

CITY OF ALBUQUERQUE



October 9, 2012

Genevieve Donart L., P.E. gennyd@iacivil.com
Isaacson & Arfman, P.A.
128 Monroe Street N.E.
Albuquerque, NM 87108

**Re: Country Club Place - Lot 2 - Phase I, 1900 Central Ave SW,
Request for Permanent C.O. –Accepted
Engineer's Stamp dated: 04-05-11, (J13/D011)
Certification dated: 10-03-12**

Dear Ms. Donart,

Based upon the information provided in the Certification received 10-03-12, the above referenced Certification is acceptable for a release of a Permanent Certificate of Occupancy by Hydrology.

Hydrology is asking for an electronic copy, in .pdf format, of this certification for our records. This certification can be e-mailed to me at: tsims@cabq.gov.

If you have any questions, you can contact me at 924-3982.

Sincerely,

Timothy E. Sims,
Plan Checker—Hydrology Section
Development and Building Services

C: CO Clerk—Katrina Sigala
File

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(Rev. 12/05)

*NEED
Easement*

PROJECT TITLE: Country Club Place ZONE MAP/DRG.FILE# J-13/D011
DRB#: _____ EPC#: _____ WORK ORDER#: 752083

LEGAL DESCRIPTION: Lot 2, Country Club Place
CITY ADDRESS: _____

ENGINEERING FIRM: ISAACSON AND ARFMAN
ADDRESS: 128 MONROE N.E.
CITY, STATE: ALBUQUERQUE, NM

CONTACT: Genny Donart
PHONE: 268-8828
ZIP CODE: 87108

OWNER: Infill Solutions II, LLC
ADDRESS: _____
CITY, STATE: _____

CONTACT: Jay Rembe
PHONE: 453-7164
ZIP CODE: _____

ARCHITECT: Mullen-Heller
ADDRESS: _____
CITY, STATE: _____

CONTACT: Doug Heller
PHONE: 268-4144
ZIP CODE: _____

SURVEYOR: TM Surveying
ADDRESS: _____
CITY, STATE: _____

CONTACT: Tim Martinez
PHONE: _____
ZIP CODE: _____

CONTRACTOR: Insight Construction
ADDRESS: _____
CITY, STATE: _____

CONTACT: Damien Chimenti
PHONE: _____
ZIP CODE: _____

TYPE OF SUBMITTAL:

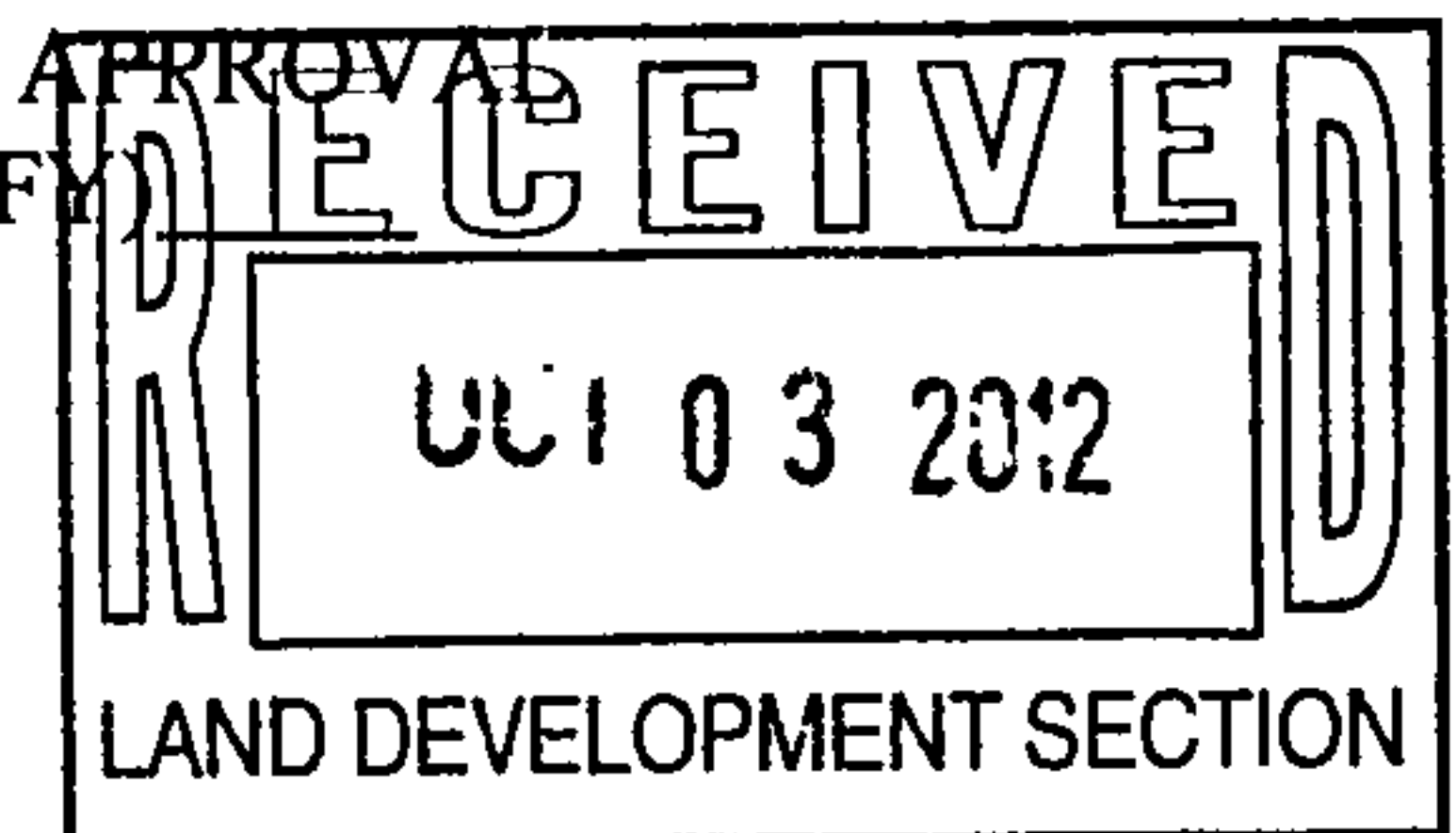
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT
- ☐ ENGINEER/ARCHITECT CERT (TCL)
- ☐ ENGINEER/ARCHITECT CERT (DRB S.P.)
- ☐ ENGINEER/ARCHITECT CERT (AA)
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ RELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ UNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CRTIFICATE OF OCCUPANCY (PERM)
- ☐ CRTIFICATE OF OCCUPANCY (TEMP)
- ☐ GADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED



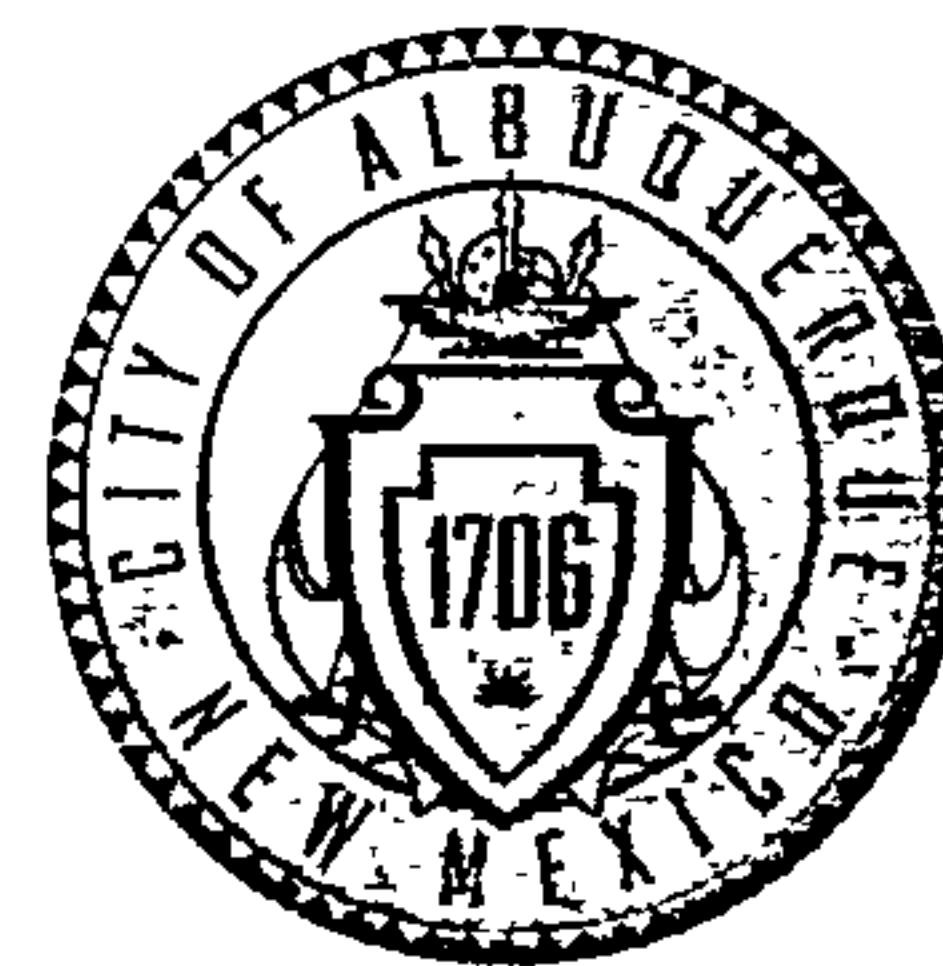
SUBMITTED BY: Genny Donart
Isaacson & Arfman, P.A.

DATE: 10-03-12

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



April 25, 2011

Genevieve L. Donhart, P.E.
Isaacson & Arfman, P.A.
128 Monroe St. NE
Albuquerque, NM 87108

**Re: Country Club Place Development
Grading and Drainage Plan
Engineer's Stamp dated 3-15-2011 (J13/D011)**

Dear Mr. Donhart,

Based upon the information provided in your submittal received 3/22/2011, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

PO Box 1293

When submitting for Certificate of Occupancy please address the following comment.

Albuquerque

- The "New Building" needs to be changed to read "Future Building".

NM 87103

Hydrology is requesting that proposed landscape areas be depressed to retain/infiltrate the rain that falls on them.

If you have any questions, you can contact me at 924-3695.

www.cabq.gov

Sincerely,

Curtis A. Cherne, P.E.
Principal Engineer, Planning Dept.
Development and Building Services

C: File

9-21-11

Rudy,

Talked to Genny.

The s/w cabinet is going to be constructed
by work order (she still needs to add it)

also Approve Building Permit

2. add a ^{bullet} ~~bullet~~ that in her Certificate
she should change now to Future
in the south Bldg.

Thanks

Antia

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD MEMO

DRB PROJECT NO: 1000572

AGENDA ITEM NO: 5

SUBJECT:

Ext of SIA Temp Defr Sdwk

ENGINEERING COMMENTS:

Hydrology has no objection.

RESOLUTION:

APPROVED ____; DENIED ____; COMMENTS PROVIDED ____; WITHDRAWN ____
DEFERRED TO: _____

SIGNED: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED TO: (UD) (CE) (TRANS) (PKS) (PLNG)

COMMENTS:

SIGNED:

Curtis Cherne
Hydrology Section
City Engineer Designee
AMAFCA Designee
924-3695

DATE: 3-30-11

CITY OF ALBUQUERQUE



March 23, 2011

Genevieve L. Donhart, P.E.
Isaacson & Arfman, P.A.
128 Monroe St. NE
Albuquerque, NM 87108

**Re: Country Club Place Development
Grading and Drainage Plan**

Engineer's Stamp dated 3-15-2011 (J13/D011)

Dear Mr. Donhart,

Based upon the information provided in your submittal received 3/22/2011, the above referenced plan is approved for Grading Permit, Paving Permit and Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Hydrology is requesting that proposed landscape areas be depressed to retain/infiltrate the rain that falls on them.

If you have any questions, you can contact me at 924-3695.

