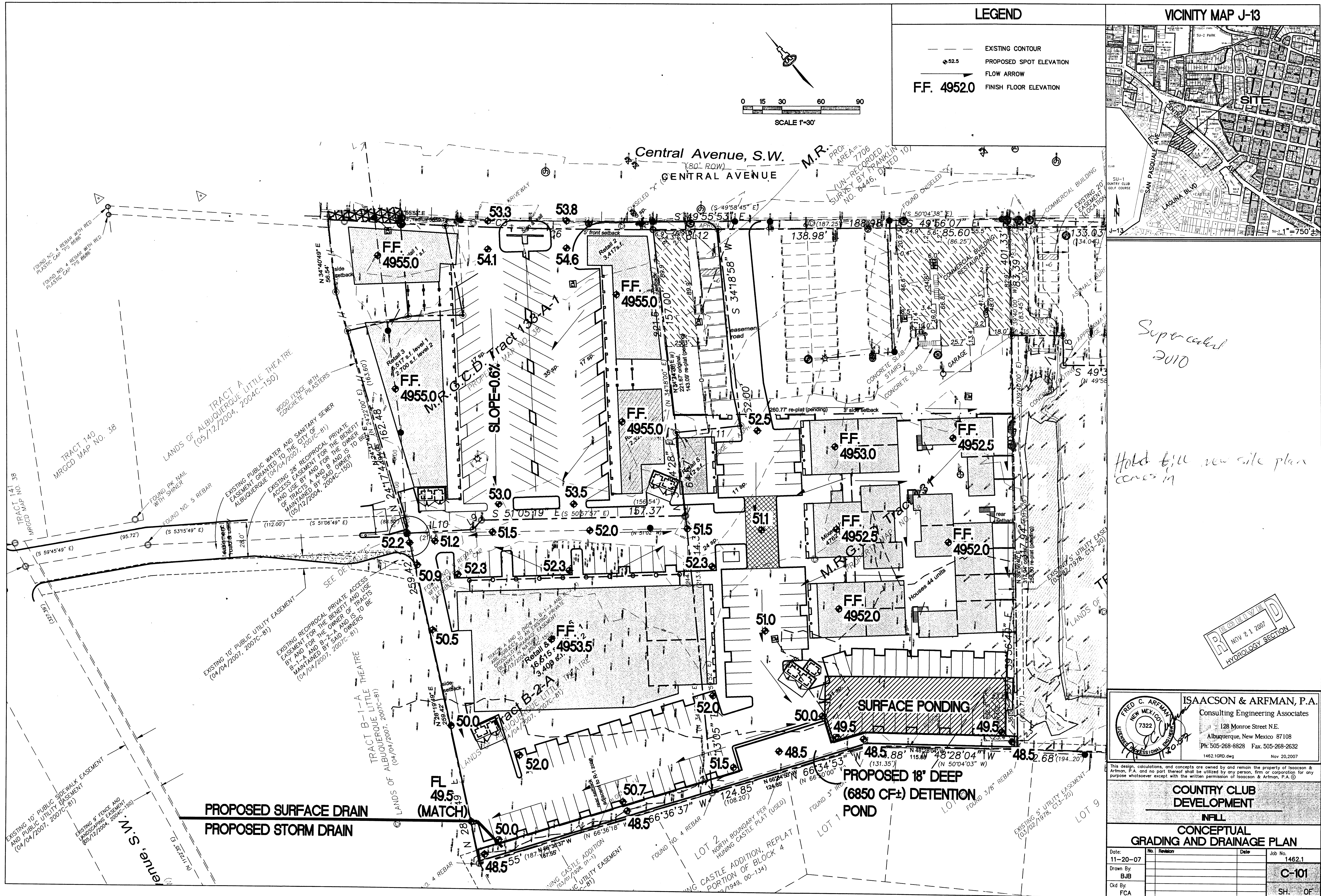


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Superceded  
2010

Hold till new site plan  
comes in

**ISAACSON & ARFMAN, P.A.**  
Consulting Engineering Associates  
128 Monroe Street N.E.  
Albuquerque, New Mexico 87108  
Ph: 505-268-8828 Fax: 505-268-2632  
1462.1GRD.dwg Nov 20, 2007

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**COUNTRY CLUB DEVELOPMENT**

**INFL**

**CONCEPTUAL GRADING AND DRAINAGE PLAN**

|           |          |      |           |       |              |
|-----------|----------|------|-----------|-------|--------------|
| Date:     | 11-20-07 | No.: | Revisions | Date: | Job No.      |
| Drawn By: | BJB      |      |           |       | 1462.1       |
| Old By:   | FCA      |      |           |       | <b>C-101</b> |
|           |          |      |           |       | SH. OF       |



