUE COMPREHENSIVE ZONING CODE OFF-STREET PARKING REGULATIONS (14-16-3-1). OFF-STREET PARKING SHALL BE PROVIDED FOR ALL USES AND BUILDINGS, EXCEPT BUILDINGS CONSTRUCTED BEFORE OCTOBER 22, 1985 NEED SUPPLY SUCH PARKING ONLY TO THE EXTENT ON-PREMISE GROUND SPACE IS AVAILABLE.

TRANSIT REDUCTIONS:
170 SPACES REQ'D x 10% REDUCTION =
(PROXIMITY TO BUS ROUTE 766, 66, & A.R.T.)
170 x 10% = 153 TOTAL SPACES REQUIRED

TOTAL PARKING SPACES REQUIRED: = 153 SPACES
TOTAL PARKING SPACES PROVIDED: = 164 SPACES

101 REGULAR SPACES
9 HANDICAP PARKING SPACES
54 COMPACT SPACES
COMPACT PARKING CALCULATION:
(164) SPACES x 33% = 55 SPACES ALLOWED
TOTAL COMPACT SPACES = 54 SPACES PROVIDED

DISABLED PARKING REQUIREMENTS:
TOTAL DISABLED SPACES REQUIRED = 8 SPACES
TOTAL DISABLED SPACES PROVIDED = 9 SPACES

MOTORCYCLE REQUIREMENTS:
TOTAL MOTORCYCLE SPACES REQUIRED = 5 SPACES
TOTAL MOTORCYCLE SPACES PROVIDED = 6 SPACES

RESIDENTIAL BICYCLE REQUIREMENTS:
1 BICYCLE SPACE PER 2 DWELLING UNITS =
81 DWELLING UNITS/2 = 41 TOTAL SPACES REQUIRED

COMMERCIAL BICYCLE REQUIREMENTS:
1 BICYCLE SPACE FOR EACH 20 PARKING SPACES =
(164) PARKING SPACES/20 = 8 TOTAL SPACES REQUIRED

TOTAL BICYCLE SPACES REQUIRED: = 50 SPACES
TOTAL BICYCLE SPACES PROVIDED: = 55 SPACES

SITE DEVELOPMENT DATA:

PROPOSED SITE DEVELOPMENT PLAN INFORMATION:
THIS SITE DEVELOPMENT PLAN FOR BUILDING PERMIT IS FOR LOT 5 ONLY OF COUNTRY CLUB SUBDIVISION. LOTS 1 THRU 4 OF COUNTRY CLUB SUBDIVISION AND TRACT A-1-A OF LAGUNA SUBDIVISION ARE TO REMAIN AS EXISTING.

PROPOSED LEGAL DESCRIPTION:

LOTS 1 THRU 5, COUNTRY CLUB PLAZA SUBDIVISION AND TRACT A-1-A LAGUNA SUBDIVISION, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

BUILDING ADDRESSES:

BLDG. A AND B (EXISTING):
1720 CENTRAL AVE. S.W.
ALBUQUERQUE, N.M.
BLDG. C (EXISTING):
1710 CENTRAL AVE. S.W.
ALBUQUERQUE, N.M.
BLDG. 1 (EXISTING):
1718 CENTRAL AVE. S.W.
ALBUQUERQUE, N.M.
BLDG. 2 (EXISTING):
1716 CENTRAL AVE. S.W.
ALBUQUERQUE, N.M.
BLDG. 3 (PROPOSED):
1716 CENTRAL AVE. S.W.
ALBUQUERQUE, N.M.

LAND AREA:

3.37 ACRES (146,975 SQ. FT.- TOTAL DEVELOPMENT)
1.63 ACRES (71,003 SQ. FT.- PROPOSED DEVELOPMENT)
(LOT 5 ONLY)

CURRENT ZONING:

SU-2/CLD (HUNING CASTLE AND RAYNOLDS ADDITION NEIGHBORHOOD SECTOR DEVELOPMENT PLAN) FOR LOTS 1 THRU 5.

R-1 (HUNING CASTLE AND RAYNOLDS ADDITION NEIGHBORHOOD SECTOR DEVELOPMENT PLAN) FOR TRACT A-1-A.

ZONE ATLAS PAGE:

J-13-2

BUILDING AREAS:

EXISTING BUILDING A 1,467 SF.
EXISTING BUILDING B 2,900 SF.
EXISTING BUILDING C 4,216 SF.
EXISTING BUILDING 1 5,834 SF.
EXISTING BUILDING 2 24,932 SF.
EXISTING BUILDING 3 50,319 SF.
TOTAL 88,668 SF.