Sincerely,

Curtis A. Cherne, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: File



- A. DRAIN, D.I. OR SCH. 40 P.V.C. PIPE, 4" NOM. SIZE (MAX.) TO PROPERTY.
- B. 2-NO. 3 BARS, 2'-4" LONG, PLACED AS SHOWN.
- C. COLD JOINT.
- D. DISTANCE FROM C OF DRAIN TO NEAREST JOINT, VARIABLE WITH 16" MIN.
- E. SLOPE $\frac{1}{2}$ PER FT. WITHIN R.O.W.
- F. DRAIN PIPE NOT TO PROTRUDE BEYOND CURB FACE.
- G. JOINT NEAREST TO DRAIN TO BE AN EXPANSION JOINT.

$$\frac{\frac{1}{L_1}}{10^4} = 2.06\%$$



REVISIONS	CITY OF ALBUQUERQUE
	DRAINAGE
	DRAIN LINE THROUGH CURB
	DWG. 2235
	AUG. 1986

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(Rev. 12/05)

PROJECT TITLE: Country Club Place ZONE MAP/DRG.FILE# J-13/DN
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: MRGCD Map 38, Tr 133-A-1, 133-A-2, 133-B, 134, & 135-A, and Tr B-2-A, Lands of ABQ Little Theater
CITY ADDRESS: _____

ENGINEERING FIRM: ISAACSON AND ARFMAN
ADDRESS: 128 MONROE N.E.
CITY, STATE: ALBUQUERQUE, NM

CONTACT: Genny Donart
PHONE: 268-8828
ZIP CODE: 87108

OWNER: Infill Solutions II, LLC
ADDRESS: _____
CITY, STATE: _____

CONTACT: Jay Rembe
PHONE: 453-7164
ZIP CODE: _____

ARCHITECT: Mullen-Heller
ADDRESS: _____
CITY, STATE: _____

CONTACT: Doug Heller
PHONE: 268-4144
ZIP CODE: _____

SURVEYOR: Precision Survey
ADDRESS: _____
CITY, STATE: _____

CONTACT: Larry Medrano
PHONE: 856-5700
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☒ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☒ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT
- ☐ ENGINEER/ARCHITECT CERT (TCL)
- ☐ ENGINEER/ARCHITECT CERT (DRB S.P.)
- ☐ ENGINEER/ARCHITECT CERT (AA)
- ☐ OTHER (SPECIFY) _____

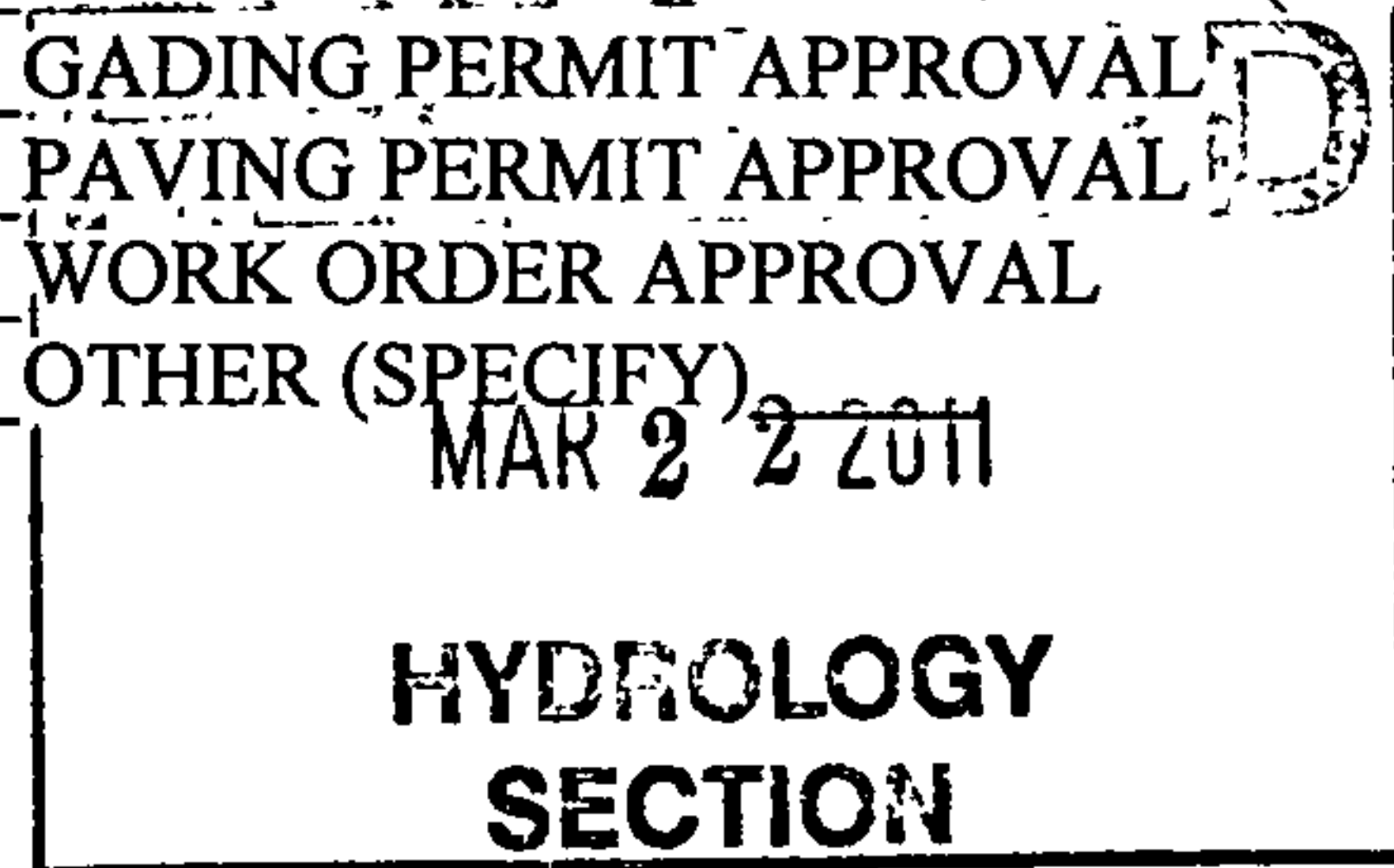
CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ RELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ UNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CRTIFICATE OF OCCUPANCY (PERM)
- ☐ CRTIFICATE OF OCCUPANCY (TEMP)
- ☒ GADING PERMIT APPROVAL
- ☒ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

\$50.00



SUBMITTED BY: Genny Donart
Isaacson & Arfman, P.A.

DATE: 03-21-11

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



November 28, 2011

Michele Mullen, R.A.
Mullen Heller Architecture P.C.
924 Park Avenue SW. Suite B
Albuquerque, NM 87102

**Re: Country Club Place Development Phase 1,
1816 Central Ave SW (Building 1) and 1828 Central Ave SW (Building 2)
Permanent Certificate of Occupancy – Transportation Development
DRB Project Number 1004677 (J13-D011)
Certification dated 11-28-11**

Dear Ms. Mullen,

Based upon the information provided in your submittal received 11-28-11, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, you can contact me at 924-3991.

Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

C: CO Clerk
File

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: Phase 1 of Country Club Place Development ZONE MAP/DRG. FILE #: J-13-11011
DRB #: 1004677/10drb70310 EPC#: 10EPC-40053 WORK ORDER#: 752083

LEGAL DESCRIPTION: Lots 1 and 2, Country Club Place
CITY ADDRESS: 1816 Central Avenue SW, Albuquerque, NM 87102

ENGINEERING FIRM: Isaacson & Arfman, PA
ADDRESS: 128 Monroe Street NE
CITY, STATE: Albuquerque, NM

CONTACT: Genny Donart
PHONE: 505-268-8828
ZIP CODE: 87108

OWNER: Mark Pardo Aveda Institute
ADDRESS: 2614 Pennsylvania St NE
CITY, STATE: Albuquerque, NM

CONTACT: Mark Gonzales
PHONE: 505-298-3357
ZIP CODE: 87110

ARCHITECT: Mullen Heller Architecture P.C
ADDRESS: 924 Park Avenue SW, Suite B
CITY, STATE: Albuquerque, NM

CONTACT: Michele Mullen
PHONE: 505-268-4144
ZIP CODE: 87102

SURVEYOR: Precision Surveys, Inc.
ADDRESS: 8500-A Jefferson Street NE
CITY, STATE: Albuquerque, NM

CONTACT: Larry Medrano
PHONE: 505-856-5700
ZIP CODE: 87113

CONTRACTOR: Insight Construction
ADDRESS: P.O. Box 6653
CITY, STATE: Albuquerque, NM

CONTACT: Damian Chimenti
PHONE: 505-888-7927
ZIP CODE: 87197

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☒ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

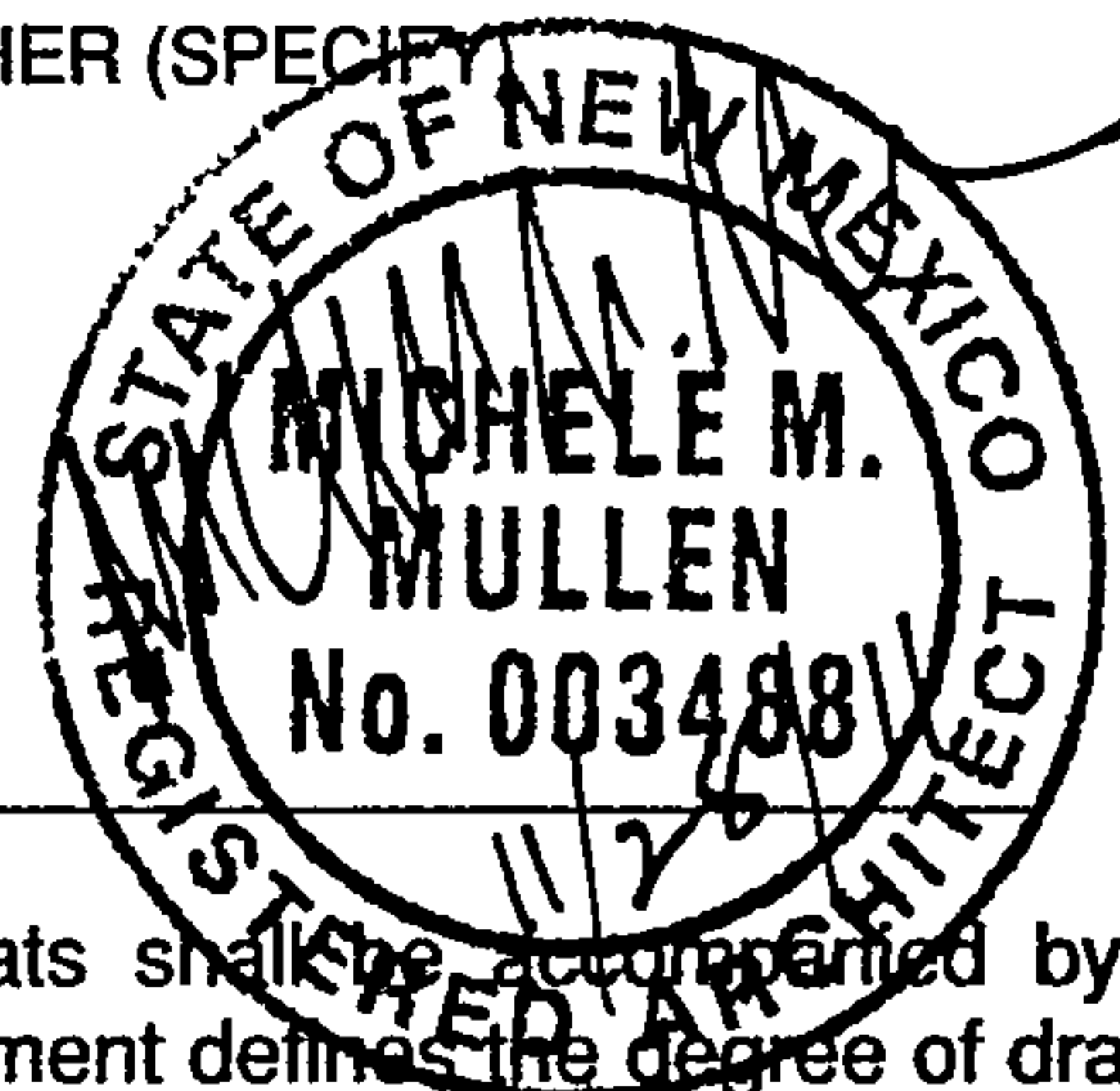
- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

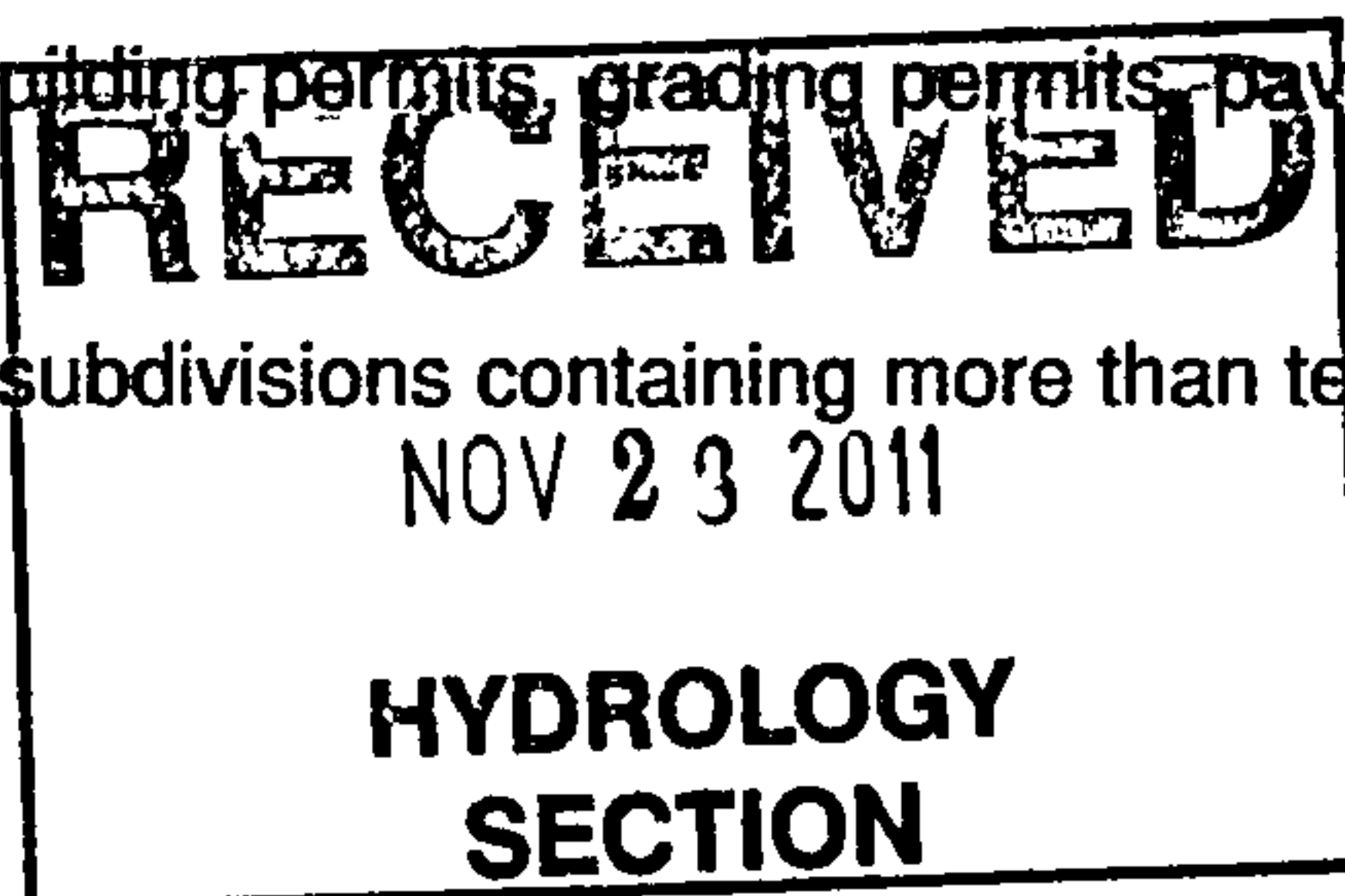
DATE SUBMITTED: November 28, 2011

BY: Michele Mullen



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



November 28, 2011

Ms. Kristal Metro, PE.
Traffic Engineer – Transportation Development
Development and Building Services
Planning Department
City of Albuquerque
600 2nd Street NW.
Albuquerque, NM 87102

Re: **Permanent Certificate of Occupancy for Phase 1 of
Country Club Place Development
Mark Pardo Aveda Institute – Lot 1, Building 1
Address: 1816 Central Avenue SW, Albuquerque, NM 87102 and
Existing Building - Lot 2, Building 2
Address: 1828 Central Avenue SW, Albuquerque, NM 87102**

Dear Kristal:

I, Michele Mullen, NMRA of Mullen Heller Architecture P.C., hereby certify that this project is in substantial compliance with and in accordance with the design intent of the DRB site plan (DRB Project #:1004677) approved October 14, 2010. I further certify that I have personally visited the project site on November 21, 2011 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Engineer's Certification (DRB Approved Site Plan) for Permanent Certificate of Occupancy.