# TEMPORARY DRAINAGE CERTIFICATION

I, Genevieve L. Donat, NMPE #15088, of the firm Isaacson & Arfman, P.A., hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 3/15/11. The record information presented herein is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

- The concrete alley gutter on the SW corner was changed to a Phase 2 item, at which time new asphalt grades to the south will allow for improved drainage of the alley gutter. Existing asphalt grades currently drain.
- The western existing building is still under reconstruction. The adjoining private sidewalks, roof drains, and patio are not completed, and must be complete prior to final certificate of occupancy. They are not vital to the function of the eastern "Aveda" building, so shouldn't impede temporary CO.
- The roof drains on the south side of the Aveda building were changed to discharge across the sidewalk, rather than through 4" PVC pipes under the sidewalk. This change is acceptable.
- The sidewalk on the east side of the Aveda building isn't complete, and the trench drain isn't installed in the sidewalk. This work needs to be complete prior to final CO.

This certification is submitted in support of a request for Temporary Certificate of Occupancy.

The record information presented herein is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Genevieve L. Donat  
NMPE #15088  
Date 11/29/11



CENTRAL AVE, S.W.  
(80' ROW)

PHASE 1  
PHASE 2

TRACT B-1-A  
(04/04/2007, 2007C-81)  
LANDS OF ALBUQUERQUE LITTLE THEATRE

28' PRIVATE ACCESS  
EASEMENT.  
(XX/XX/10, DOC#XXXX)

30' PRIVATE DRAINAGE EASEMENT.  
(03/25/10, DOC#21002442)

0 15 30 60 90  
SCALE 1"=30'

## KEYED NOTES

### PHASE 1 ITEMS:

- 2' WIDE CONCRETE ALLEY GUTTER PER DETAIL D ON SHEET CG-501.
- 2' WIDE SIDEWALK CULVERT TO BE BUILT BY SEPARATE CONTRACT. CPN #752083.
- SAWCUT, REMOVE AND REPLACE EXISTING ASPHALT PAVING TO ALLOW FOR SMOOTH TRANSITION TO SIDEWALK CULVERT FLOWLINE.
- PERCOLATION PIT PER DETAIL H ON SHEET CG-501. GRATE ELEV=55.7
- INSTALL ROOF DRAIN TO CATCH FLOWS FROM THE WESTERN HALF OF THE NEIGHBORING ROOF. DIRECT FLOWS SOUTH. COORDINATE WITH OWNER OF BUILDING.
- ROOF DRAIN LOCATION PER ARCHITECTURAL PLANS. INSTALL 4" PVC PIPE THROUGH THICKENED SIDEWALK PER DETAIL E ON SHEET CG-501 AND PENETRATE CURB PER COA STD DWG #2235.
- 1.5" MAX HEIGHT HEADER CURB/RETAINING WALL AGAINST BUILDING. TOP OF CURB/WALL SHALL BE EVEN WITH THE FINISHED FLOOR. SEE STRUCTURAL PLANS FOR DETAIL.
- FINISHED FLOOR GRADE CHANGE AT EXISTING INTERNAL RAMPS.
- 2' WIDE FRACTURED FACE ROCK SWALE PER DETAIL F ON SHEET CG-501.
- 2' WIDE CURB OPENING.
- SIDEWALK PER DETAILS A & C ON SHEET CG-501.
- SIDEWALK TRANSITION PER DETAILS A & B ON SHEET CG-501.
- 62.3 LF ACO K100S TRENCH DRAIN WITH ADA GRATE (OR ENGINEER APPROVED EQUIVALENT) INSTALLED PER MANUFACTURER'S SPECIFICATIONS, RUNNING THE LENGTH OF THE SIDEWALK AS AN EMERGENCY OVERTURN FOR THE COURTYARD. GRATE ELEVATION SHOULD BE FLUSH WITH THE SIDEWALK GRADE.
- ROOF DRAIN LOCATION PER ARCHITECTURAL PLANS.

### PHASE 2 ITEMS:

- 2' WIDE CONCRETE ALLEY GUTTER PER DETAIL D ON SHEET CG-501.
- CURB OPENING WITH CONCRETE RUNDOWN PER DETAIL G ON SHEET CG-501.
- 1.5" HIGH HEADER CURB OR RETAINING WALL PER STRUCTURAL DETAILS.
- ROOF DRAIN LOCATIONS TO BE DETERMINED WITH PHASE 2 ARCHITECTURAL PLANS. INSTALL ACO DRAIN K100S TRENCH DRAIN (OR ENGINEER APPROVED EQUIVALENT) WITH ADA GRATE PER DETAIL E ON SHEET CG-501.