TOTAL BUILDING AREA = 88,668 SF.

TOTAL EXISTING RESIDENTIAL UNITS: 23 TOTAL UNITS

TOTAL PROPOSED RESIDENTIAL UNITS: 58 TOTAL UNITS

TOTAL RESIDENTIAL UNITS ON SITE: 81 TOTAL UNITS

RESIDENTIAL F.A.R.: .61

TAKEN FOR THE ENTIRE SITE GIVEN ONE OWNER.
MAX. ALLOWABLE RESIDENTIAL F.A.R. = .61

146,975 SF x .61 = 89,654.75 ALLOWABLE RESIDENTIAL SF

SUMMARY OF SITE-WIDE RESIDENTIAL SF:
BUILDING 2 (2ND FLOOR): 8,253 SF
BUILDING 2 (3RD FLOOR): 8,142 SF
BUILDING 3 (BASEMENT): 4,818 SF
BUILDING 3 (1ST FLOOR): 7,316 SF
BUILDING 3 (2ND FLOOR): 17,583 SF
BUILDING 3 (3RD FLOOR): 15,830 SF
TOTAL RESIDENTIAL SF: 61,942 SF

KEYED NOTES:

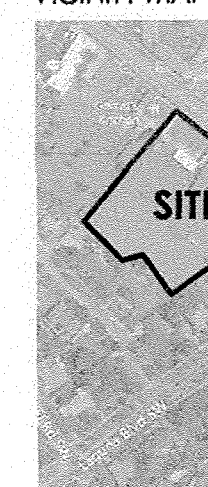
- (1) EXISTING CMU REFUSE ENCLOSURE WITH RECYCLING STATION TO REMAIN.
(2) EXISTING TREE WELL TO REMAIN.
(3) EXISTING LANDSCAPING TO REMAIN.
(4) EXISTING WATER/LANDSCAPING FEATURE WITH BENCH SEATING TO REMAIN.
(5) EXISTING ASPHALT PAVED DRIVE AISLE WITH 4" AS DIMENSIONED, TO REMAIN.
(6) EXISTING CONCRETE SIDEWALK TO REMAIN.
(7) EXISTING GRASSY PAVED WALK TO REMAIN.
(8) EXISTING PARKING AND PAINTED STRIPING TO REMAIN.
(9) EXISTING CRUISER FINES WALKWAY TO REMAIN.
(10) EXISTING ELECTRICAL TRANSFORMER TO REMAIN.
(11) EXISTING FIRE HYDRANT TO REMAIN.
(12) EXISTING FIRE DEPARTMENT FDC.
(13) EXISTING FIRE DEPARTMENT FDC.
(14) EXISTING BACKFLOW PREVENTER.
(15) EXISTING WATER METER TO REMAIN.
(16) EXISTING PAINTED STRIPED PEDESTRIAN CONNECTION.
(17) EXISTING CROSS WALK STRIPING TO REMAIN.
(18) EXISTING HANDICAP PAINTED PAVEMENT SIGN TO REMAIN.
(19) EXISTING PAINTED STRIPED HANDICAP AISLE TO REMAIN.
(20) EXISTING BUILDING TO REMAIN.
(21) EXISTING SITE LIGHTING TO REMAIN.
(22) EXISTING BIKE RACK TO REMAIN.
(23) EXISTING 20'-0" WATERLINE EASEMENT TO REMAIN.
(24) EXISTING BUS STOP TO REMAIN.
(25) EXISTING POLE SIGN TO REMAIN.
(26) EXISTING STEEL & FIBERGLASS GRATING YARD WALL TO REMAIN.
(27) EXISTING GREASE INTERCEPTOR TO REMAIN.
(28) EXISTING SITE FURNITURE TO REMAIN.
(29) EXISTING OVERHEAD STRING LIGHTING TO REMAIN.
(30) EXISTING SIDEWALK CULVERT TO REMAIN.
(31) EXISTING HORIZONTAL WOOD SLAT FENCE TO REMAIN AT WEST PROPERTY LINE.
(32) EXISTING CMU WALL TO REMAIN.
(33) EXISTING IRRIGATION CONTROL VALVE BOX.
(34) EXISTING IRRIGATION BACKFLOW PREVENTER.
(35) PROPOSED RELOCATED TREE WELL. SEE LANDSCAPING.
(36) PROPOSED TREE WELL, TYPICAL. SEE LANDSCAPING.
(37) PROPOSED LANDSCAPING.
(38) PROPOSED HANDICAP PAINTED PAVEMENT SIGN. SEE DETAIL SHEET 8.
(39) PROPOSED STRIPED HANDICAP AISLE. SEE DETAIL SHEET 8.
(40) PROPOSED ASPHALT PAVING.
(41) PROPOSED CONCRETE PAVEMENT TO MATCH EXISTING.
(42) PROPOSED RELOCATED SITE LIGHTING. HEIGHT TO BE 16'-0" MAX.
(43) PROPOSED SITE LIGHTING TO MATCH EXISTING. HEIGHT TO BE 16'-0" MAX.
(44) PROPOSED BIKE RACK TO MATCH EXISTING.
(45) PROPOSED CONCRETE SIDEWALK. 6'-0" WIDE MINIMUM.
(46) PROPOSED RESIDENTIAL CONCRETE STOOPS (18" ABOVE FF) WITH CONCRETE STAIRS AND PAINTED STEEL HANDRAILS BOTH SIDES.
(47) PROPOSED 2'-0" HIGH CAST-IN-PLACE BOARD FORMED CONCRETE YARD WALL.
(48) PROPOSED 5'-0" HIGH CAST-IN-PLACE BOARD FORMED CONCRETE YARD WALL.
(49) PROPOSED ELECTRICAL TRANSFORMER WITH ELEVATED CONCRETE PAD AND LANDSCAPING SCREENING.
(50) PROPOSED PAINTED PARKING STRIPING.
(51) PROPOSED WATER METER.
(52) PROPOSED ELECTRICAL EQUIPMENT YARD.
(53) PROPOSED FIRE HYDRANT.
(54) PROPOSED REMOTE FIRE DEPARTMENT FDC.
(55) PROPOSED REMOTE FIRE DEPARTMENT FW WITH CONCRETE FILED STEEL ROLLERS.
(56) PROPOSED SIDEWALK PREVENTER WITH CONCRETE FILED STEEL ROLLERS.