The record information presented herein is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

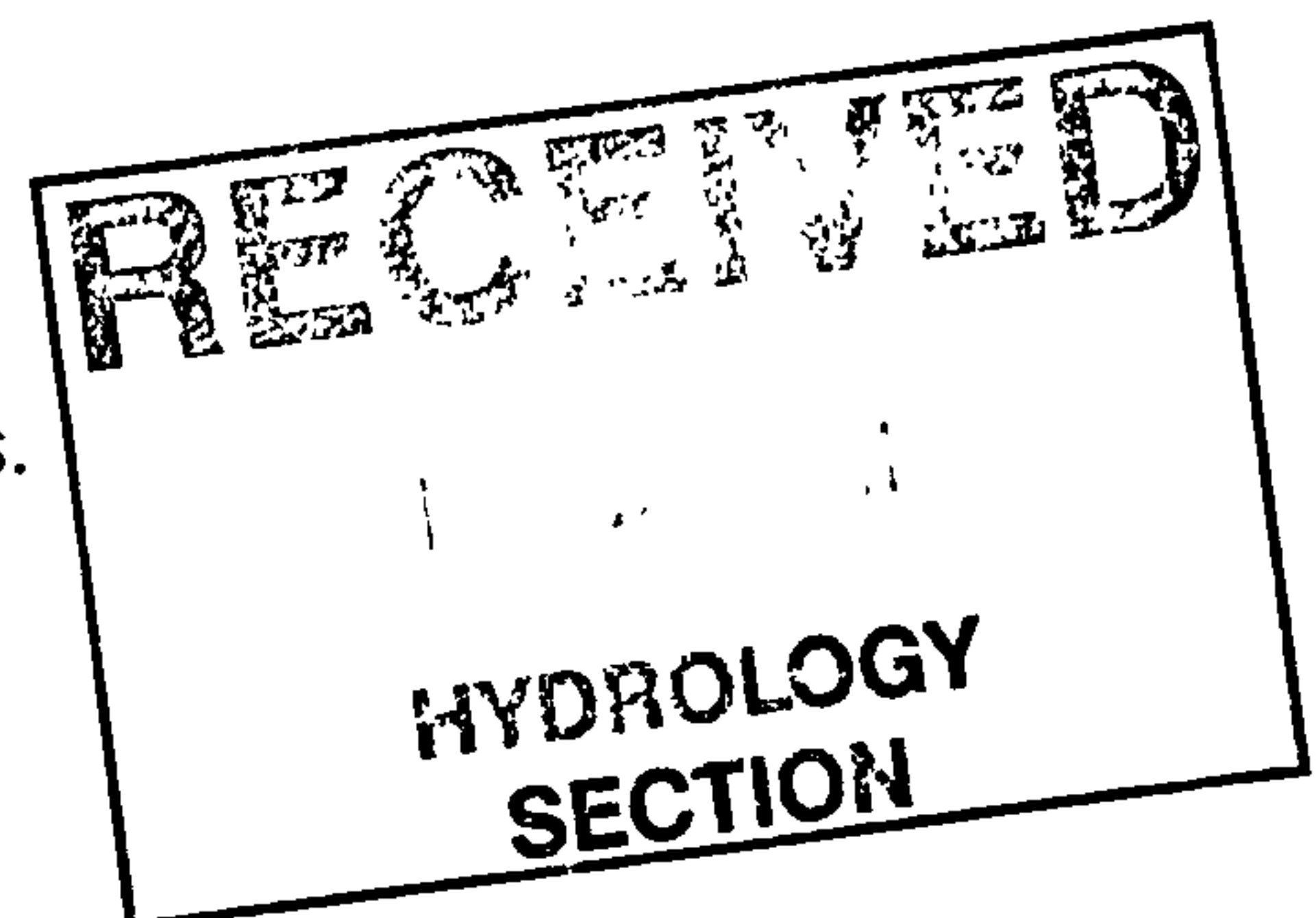
Please feel free to contact me if you have any questions.

Sincerely,

Mullen Heller Architecture P.C.

Michele Mullen, AIA

Attachment: DRB Approved Site Plan with As-built revisions.



Damian Chimenti

From: Jay Rembe [rembe@rembedesign.com]
Sent: Tuesday, October 02, 2012 10:55 AM
To: 'Damian Chimenti'; 'Genny Donart'
Subject: FW: Approval to defer concrete channel drainage improvement with Phase II/Building 3 on Lot 3 of Country Club Place Subdivision

See below. I will forward the email I sent to her with the attachements.

Jay Rembe
CEO
Rembe Urban Design + Development
117-B Richmond Dr SE
Albuquerque NM 87106
t: 505.453.7164
f: 505.717.2092
e: rembe@rembedesign.com
www.lospoblanos.com
www.infillsantafe.com
www.bricklight.com

From: Jane [mailto:jjedixon@earthlink.net]
Sent: Tuesday, October 02, 2012 10:18 AM
To: Jay Rembe
Cc: 'Henry Avery'
Subject: Approval to defer concrete channel drainage improvement with Phase II/Building 3 on Lot 3 of Country Club Place Subdivision

Good morning Jay,

This is the e-mail confirming approval from me on behalf of Albuquerque Little Theatre to defer the consturction of a
concrete drainage channel,

Sincerely,

Jane Dixon,
President,
Board of Directors,
Albuquerque Little Theatre
688-8004

-----Original Message-----

From: Jay Rembe
Sent: Oct 1, 2012 2:12 PM
To: jjedixon@earthlink.net
Cc: 'Henry Avery'
Subject: Request to defer concrete channel drainage improvement with Phase II/Building 3 on Lot 3 of Country Club Place Subdivision

October 1, 2012

Jane Dixon

Board Chair of Albuquerque Little Theater

Jane, as my prior email indicated the City of Albuquerque is requiring that the Albuquerque Little Theatre approve my request to defer constructing a concrete drainage channel from Tracts 1 & 2 (Phase I) through and on lot 3 (Phase II). This improvement will get built with Phase II. See note # 2 on attached "Eastern Building Drainage Certification".

Please acknowledge your acceptance to allow Sandia Theater, LLC to defer building this concrete channel until we develop Phase II/Lot 3.

I have attached a copy of the grading and drainage plan for your review.

Should you have any questions or require clarifications, please call me or we can meet on site to review in greater detail.

Sincerely;

Jay Rembe

CEO

Rembe Urban Design + Development

117-B Richmond Dr SE

Albuquerque NM 87106

t: 505.453.7164

f: 505.717.2092

e: rembe@rembedesign.com

www.lospoblanos.com

www.infillsantafe.com

www.bricklight.com

Damian Chimenti

From: Jay Rembe [rembe@rembedesign.com]
Sent: Tuesday, October 02, 2012 10:59 AM
To: 'Damian Chimenti'; 'Genny Donart'
Subject: FW: Request to defer concrete channel drainage improvement with Phase II/Building 3 on Lot 3 of Country Club Place Subdivision
Attachments: aveda drainage certification.pdf

FYI!

Jay Rembe
CEO
Rembe Urban Design + Development
117-B Richmond Dr SE
Albuquerque NM 87106
t: 505.453.7164
f: 505.717.2092
e: rembe@rembedesign.com
www.lospoblanos.com
www.infillsantafe.com
www.bricklight.com

From: Jay Rembe [<mailto:rembe@rembedesign.com>]
Sent: Monday, October 01, 2012 2:12 PM
To: 'jjedixon@earthlink.net'
Cc: 'Henry Avery'
Subject: Request to defer concrete channel drainage improvement with Phase II/Building 3 on Lot 3 of Country Club Place Subdivision

October 1, 2012

Jane Dixon
Board Chair of Albuquerque Little Theater

Jane, as my prior email indicated the City of Albuquerque is requiring that the Albuquerque Little Theatre approve my request to defer constructing a concrete drainage channel from Tracts 1 & 2 (Phase I) through and on lot 3 (Phase II). This improvement will get built with Phase II. See note # 2 on attached "Eastern Building Drainage Certification".

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I have attached a copy of the grading and drainage plan for your review.

Should you have any questions or require clarifications, please call me or we can meet on site to review in greater detail.

Sincerely;

Jay Rembe
CEO
Rembe Urban Design + Development
117-B Richmond Dr SE
Albuquerque NM 87106
t: 505.453.7164
f: 505.717.2092
e: rembe@rembedesign.com

U. S. Supreme Court, 1997, opinion by Justice O'Connor, 520 U.S. 481, 115 L. Ed. 2d 1003, 117 S.Ct. 1181, 1997 WL 35362 (1997). The Court held that the First Amendment does not require a public employer to fund a religious organization's activities. The Court also held that the First Amendment does not require a public employer to fund a religious organization's activities.

- ① The company's sales are growing at 10% per year. The company is a pure play in its market, and its market is growing at 10% per year. The company is a pure play in its market, and its market is growing at 10% per year.
- ② The company's sales are growing at 10% per year. The company is a pure play in its market, and its market is growing at 10% per year. The company is a pure play in its market, and its market is growing at 10% per year.
- ③ The company's sales are growing at 10% per year. The company is a pure play in its market, and its market is growing at 10% per year. The company is a pure play in its market, and its market is growing at 10% per year.

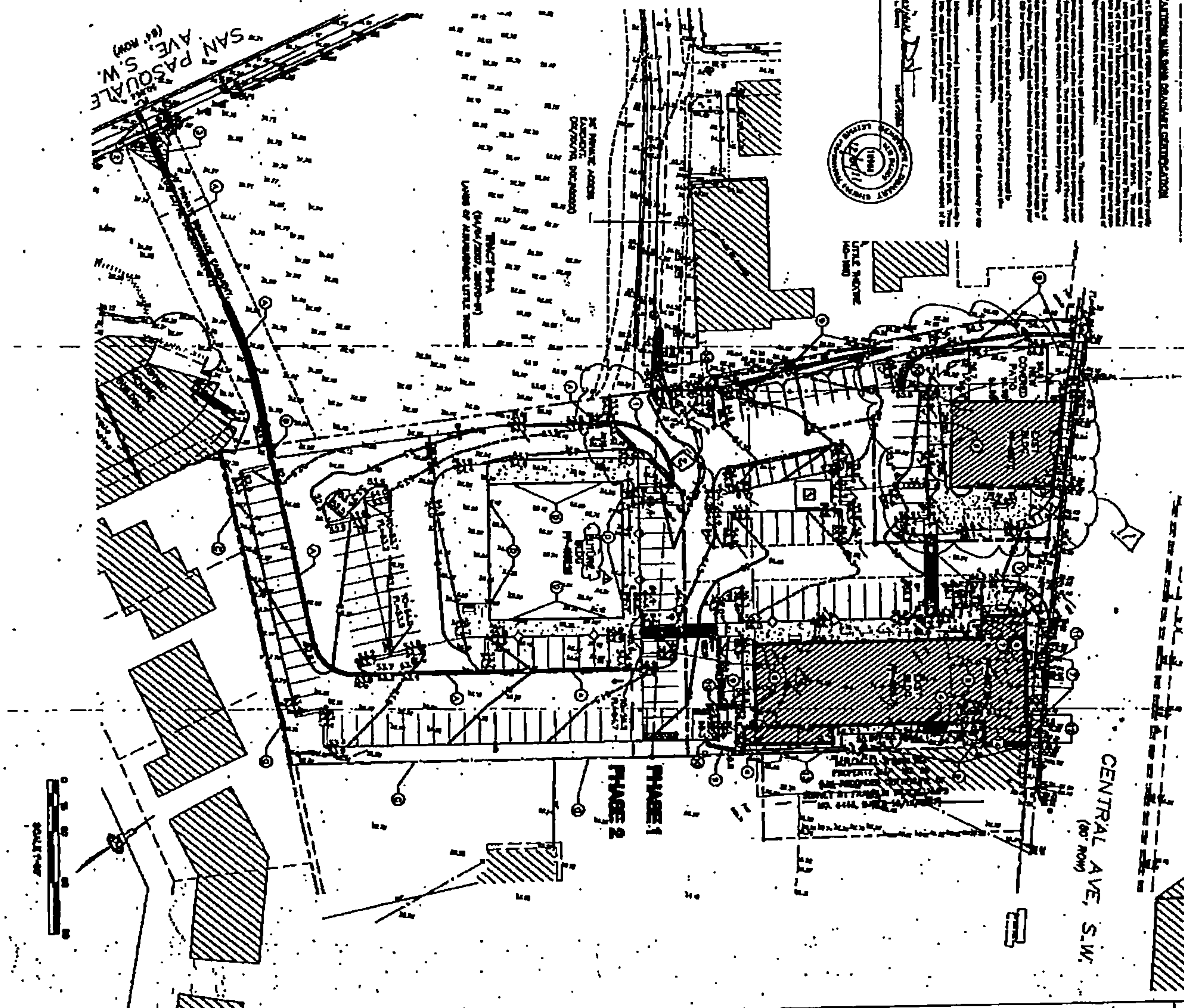


PLATE 1

- [illegible]

Abstract

- 1. All United States, foreign, territorial shall be placed into the United States of America.
- 2. All United States, foreign, territorial shall be placed into the United States of America.
- 3. All United States, foreign, territorial shall be placed into the United States of America.
- 4. All United States, foreign, territorial shall be placed into the United States of America.
- 5. All United States, foreign, territorial shall be placed into the United States of America.
- 6. All United States, foreign, territorial shall be placed into the United States of America.
- 7. All United States, foreign, territorial shall be placed into the United States of America.
- 8. All United States, foreign, territorial shall be placed into the United States of America.
- 9. All United States, foreign, territorial shall be placed into the United States of America.
- 10. All United States, foreign, territorial shall be placed into the United States of America.