## GENERAL NOTES

- COORDINATE WORK WITH SITE PLAN, UTILITY PLAN, DEMOLITION PLAN, AND LANDSCAPE PLAN.
- ALL TRASH, DEBRIS, & SURFACE VEGETATION SHALL BE CLEARED AND LEGALLY DISPOSED OF OFFSITE.
- ALL SUBGRADE, OVEREXCAVATION, AND FILL SHALL BE PLACED AND / OR COMPACTED PER THE GEOTECHNICAL REPORT AND CITY OF ALBUQUERQUE SPECIFICATIONS.
- EXCAVATION IS UNCLASSIFIED AND INCLUDES EXCAVATION TO SUBGRADE ELEVATIONS INDICATED BY GEOTECHNICAL REPORT, REGARDLESS OF CHARACTER OF MATERIALS ENCOUNTERED.
- FINAL GRADES SHOWN REPRESENT TOP OF FINISH MATERIAL (I.E. TOP OF CONCRETE, TOP OF CONCRETE BUILDING PAD, TOP OF PAVEMENT MATERIAL, TOP OF LANDSCAPING MATERIAL, ETC.). CONTRACTOR SHALL GRADE, COMPACT SUBGRADE AND DETERMINE EARTHWORK ESTIMATES BASED ON ELEVATIONS SHOWN MINUS FINISH MATERIAL THICKNESSES.
- UNIFORMLY GRADE AREAS WITHIN LIMITS OF GRADING AS SHOWN ON PLAN. COMPACT WITH UNIFORM SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE INDICATED.
- MAXIMUM SLOPES SHALL BE 3:1. MINIMUM SLOPES SHALL BE 1% UNLESS OTHERWISE NOTED.
- EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. ALL UTILITIES SHOULD BE FIELD VERIFIED AND LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
- OWNER WILL PROVIDE SOIL TESTING AND INSPECTION SERVICES DURING EARTHWORK OPERATIONS. CONTRACTOR SHALL ALLOW TESTING LABS TO INSPECT AND APPROVE COMPACTED SUBGRADES AND FILL LAYERS BEFORE FURTHER CONSTRUCTION WORK IS DONE. SHOULD COMPACTION TESTS INDICATE INADEQUATE DENSITY, CONTRACTOR SHALL PROVIDE ADDITIONAL COMPACTION AND TESTING AT THE CONTRACTOR'S SOLE EXPENSE.
- OWNER HAS ESTABLISHED PROPERTY BOUNDARY CORNERS. CONTRACTOR SHALL PROVIDE ALL OTHER CONSTRUCTION STAKING. CONTRACTOR SHALL LOCATE AND PRESERVE ALL BOUNDARY CORNERS AND REPLACE ANY LOST OR DISTURBED CORNERS AT CONTRACTOR'S SOLE EXPENSE.
- THE ENVIRONMENTAL PROTECTION AGENCY AND THE CITY OF ALBUQUERQUE REQUIRE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR PROJECTS WHERE CONSTRUCTION ACTIVITIES (INCLUDING OTHER LAND-DISTURBING ACTIVITIES) DISTURB ONE ACRE OR MORE (BY OTHERS). A SWPPP MUST BE INCLUDED WITH THE CONTRACTOR'S SUBMITTAL FOR A ROUGH GRADING, GRADING, PAVING OR BUILDING PERMIT. THE SWPPP MUST BE IN PDF OR MS WORD FORMAT ON A CD.
- ADJUST RIMS OF EXISTING UTILITY FEATURES AS NECESSARY TO MATCH NEW GRADES, TYPICAL.
- ALL NEW PAVEMENT SURFACES SHALL BE CONSTRUCTED WITH POSITIVE SLOPE AWAY FROM BUILDINGS AND POSITIVE SLOPE TOWARD EXISTING AND/OR PROPOSED DRAINAGE PATHS. WHERE NEW GRADES ARE SHOWN AS 'MATCH' OR '±', TRANSITIONS SHALL BE SMOOTH AND LEVEL.
- ALL FRACTURED FACE ROCK (F.F. ROCK) TO BE 6" AVG. DIA. ANGULAR FACED ROCK PLACED OVER GEOTEX 50 NON-WOVEN GEOTEXTILE (O.E.). NOTE: PERMANENT TURF REINFORCEMENT MATERIAL (LANDLOK TRM 450 O.E.) MAY BE SUBSTITUTED AT ALL AREAS REFERENCING F.F. ROCK EROSION PROTECTION.
- OWNER SHALL MAINTAIN EROSION PROTECTION ELEMENTS. OWNER SHALL INSPECT SITE YEARLY AND AFTER EACH RAINFALL TO IDENTIFY NEW AREAS OF EROSION AND INSTALL ADDITIONAL EROSION PROTECTION AS NEEDED BASED ON ACTUAL OCCURRENCES.