KEYED NOTES: (continued)

- (57) PROPOSED CONCRETE CURB & GUTTER. SEE GRADING & DRAINAGE PLAN AND COA STD. DWG. 2415A.
(58) PROPOSED GRANITE PAVED PATIO WITH 7'-0" HIGH CAST-IN-PLACE BOARD FORMED CONCRETE YARD WALL.
(59) PROPOSED WATER/FIRE/LANDSCAPING FEATURE. SEE LANDSCAPING.
(60) PROPOSED HANDICAP RAMPED CURB. SEE DETAIL SHEET 8.
(61) PROPOSED HANDICAP PARKING SIGN. SEE DETAIL SHEET 8 "V" WHERE NOTED.
(62) PROPOSED CONCRETE RAMP AT 1:12 SLOPE MAX. (1:20 WHERE POSSIBLE) WITH PAINTED STEEL HANDRAILS ON BOTH SIDES.
(63) PROPOSED COMPACT PARKING SPACES 9'-0"x15'-0" WITH PAINTED "COMPACT CAR" PAVEMENT DESIGNATION.
(64) PROPOSED COMPACT PARKING SPACES 7'-6"x15'-0" WITH PAINTED "COMPACT CAR" PAVEMENT DESIGNATION.
(65) PROPOSED 4'-0" WIDE x 8'-0" LONG MOTORCYCLE SPACES WITH SIGNAGE AT EACH SPACE.
(66) PROPOSED SITE FURNITURE.
(67) PROPOSED AUTOMATED GATE WITH FIRE DEPARTMENT KNOX BOX AND PEDESTRIAN GATE.
(68) PROPOSED REINFORCED WALL WITH 4" HIGH GUARDRAIL.
(69) PROPOSED EXISTING OVERHANG ABOVE WITH REQUIRED 13'-6" HEIGHT CLEARANCE FOR FIRE APPARATUS.
(70) PAINTED ACCESS AISLE STRIPING.
(71) PROPOSED STAMPED COLORED CONCRETE PEDESTRIAN CONNECTION TO MATCH EXISTING.
(72) RETAINAGE POND AREA, REFER TO CONCEPTUAL G&D PLAN.
(73) 3'-0" WIDE LEAVE-OUT IN CURB. REFER TO CONCEPTUAL G&D PLAN.
(74) PROPOSED AREA DRAIN. REFER TO CONCEPTUAL G&D PLAN.
(75) PROPOSED CONCRETE STAR WITH HANDRAILS.
(76) NEW MANHOLE. REFER TO CONCEPTUAL G&D PLAN.
(77) NEW SIDEWALK CULVERT.
(78) RECYCLING AREA.
(79) PROPOSED GAS METER.
(80) PROPOSED FIRE LANE ACCESS TO FDC, PROVIDE RED PAVEMENT STRIPING AND FIRE LANE NO PARKING PAVEMENT MARKING.