WALL TO WALL JOURNAL, 1964-1965

STZ AREA. 2338 AC
TRACT B-2-A LINDS & ALMONDROUS UTILITY
TRAILING

FLOOD ZONE: THE SUBJECT PROPERTY (AS SHOWN HEREON) LIES WITHIN ZONE "X" (AREAS OF SUB-STEEL FLOOD RISKS OF NON-STEEL FLOODS WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH SURFACING AREAS LESS THAN 1 SQUARE FOOT) AND AREAS PROTECTED BY LEAKERS FROM SEA-WATER IN FLOOD STAGE APPROXIMATE

RESEARCH

SEARCHING.
LARRY E. KESZLER, NAPS #1983
PACIFIC ELECTRIC, INC.
841-0 AIRPORT ST. NE. ARL. WA 98115
Phone: (206) 838-5708

REMARKS: ALLEGATION CONTROL SURVEY HOLLAND
T-707 NAMED A PUNISHED ELEMENT OF
HOLLAND (GOOD) [unclear]
A

NOTES

- [illegible]



Country Club Place Development
 Lots 1 thru 3, Country Club Place
 Abingertown, Md

GRADING AND DRAINAGE PLAN

CG-101



Mullen Heller
Architectural P.C.
924 Park Avenue SW
Suite B
Albuquerque, NM 87102
505 246 4144/404
505 246 4246/FX

५११

11. **জ**

५३

Best Test

NT CM

4446

EASTERN BUILDING DRAINAGE CERTIFICATION

I, Genevieve L. Donart, NIMPE #15088, of the firm Isaacson & Arnesen, P.A., hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 3/15/11. The record information edited onto the original design document has been obtained by Tim Martinez, NIMPE #13982, of the firm TM Surveying, Inc. I further certify that I have personally visited the project site on 12/01/11 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief with the following exceptions:

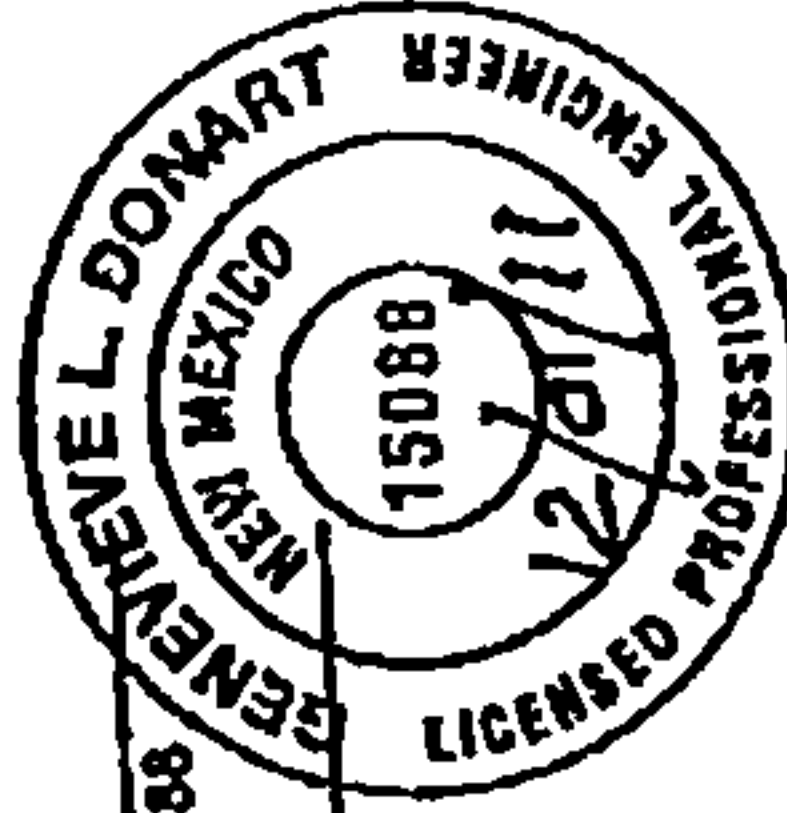
1. The westerly existing building is still under reconstruction. The adjoining private sidewalks, roof drains, and patio are not completed, and must be completed prior to final certificate of occupancy. They are not vital to the function of the easterly "Aveda" building, so shouldn't impede the CO for the easterly building.
2. The concrete alley gutter on the SW corner was changed to a Phase 2 item, at which time new asphalt grades to the south will allow for improved drainage of the valley gutter. The asphalt will be reworked to direct the drainage south prior to CO for the easterly building.
3. The roof drains on the south side of the Aveda building were changed to discharge across the sidewalk, rather than through 4" PVC pipes under the sidewalk. This change is acceptable.

This certification is submitted in support of a request for Certificate of Occupancy for the easterly building.

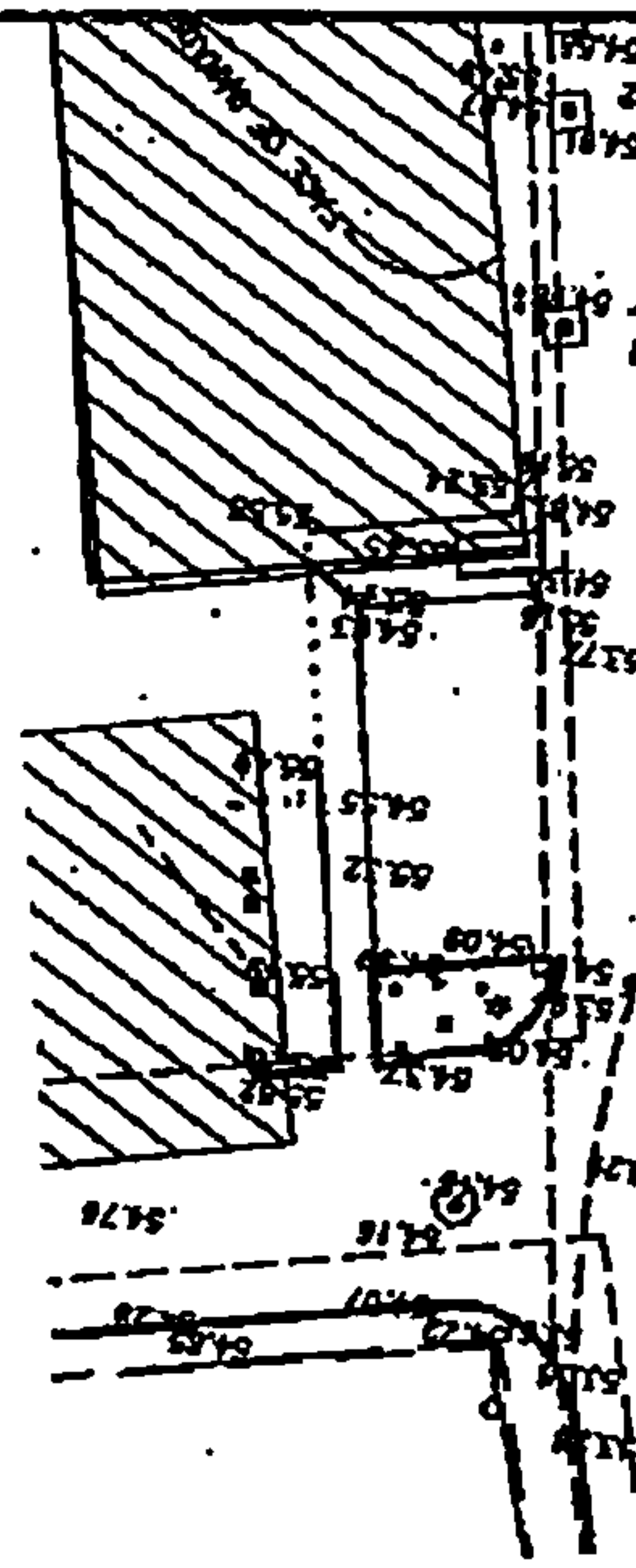
The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Genevieve L. Donart
Genevieve L. Donart

NIMPE #15088



Date



TEMPORARY CONSTRUCTION EASEMENT AND
PERMANENT DRAINAGE EASEMENT AGREEMENT
For Drainage and Water Quality
Prices Dairy

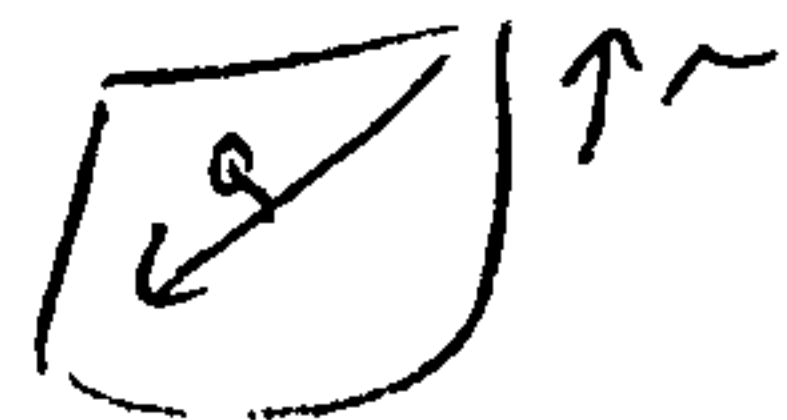
EXHIBIT 'B'

INGRESS AND EGRESS EASEMENT DESCRIPTION;

From Second Street, East along Price's Way, a private road, at the north boundary of Tract 4 as shown on PLAT OF TRACTS 1 THROUGH 5, LANDS OF VG FARMS, BERNALILLO COUNTY, NEW MEXICO, A SUBDIVISION OF TRACTS 1-B-1 & 1-B-2 M.R.G.C.D. MAP 55 & TRACTS 5-A-1 & 5-A-2 OF LANDS OF PRICE'S VALLEY GOLD DAIRIES, INC. WITHIN SECTION 30, T. 9 N., R 3 E., N.M.P.M BERNALILLO SOUNTY, NEW MEXICO as shown on the plat filed in the office of the County Clerk of Bernalillo County, New Mexico on March 26, 2012, in Book 2012C, Page 0028.

101-12

Developer to e-mail from Little Theater
to accept offsite drainage across their
parking lot_s outside of the current easement



Antoche

Attendees.

Jay, Rinke

Dominion

Gerry Dugan

Curtis Chene

Tom Sims

CITY OF ALBUQUERQUE



June 27, 2012

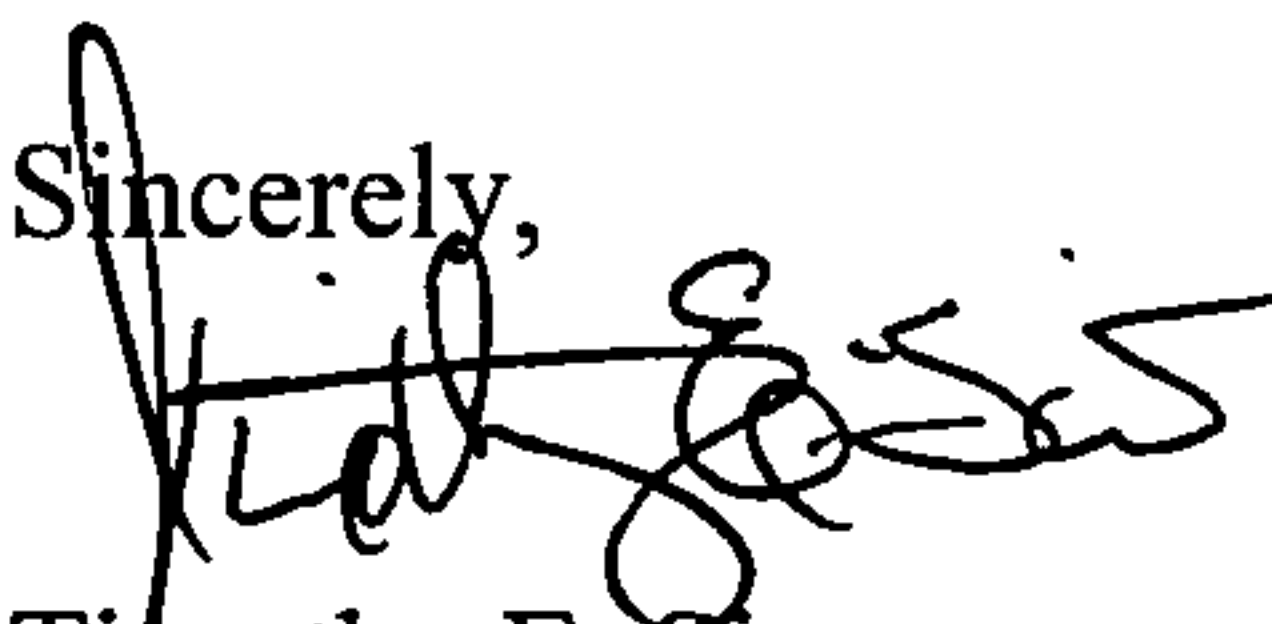
Genevieve Donart L., P.E. gennyd@iacivil.com
Isaacson & Arfman, P.A.
128 Monroe Street N.E.
Albuquerque, NM 87108

RE: Coountry Club Place Development, W.O. # 752083, (J-13/D011)
Engineers Certification for Release of Financial Guaranty
Engineers Stamp dated 04/05/11
Engineers Certification dated 12-01-11

Dear Ms. Donart,

Based upon your Engineer's Certification submitted on 6/27/2012, the above referenced plan is adequate and satisfies the Grading and Drainage Certification for Release of Financial Guaranty.

If you have any questions, you can contact me at 924-3982.

Sincerely,


Timothy E. Sims,
Plan Checker—Hydrology,
Development and Building Services

C: Marilyn Maldonado, COA# 752083
File

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

CITY OF ALBUQUERQUE



December 2, 2011

Genevieve L. Donart, P.E.
Isaacson and Arfman, P.A.
128 Monroe NE
Albuquerque, NM 87108

**Re: Country Club Place, 1816 Central Ave SW, (J13/D011),
Permanent Certificate of Occupancy - Approved
Approved Engineer's Stamp date: 4/5/11,
Certification dated: 12-1-11**

Dear Ms. Donart,

Based upon the information provided in the submittal received 12-1-11, the above referenced Certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

PO Box 1293

When submitting for Permanent CO for the West Building, Market Fresh, the following items are to be addressed:

Albuquerque

- The drainage addressed in Certification Note 2 is to drain south or an easement and capacity analysis to drain west/not per plan is required.
- Keyed Note 13 is to be changed to what is built or the trench drain is to be built.
- The sidewalk culvert on San Pasquale is to be constructed.

NM 87103

If you have any questions, you can contact me at 924-3982.

www.cabq.gov

Sincerely,

Curtis Cherne, P.E.
Principal Engineer, Hydrology
Development and Building Services

Copy: file
CO Clerk—Katrina Sigala

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(Rev. 12/05)

PROJECT TITLE: Country Club Place 1816 CENTRAL ZONE MAP/DRG.FILE# J-13/D011
DRB#: _____ EPC#: _____ WORK ORDER#: 752083

LEGAL DESCRIPTION: MRGCD Map 38, Tr 133-A-1, 133-A-2, 133-B, 134, & 135-A, and Tr B-2-A, Lands of ABQ Little Theater
CITY ADDRESS: 1816 Central Ave SW

ENGINEERING FIRM: ISAACSON AND ARFMAN
ADDRESS: 128 MONROE N.E.
CITY, STATE: ALBUQUERQUE, NM

CONTACT: Genny Donart
PHONE: 268-8828
ZIP CODE: 87108

OWNER: Infill Solutions II, LLC
ADDRESS: _____
CITY, STATE: _____

CONTACT: Jay Rembe
PHONE: 453-7164
ZIP CODE: _____

ARCHITECT: Mullen-Heller
ADDRESS: _____
CITY, STATE: _____

CONTACT: Doug Heller
PHONE: 268-4144
ZIP CODE: _____

SURVEYOR: TM Surveying
ADDRESS: _____
CITY, STATE: _____

CONTACT: Tim Martinez
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☒ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER/ARCHITECT CERT (TCL)
☐ ENGINEER/ARCHITECT CERT (DRB S.P.)
☐ ENGINEER/ARCHITECT CERT (AA)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ RELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ UNDAATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ CRTIFICATE OF OCCUPANCY (PERM)
☒ CRTIFICATE OF OCCUPANCY (TEMP)
☐ GADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☒ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☐ NO
☐ COPY PROVIDED

SUBMITTED BY: Genny Donart
Isaacson & Arfman, P.A.

DATE: 12-01-11

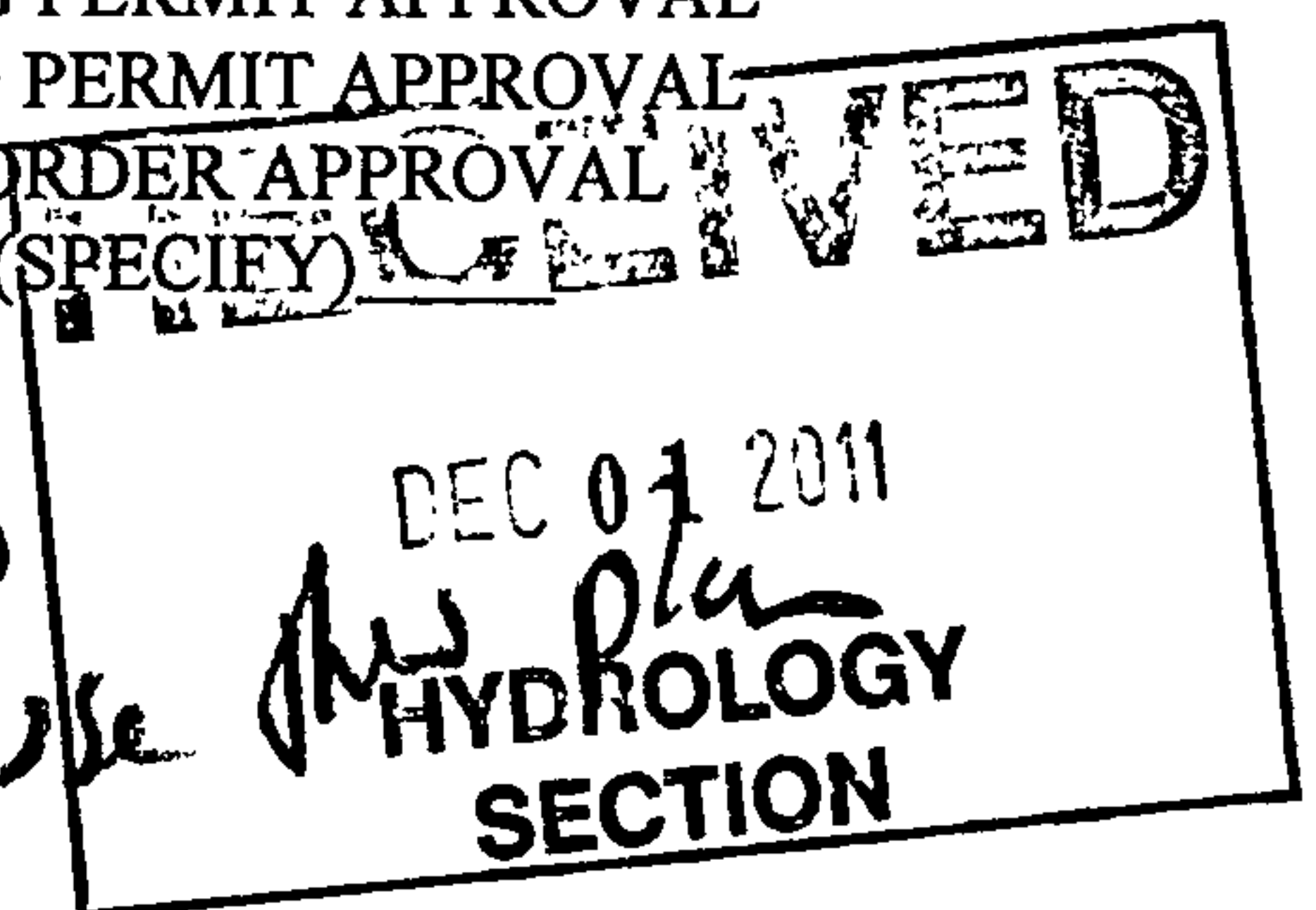
Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

1056

6-11-20

OK use



Called Genny, told her no stamp on 11-31-11

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(Rev. 12/05)

PROJECT TITLE: Country Club Place ZONE MAP/DRG.FILE# J-13/D011
DRB#: _____ EPC#: _____ WORK ORDER#: 752083

LEGAL DESCRIPTION: MRGCD Map 38, Tr 133-A-1, 133-A-2, 133-B, 134, & 135-A, and Tr B-2-A, Lands of ABO Little Theater
CITY ADDRESS: _____

ENGINEERING FIRM: ISAACSON AND ARFMAN
ADDRESS: 128 MONROE N.E.
CITY, STATE: ALBUQUERQUE, NM

CONTACT: Genny Donart
PHONE: 268-8828
ZIP CODE: 87108

OWNER: Infill Solutions II, LLC
ADDRESS: _____
CITY, STATE: _____

CONTACT: Jay Rembe
PHONE: 453-7164
ZIP CODE: _____

ARCHITECT: Mullen-Heller
ADDRESS: _____
CITY, STATE: _____

CONTACT: Doug Heller
PHONE: 268-4144
ZIP CODE: _____

SURVEYOR: TM Surveying
ADDRESS: _____
CITY, STATE: _____

CONTACT: Tim Martinez
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☒ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER/ARCHITECT CERT (TCL)
☐ ENGINEER/ARCHITECT CERT (DRB S.P.)
☐ ENGINEER/ARCHITECT CERT (AA)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ RELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ UNDAATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ CRTIFICATE OF OCCUPANCY (PERM)
☒ CRTIFICATE OF OCCUPANCY (TEMP)
☐ GADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

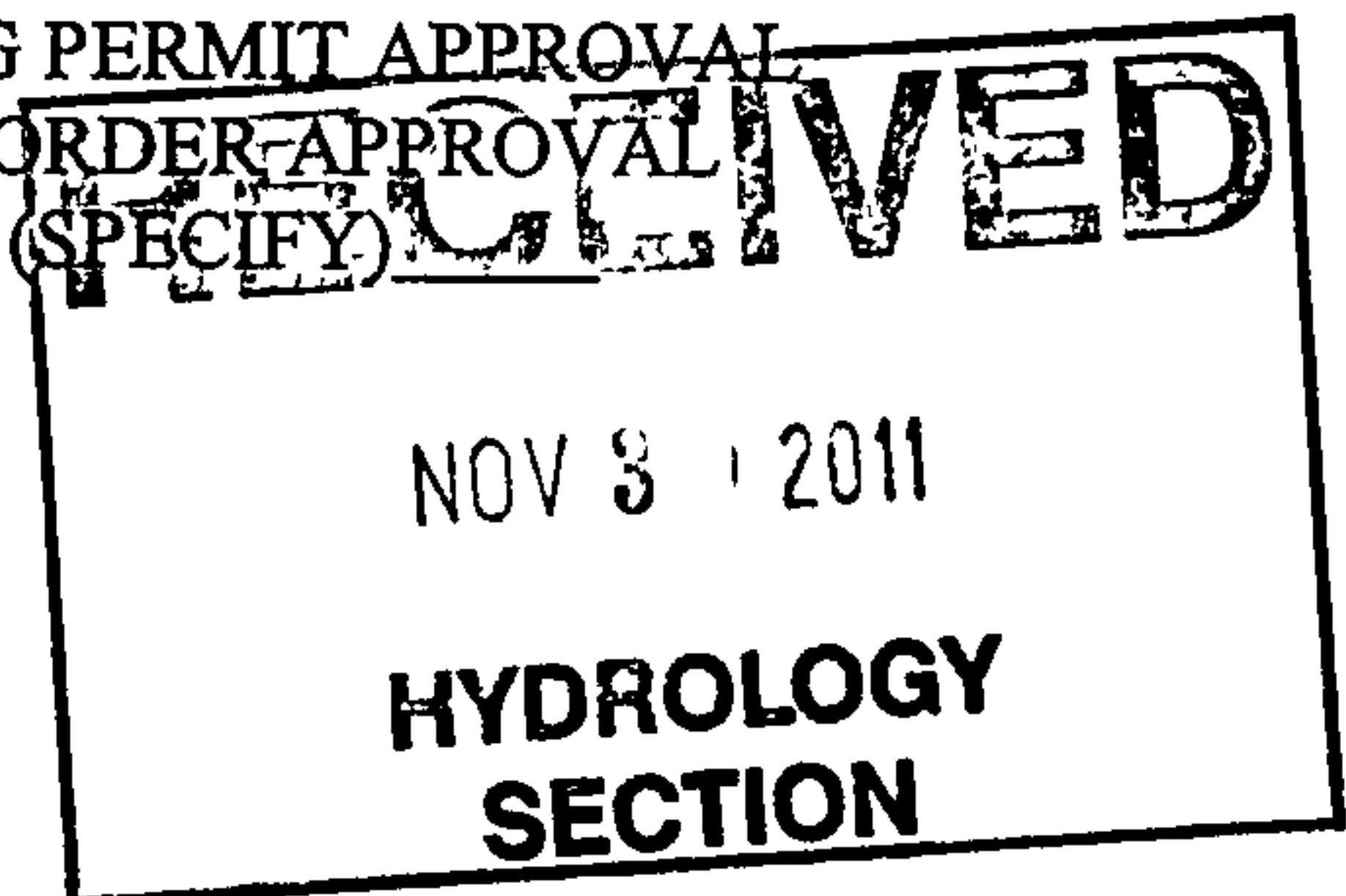
- ☐ YES
☐ NO
☐ COPY PROVIDED

SUBMITTED BY: Genny Donart
Isaacson & Arfman, P.A.

DATE: 11-29-11

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



CITY OF ALBUQUERQUE



December 4, 2007

Fred Arfman, PE
Isaacson & Arfman
128 Monroe NE
Albuquerque, NM 87108

**Re: Country Club Development Conceptual Grading and Drainage Plan
Engineer's Stamp dated 11-20-07, (J13/D11)**

Dear Mr. Arfman,

Based upon the information provided in your submittal dated 11-21-07, the above referenced plan is approved for Preliminary Plat action by the DRB. Once that board approves the grading plan, please submit a mylar copy for my signature in order to obtain a Rough Grading Permit. A site-specific grading plan adhering to this plan must be submitted and approved for each building permit.