ADMINISTRATIVE AMENDMENT
FILE # 2019-00152 PROJECT # 002462
1% SF increase, drive aisle, parking, and other minor changes.
APPROVED BY DATE 06 June 2019

VICINITY MAP:



Overall Architectural Site Plan

Scale: 1"=30'-0"

DESCRIPTION

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June 26, 2019

Racquel Michel, P.E., Transportation Development
Planning Department
Development and Building Services Division
City of Albuquerque
600 2nd Street NW.
Albuquerque, NM 87102



Re: **Permanent Certificate of Occupancy for
Country Club Plaza - Commercial Building 3
Address: 1716 Central Avenue SW, Albuquerque, NM. 87104
EPC/DRB Project No: #1004677
AA Project No: PR-2019-002482
Building Permit No: BP-2018-04140**

Dear Ms. Racquel Michel:

I, Michele Mullen, NMRA of Mullen Heller Architecture P.C., hereby certify that this project is in substantial compliance with and in accordance with the design intent of Approved EPC/DRB Site Development Plan #17EPC-40027, dated August 10, 2017 (Project #1004677) and Approved Administrative Amendment (AA# SI-2019 00152) dated June 6, 2019.

This certification pertains only to the final lot of the development, Lot 5, and the final phase of new construction of the development, Building Three (3), as approved by the EPC/DRB and subsequent approved AA. Please refer to the attached Site Development Plan and AA.

Given the project building is subject to the EPC/DRB approved Site Development Plan for Building Permit, the project team submitted an AA to record the miscellaneous site revisions that were made during construction of the final phase of the development, Building Three (3). **Therefore, the approved AA site plan shall used to document the site certification.**

Per the approved AA, Building Three (3) adheres to the design parameters as outlined in the Design Guidelines which were part of the approved Site Development Plan for Subdivision. The building also follows the Huning Castle and Raynolds Addition Neighborhood Sector Development Plans. Building Three (3) is in the same location and general configuration as shown on the approved Site Development Plan and the exterior elevations remain as originally approved for height, style, exterior materiality and color, sign area, etc. The building maintains the same use: commercial office on the first floor, residential storage in the basement, and 58 residential units (12 units on the first floor, 24 units on the second floor, and 22 units on the third floor). The approved grading and drainage plan remains as designed and approved, with only minor updates for constructability and coordination with existing site utilities. The landscape plan remains unchanged. Vehicular and pedestrian traffic circulation has not been altered; only minor changes to the parking layout were made to coordinate with unforeseen site conditions. However, the project building (and site development as a whole) still comply with all parking requirements as originally approved.

I further certify that I have personally visited the project site on June 26, 2019 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief.



Given the on-going tenant improvement construction of one other project on-site (COA Permit No. BP-2019-18910), some items will need to remain on-site, including the construction waste dumpster and portable bathroom unit(s). These remaining items will be relocated as required to provide public access to all portions of the site, including all drive aisles, parking areas, and accessible pedestrian routes. All other construction items have been removed from the site as required.

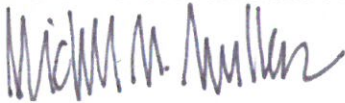
This certification is submitted in support of a request for Engineer's Certification (DRB Site Plan) for Permanent Certificate of Occupancy.

The record information presented herein is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Please feel free to contact me if you have any questions.

Sincerely,

Mullen Heller Architecture PC



Michele Mullen, AIA



6-26-2019

Attachments:

- Approved EPC/DRB Site Development Plan for Building Permit
- Approved Administrative Amendment:
(Approved with all site updates made for construction coordination)
- Photographs of completed Site

Site Photographs:



The new parking, pedestrian walkways/stoops, and landscaping are installed on the north façade of the building.



The new first flush retention pond is in-place with CMU retaining walls, landscaping and guard rail fencing.



The new first flush retention pond is in-place with landscaping and stair access. Handrails at the stairs will be installed today.

Site Photographs:



The new parking, pedestrian walkways/stoops, and landscaping are installed on the south façade of the building.



The parking areas, landscaping, vehicle gates, etc. are complete at the drive-under porte cochere of the building.