This project requires a National Pollutant Discharge Elimination System (NPDES) permit. In addition to submitting an NOI to the EPA and preparing a SWPPP, please send a copy of the SWPPP on a CD in .pdf format to the following address:

Department of Municipal Development
Storm Drainage Division
P.O. Box 1293, One Civic Plaza, Rm. 301
Attn: Kathy Verhage
Albuquerque, NM 87103

If you have any questions about this permit, please feel free to call the Municipal Development Department, Hydrology section at 768-3654.

If you have any questions, you can contact me at 924-3986.

Sincerely,

Bradley L. Bingham, PE
Principal Engineer, Planning Dept.
Development and Building Services

C: file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(Rev. 12/05)

PROJECT TITLE: Country Club Development ZONE MAP/DRG. FILE # J-13
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: MRGCD Tracts 131, 132, 133-A-2, 133-B, 134, 135-A, Property Map No. 28 and Lot B-2-A of the Albuquerque Little Theatre Subdivision

ENGINEERING FIRM: Isaacson & Arfman, P.A.
ADDRESS: 128 Monroe Street NE
CITY, STATE: Albuquerque, NM

CONTACT: Fred Arfman
PHONE: 268-8828
ZIP CODE: 87108

OWNER: Infill Solutions, LLC
ADDRESS: 723-B Silver Ave. SW
CITY, STATE: Albuquerque NM

CONTACT: Jay Rembe
PHONE: 242-1871
ZIP CODE: 87102

ARCHITECT: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

SURVEYOR: Precision Surveys
ADDRESS: 8500 Jefferson Street NE
CITY, STATE: Albuquerque, NM

CONTACT: 856-5700
PHONE: 87113
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

TYPE OF SUBMITTAL:

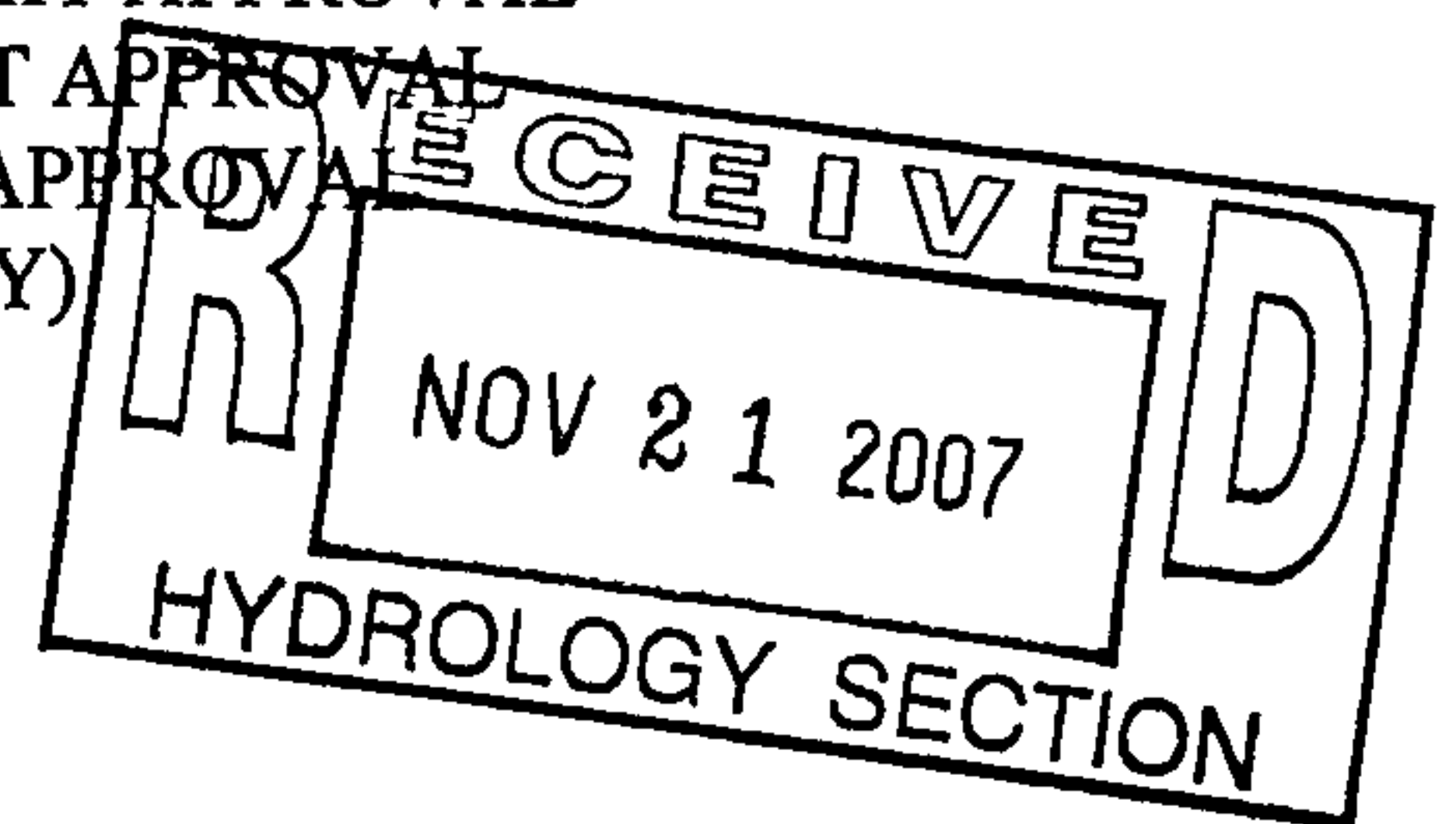
☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☒ CONCEPTUAL G & D PLAN (resubmittal)
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER/ARCHITECT CERT (TCL)
☐ ENGINEER/ARCHITECT CERT (DRB S.P.)
☐ ENGINEER/ARCHITECT CERT (AA)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

☐ SIA/FINANCIAL GUARANTEE RELEASE
☒ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
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☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

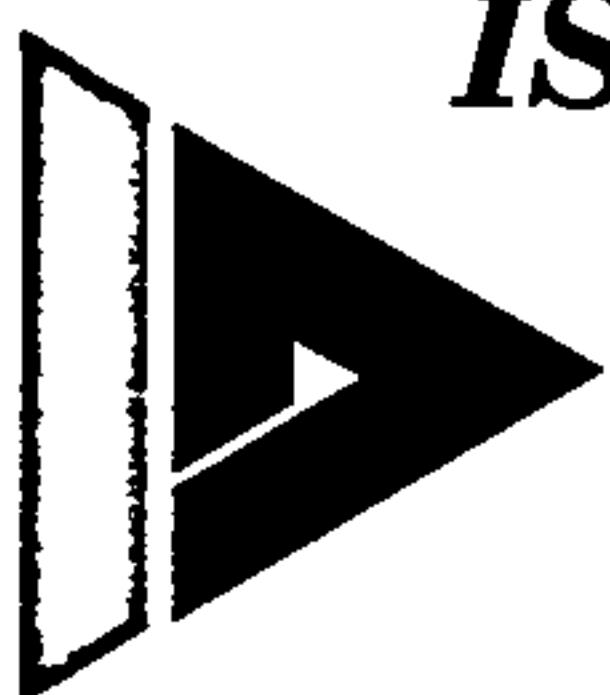
☐ YES
☐ NO
☐ COPY PROVIDED



SUBMITTED BY: Fred C. Arfman, PE DATE: 10/25/2007
for Isaacson & Arfman, P.A.

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



ISAACSON & ARFMAN, P.A.

Consulting Engineering Associates

*Thomas O. Isaacson, PE & LS • Fred C. Arfman, PE
Scott M. McGee, PE*

November 20, 2007

Mr. Jeremy Hoover, P.E., C.F.M.
Senior Engineer
Hydrology Section
City of Albuquerque

RE: COUNTRY CLUB PLAZA (J13/D11)

Dear Mr. Hoover,

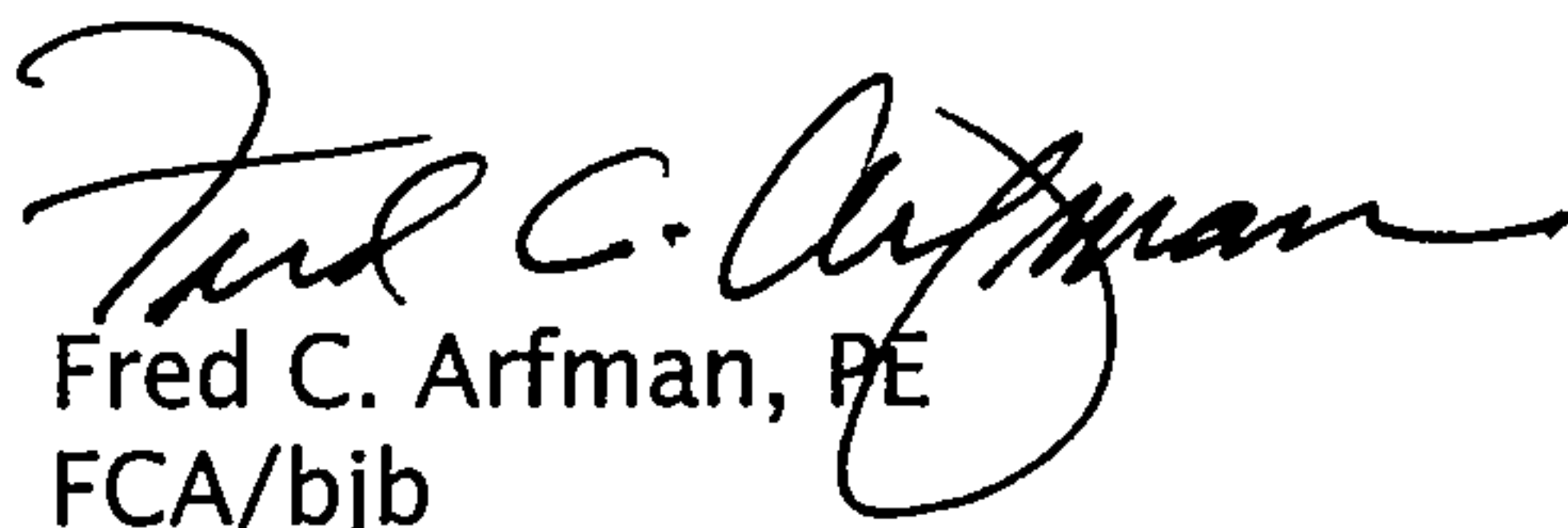
Included with this letter is a revised Conceptual Grading and Drainage Plan for the above mentioned property. In addition, we have prepared a detailed Drainage Report to accompany the plan which details the existing and proposed drainage patterns. You will note some significant revisions from our initial conceptual plan including the allowable rate of free discharge. This was due to a more detailed site inspection and analysis to determine the existing basins.

In response to your comments, please note the following:

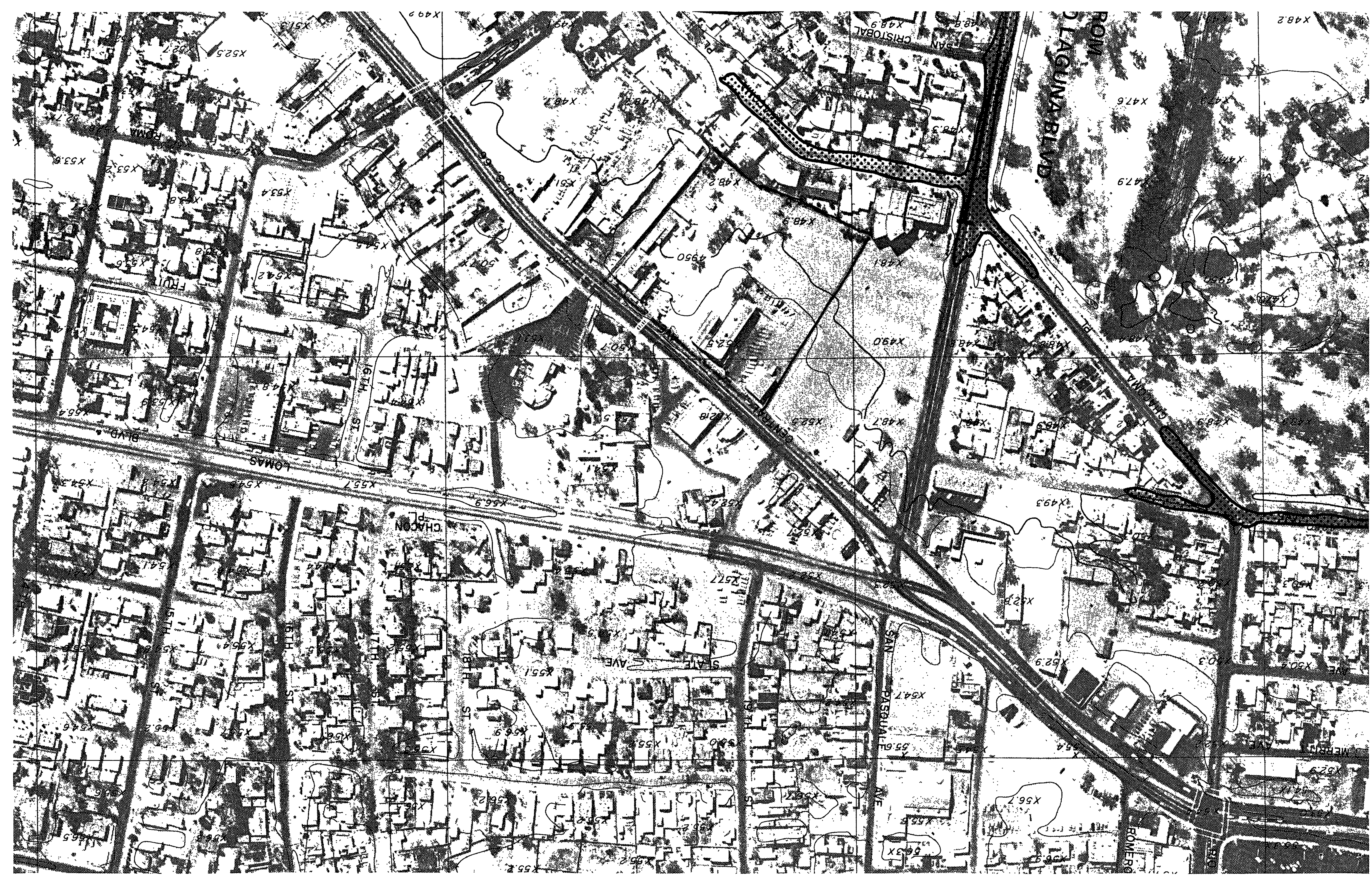
- Easement geometry and recording information for the outfall corridor to San Pasquale will be provided as part the replat. We are expecting additional off-site topography to determine the existing surface flowline through the Albuquerque Little Theatre property and plan on following that approximate geometry.
- Off-site flow (existing Basin C) has been quantified and included in our detention calculations. This flow will be accepted as sheet flow and will be routed to the east and west of the proposed housing structures either on the surface or within a private storm drain system.
- The existing residences to the south are occupied. Based on site inspection and City of Albuquerque contour information, the FF elevations will not be adversely affected by the proposed ponding (see attached exhibit). The pond walls will be designed with care to avoid disturbance of the existing residential walls. Water proofing will be incorporated into the design to a minimum depth of 4' below pond bottom.
- A waterblock has been indicated at the northwest access easement to San Pasquale. All Basin 1 flow will be directed south to a proposed drainage easement to follow the historic flowpath through the Albuquerque Little Theatre parking lot.

Please don't hesitate to call with any questions or comments.

Sincerely,
Isaacson & Arfman, P.A.


Fred C. Arfman, PE
FCA/bjb

Attachment
128 Monroe St. NE • Albuquerque, NM 87108 • (505) 268-8828 • FAX (505) 268-2632



NOVEMBER 19, 2007

SUPPLEMENTAL DRAINAGE INFORMATION

FOR

COUNTRY CLUB DEVELOPMENT

BY



I&A Project No. 1462.1



CALCULATIONS: 1462.1 Country Club Development : Oct 25, 2007

Based on Drainage Design Criteria for City of Albuquerque Section 22.2, DPM, Vol 2, dated Jan., 1993

ON-SITE

Area draining to underground vault 167399 SF = 3.8 Ac.
 (includes sub-basins 1, 2, 3 and 4)

HISTORIC FLOWS:

On-Site Historic Land Condition

Area a	=	0	SF
Area b	=	8369.95	SF
Area c	=	58589.65	SF
Area d	=	100439.4	SF
Total Area	=	167399	SF

DEVELOPED FLOWS:

On-Site Developed Land Condition

Area a	=	0	SF
Area b	=	0	SF
Area c	=	25110	SF
Area d	=	142289	SF
Total Area	=	167399	SF

EXCESS PRECIP:

Precip. Zone 2

Ea	=	0.53
Eb	=	0.78
Ec	=	1.13
Ed	=	2.12

On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)

$$\text{Weighted E} = \frac{EaAa + EbAb + EcAc + EdAd}{Aa + Ab + Ac + Ad}$$

Historic E	=	1.71 in.	Developed E	=	1.97 in.
------------	---	----------	-------------	---	----------

On-Site Volume of Runoff: $V_{360} = E \cdot A / 12$

Historic V_{360}	=	23806 CF	Developed V_{360}	=	27502 CF
--------------------	---	----------	---------------------	---	----------

On-Site Peak Discharge Rate: $Q_p = Q_{pa}Aa + Q_{pb}Ab + Q_{pc}Ac + Q_{pd}Ad / 43,560$

For Precipitation Zone 2

Q_{pa}	=	1.56	Q_{pc}	=	3.14
Q_{pb}	=	2.28	Q_{pd}	=	4.70

Historic Q_p	=	15.5 CFS	Developed Q_p	=	17.2 CFS
----------------	---	----------	-----------------	---	----------

Drainage Report to accompany Conceptual Grading and Drainage Plan
Country Club Development
(C.O.A. Hydrology J13/D11)

Current Legal Description:

M.R.G.C.D. Tracts 131, 132, 133-A-2, 133-B, 134, 135-A, Property Map No. 28 And Lot B-2-A of the Albuquerque Little Theatre Subdivision.

Existing Development:

The property is a fully developed property (zoned SU-2) located within C.O.A. Vicinity Map J-13. It is located on the south side of Central Avenue and east of San Pasquale Avenue. The property, consisting of 8 Lots, is bound on the north by Central Avenue, to the east by undeveloped residential (same owner - currently in construction review), to the south by developed residential and to the west by developed commercial property (the Albuquerque Little Theatre).

Existing Drainage – Onsite:

The property consists of two existing drainage basins (see attached Existing Drainage Basin Map and calculations) as follows:

BASIN A: Consists mainly of asphalt paved parking and commercial buildings. This Basin historically discharges 10.2 cfs through the Little Theatre parking lot west to free discharge to San Pasquale Avenue.

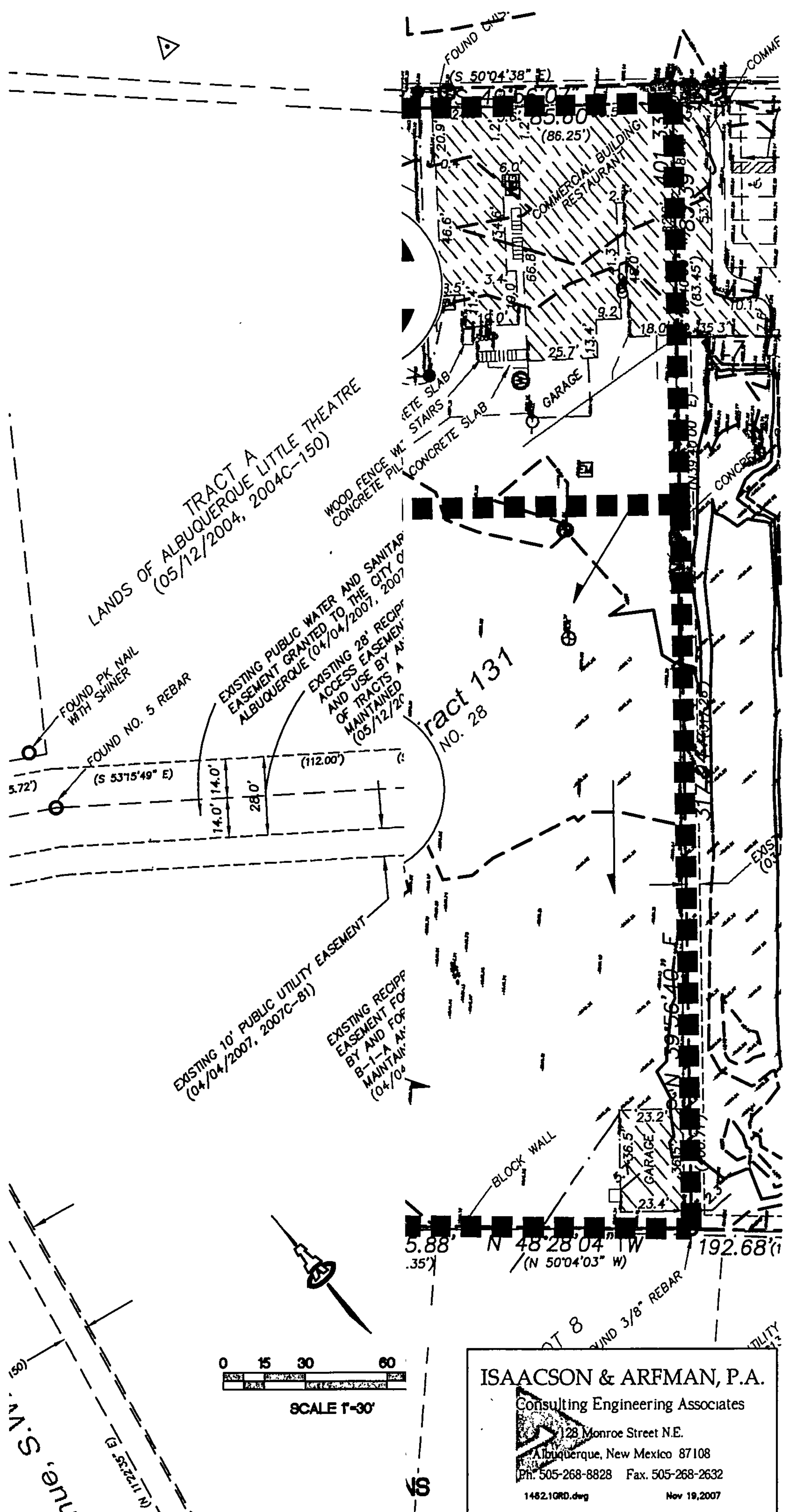
BASIN B: Consists mainly of compacted dirt with small residential structures. This basin historically has no drainage outfall. Discharge (4.9 cfs) ponds on-site to percolate into soil. Flow in excess of capacity overflows to the west to the Albuquerque Little Theatre parking lot.

Existing Drainage – Off-site:

Existing Basin C (see attached Existing Drainage Basin Map and calculations), consisting of a developed portion of Tract No. 131, will continue to discharge 4.0 cfs (100-year, 6-hour storm event) into Basin B to be routed to the proposed ponding infrastructure.

Flood Hazard:

Per Bernalillo County FIRM Map #333, the site is located within Floodzone 'X' designated as areas 500-year flood, areas of 100-year flood with average depths of less than 1 foot or with drainage areas less than 1 square mile and areas protected by levees from 100-year flood..



ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 Fax. 505-268-2632
1462.1GRD.dwg Nov 19, 2007

EXISTING BASINS

1462.1 DPM Calculations - 100 yr 6 hr1.xls

Exist. Basin	A	DESCRIPTION	Existing Basin - Discharging to Aan Pasquale
Area of basin flows =	101860	SF	= 2.3 Ac.

The following calculations are based on Treatment areas as shown in table to the right

Sub-basin Weighted Excess Precipitation (see formula above)

Weighted E = 1.91 in.

Sub-basin Volume of Runoff (see formula above)

V360 = 16170 CF

Sub-basin Peak Discharge Rate: (see formula above)

Qp = 10.2 cfs

TREATMENT

A = 0%

B = 5%

C = 15%

D = 80%

Exist. Basin	B	DESCRIPTION	Existing Basin - Ponding
Area of basin flows =	65539	SF	= 1.5 Ac.

The following calculations are based on Treatment areas as shown in table to the right

Sub-basin Weighted Excess Precipitation (see formula above)

Weighted E = 1.26 in.

Sub-basin Volume of Runoff (see formula above)

V360 = 6875 CF

Sub-basin Peak Discharge Rate: (see formula above)

Qp = 4.9 cfs

TREATMENT

A = 0%

B = 20%

C = 60%

D = 20%

Exist. Basin	C	DESCRIPTION	Off-site Basin draining into Basin B
Area of basin flows =	38739	SF	= 0.9 Ac.

The following calculations are based on Treatment areas as shown in table to the right

Sub-basin Weighted Excess Precipitation (see formula above)

Weighted E = 2.02 in.

Sub-basin Volume of Runoff (see formula above)

V360 = 6524 CF

Sub-basin Peak Discharge Rate: (see formula above)

Qp = 4.0 cfs

TREATMENT

A = 0%

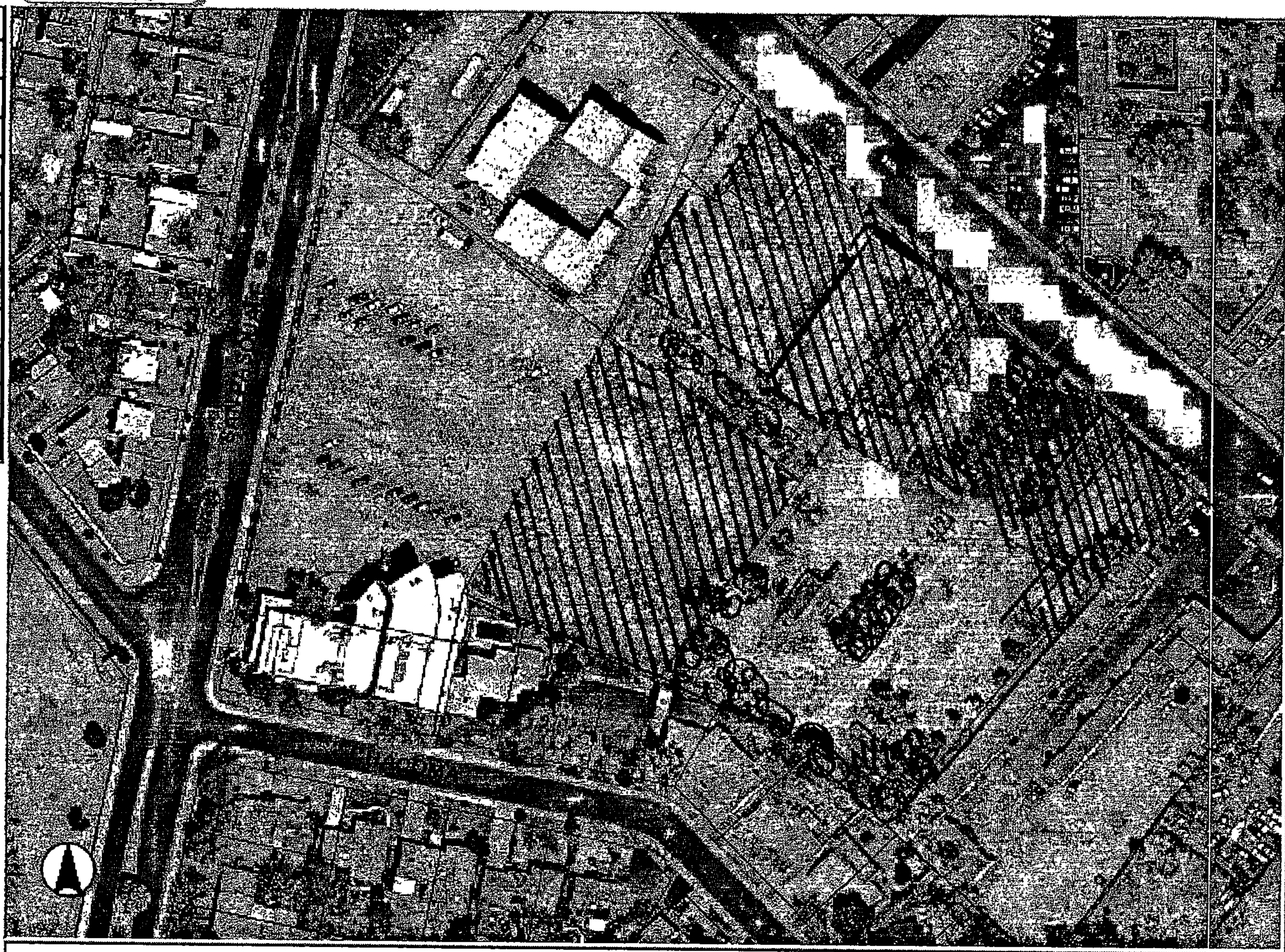
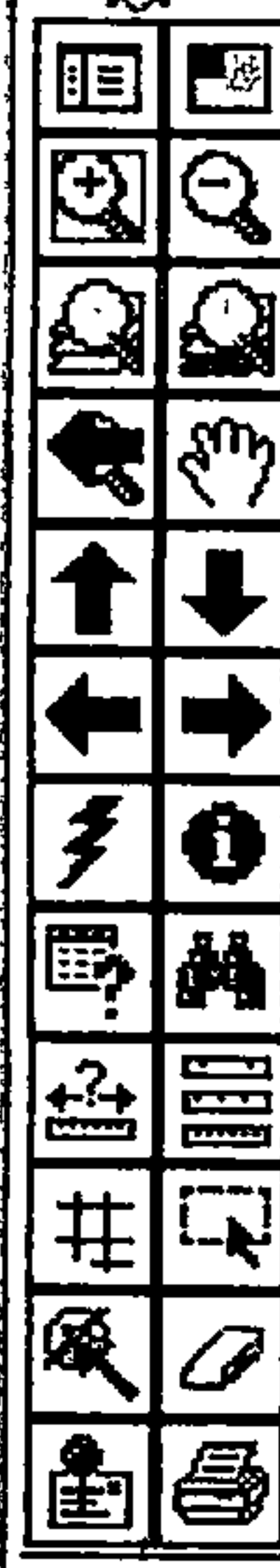
B = 0%

C = 10%

D = 90%

EXISTING TREATMENTS

ALBUQUERQUE GIS DATA WEBSITE



- LAYERS**
- ☒ STREETS
 - ☒ BASEMAP
 - ☐ PARCELS
 - ☐ LOT NUMBERS
 - ☐ METRO ADDRESS
 - ☐ ZONING
 - ☐ OWNERSHIP
 - ☐ 2FT CONTOUR
 - ☐ ADDRESS POINTS
 - ☐ LANDUSE
 - ☐ INFRASTRUCTURE
 - ☐ TRANSIT/SUNTRAN
 - ☒ BOUNDARIES
 - ☒ MUNICIPAL LIMIT
 - ☐ ZONE GRID
 - ☐ NEIGHBORHOODS
 - ☐ METRO DEV AREA
 - ☐ DASZ
 - ☐ DESIGN OVERLAY
 - ☐ POLICE BEATS
 - ☐ COUNCIL
 - ☐ PARKS
 - ☐ PETROGLYPH MN
 - ☐ BOSQUE SECTOR
 - ☐ OPENSOURCE
 - ☐ COMP PLAN
 - ☐ AREA PLANS
 - ☐ SECTOR PLANS
 - ☐ SENATE DISTRICT
 - ☐ REP. DISTRICTS
 - ☐ PLANNING AREAS
 - ☐ HISTORIC ZONES
 - ☐ CORRIDORS
 - ☐ ZIPCODES
 - ☐ POVERTY POCKET
 - ☐ SITES
 - ☐ ENVIRONMENT
 - ☒ APS

ZONING

Rec	ZONING	DESCRIPTION
1	SU-2	SU-1 ALBUQUERQUE LITTLE THEATRE

- D (IMPERVIOUS)
 - C
 - B

Zoom In

[SEARCH](#)

[REFRESH](#)

[HELP](#)

[MAIN GIS PAGE](#)

[CONTACT](#)

Proposed Conditions:

The proposed development consists of the demolition of existing on-site structures and pavement and the construction of six retail / office buildings and five residential buildings (44 housing units) with associated paving and site landscaping.

The overall developed property is divided into two sub-basins (see Proposed Basin Map and associated calculations).

DEVELOPED BASIN 1 will generate approximately 9.6 cfs. The majority of this discharge will continue to drain through the Albuquerque Little Theater parking lot (historic rate = 10.2 cfs). The addition of depressed landscaping areas within the proposed parking islands will provide water harvesting areas to assist in the reduction of overall discharge.

DEVELOPED BASIN 2 will generate approximately 7.6 cfs. This, combined with the Existing Off-Site Basin C (4.0 cfs) will generate 11.6 cfs. All discharge from these basins will flow south to a proposed permanent detention pond located along the full length of the south side of the property. A storm drain discharge line will be installed through the Albuquerque Little Theatre property (new drainage easement required) to control release 0.5 cfs to the 21" dia. Storm drain within San Pasquale Avenue.

Total discharge (maximum) = 9.6 cfs (Basin 1) + 0.5 (Basins 2 and C) = 10.1 cfs < 10.2 cfs - OK

San Pasquale Avenue downstream from the site is located with a 100-year floodzone. By using on-site water harvesting areas, we can further reduce the developed discharge.

BASIN NO.	1	DESCRIPTION	Proposed: Free Discharge
------------------	----------	--------------------	--------------------------

Area of basin flows = 93332 SF = 2.1 Ac.

The following calculations are based on Treatment areas as shown in table to the right

Sub-basin Weighted Excess Precipitation (see formula above)

Weighted E = 1.97 in.

Sub-basin Volume of Runoff (see formula above)

V360 = 15334 CF

Sub-basin Peak Discharge Rate: (see formula above)

Qp = 9.6 cfs

TREATMENT

A = 0%

B = 0%

C = 15%

D = 85%

BASIN NO.	2	DESCRIPTION	Proposed: To Onsite Detention
------------------	----------	--------------------	-------------------------------

Area of basin flows = 74068 SF = 1.7 Ac.

The following calculations are based on Treatment areas as shown in table to the right

Sub-basin Weighted Excess Precipitation (see formula above)

Weighted E = 1.97 in.

Sub-basin Volume of Runoff (see formula above)

V360 = 12169 CF

Sub-basin Peak Discharge Rate: (see formula above)

Qp = 7.6 cfs

TREATMENT

A = 0%

B = 0%

C = 15%

D = 85%

1462.1 DPM Calculations - 100 yr 6 hr1.xls

Proposed Basin 2 + C	DESCRIPTION		Combines Basins 2 and C
Area of basin flows =	112807	SF	= 2.6 Ac.

The following calculations are based on Treatment areas as shown in table to the right

Sub-basin Weighted Excess Precipitation (see formula above)

Weighted E = 1.99 in.

Sub-basin Volume of Runoff (see formula above)

V360 = 18697 CF

Sub-basin Peak Discharge Rate: (see formula above)

Qp = 11.6 cfs

TREATMENT	
A =	0%
B =	0%
C =	13%
D =	87%

Hydrograph

CALCULATIONS: 1462.1 Country Club Development : ='DPM Calculations'!C6
HYDROGRAPH FOR SMALL WATERSHED
DPM SECTION 22-2 * PAGE A-13/14

Base time, t_B , for a small watershed hydrograph is,

$$t_B = (2.107 * E * AT / QP) - (0.25 * AD / AT)$$

Where

E	=	1.99 inches
AT	=	2.59 acres
AD	=	2.25 acres
QP	=	11.6 cfs

t_B	=	0.71 hours
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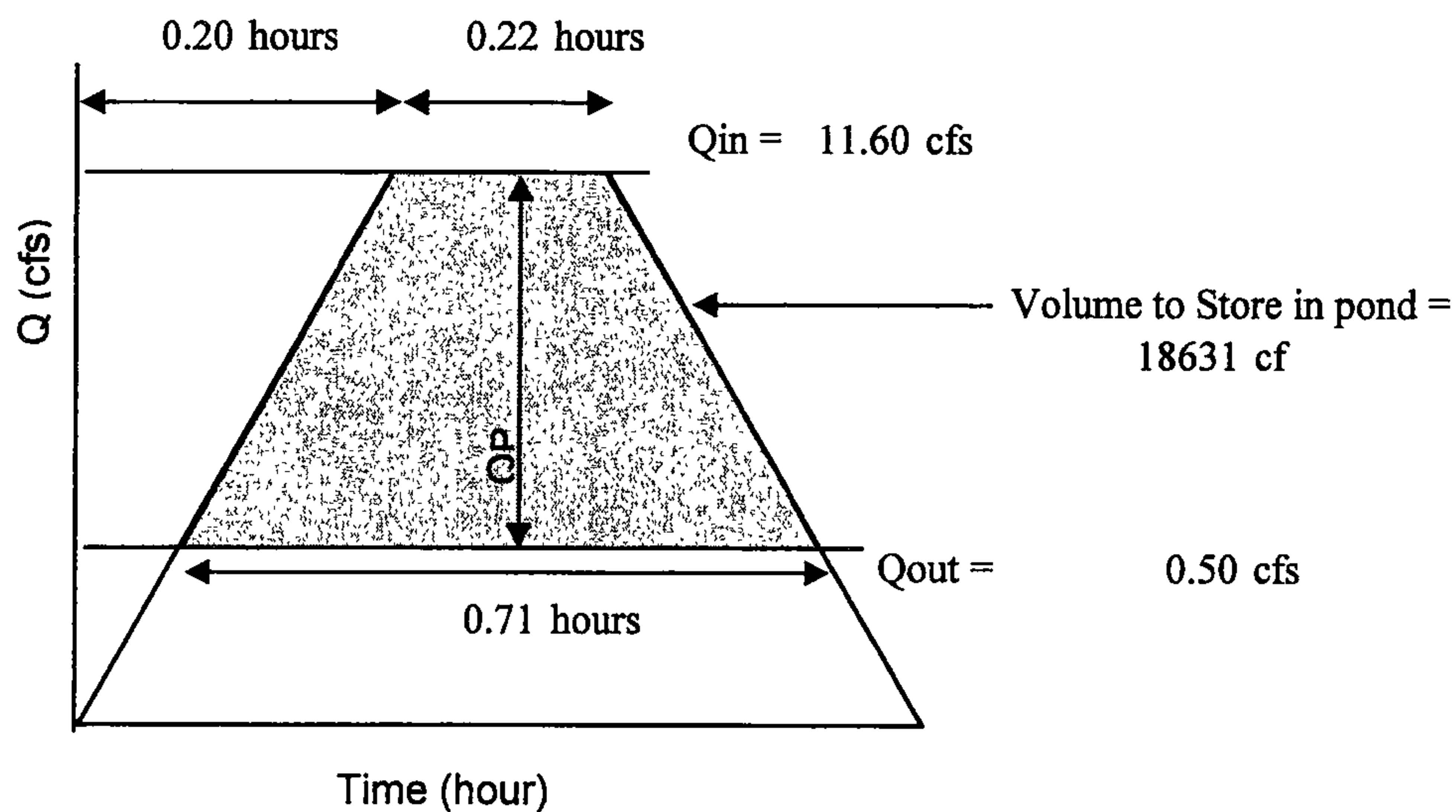
E is the excess precipitation in inches (from DPM TABLE A-8), QP is the peak flow, AD is the area (acres) of treatment D, and AT is the total area in acres. Using the time of concentration, t_C (hours), the time to peak in hours is:

$$t_P = (0.7 * t_C) + ((1.6 - (AD / AT)) / 12)$$

Where $t_C = 0.20$ hours

$$t_P = 0.20 \text{ hours}$$

Continue the peak for $0.25 * AD / AT$ hours. When AD is zero, the hydrograph will be triangular. When AD is not zero, the hydrograph will be trapezoidal. see the graph below:



INFLOW / OUTFLOW HYDROGRAPH

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PHASE 1

PROJECT TITLE: Mark Pardo Aveda Institute (BUDG 1)

DRB #: 1004677/10drb70310

EPC#: 10EPC-40053

ZONE MAP/DRG. FILE #: J-13-70011

WORK ORDER#: 752083

LEGAL DESCRIPTION: Lot 1, Country Club Place

CITY ADDRESS: 1816 Central Avenue SW, Albuquerque, NM 87102

ENGINEERING FIRM: Isaacson & Arfman, PA

ADDRESS: 128 Monroe Street NE

CITY, STATE: Albuquerque, NM

CONTACT: Genny Donart

PHONE: 505-268-8828

ZIP CODE: 87108

OWNER: Mark Pardo Aveda Institute

ADDRESS: 2614 Pennsylvania St NE

CITY, STATE: Albuquerque, NM

CONTACT: Mark Gonzales

PHONE: 505-298-3357

ZIP CODE: 87110

ARCHITECT: Mullen Heller Architecture P.C

ADDRESS: 924 Park Avenue SW, Suite B

CITY, STATE: Albuquerque, NM

CONTACT: Michele Mullen

PHONE: 505-268-4144

ZIP CODE: 87102

SURVEYOR: Precision Surveys, Inc.

ADDRESS: 8500-A Jefferson Street NE

CITY, STATE: Albuquerque, NM

CONTACT: Larry Medrano

PHONE: 505-856-5700

ZIP CODE: 87113

CONTRACTOR: Insight Construction

ADDRESS: P.O. Box 6653

CITY, STATE: Albuquerque, NM

CONTACT: Damian Chimenti

PHONE: 505-888-7927

ZIP CODE: 87197

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☒ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: November 21, 2011

BY: Michele Mullen

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.