## VICINITY MAP



## PROJECT DATA

**LEGAL DESCRIPTION:** M.R.G.C.D. TRACTS 133-A-1, 133-A-2, 133-B, 134 AND 135-A PROPERTY MAP NO. 38, TRACT B-2-A, LANDS OF ALBUQUERQUE LITTLE THEATRE

**SITE AREA:** 2.338 AC

**FLOOD ZONE:** THE SUBJECT PROPERTY (AS SHOWN HEREON) LIES WITHIN ZONE "X" (AREAS OF 500-YEAR FLOOD; AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 100-YEAR FLOOD) FLOOD PLAN ACCORDANCE WITH THE NATIONAL FLOOD INSURANCE PROGRAM RATE MAP NUMBER 35001C0331E, EFFECTIVE DATE NOVEMBER 19, 2003.

**ENGINEER:** FRED ARFMAN, NMPE #7322  
ISAACSON & ARFMAN, P.A.  
128 MONROE ST NE, ABO. NM 87108  
PHONE: (505) 268-8828

**SURVEYOR:** LARRY W. MEDRANO, NMPS #11993  
PRECISION SURVEYS, INC.  
8414-D JEFFERSON ST NE, ABO. NM 87113  
PHONE: (505) 856-5700

**BENCHMARK:** ALBUQUERQUE CONTROL SURVEY MONUMENT "13-113" HAVING A PUBLISHED ELEVATION OF 4956.09 FEET (NGVD 88)

## LEGEND

- PROPOSED CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- FLOW ARROW
- FINISH FLOOR ELEVATION
- SIDEWALK CULVERT
- FRACTURED FACE ROCK SWALE
- FLOWLINE ELEVATION

RECEIVED

HYDROLOGY SECTION

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1782 CG-101.dwg May 04, 2011

revision MINOR TEXT CHANGES

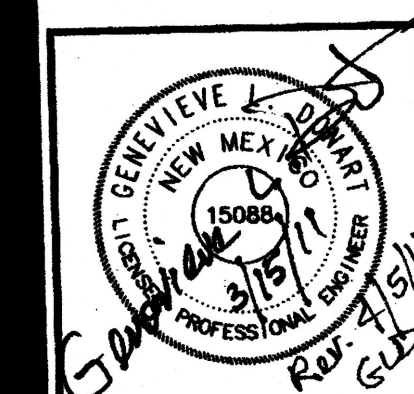
DATE 5/11/11

REV



**Mullen Heller Architecture P.C.**

924 Park Avenue SW  
Suite B  
Albuquerque, NM 87102  
505 268 4144(p)  
505 268 4244 (f)



job number 1007  
drawn by mms  
project manager MAM  
date 5/5/10

Country Club Place Development  
Lots 1 thru 3, Country Club Place  
Albuquerque, NM

GRADING AND DRAINAGE PLAN

sheet CG-101



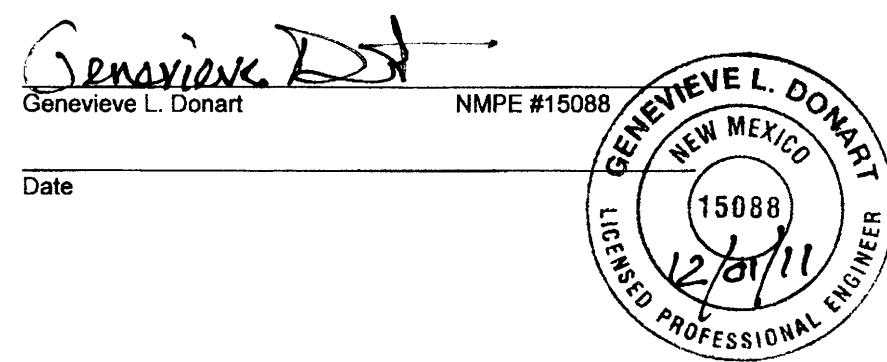
# **EASTERN BUILDING DRAINAGE CERTIFICATION**

I, Genevieve L. Donart, NMPE #15088, of the firm Isaacson & Arfman, P.A., hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 3/15/11. The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

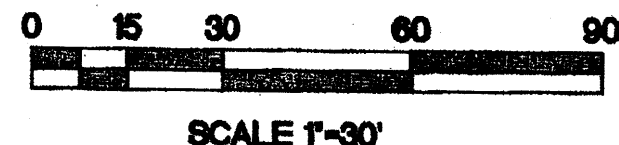
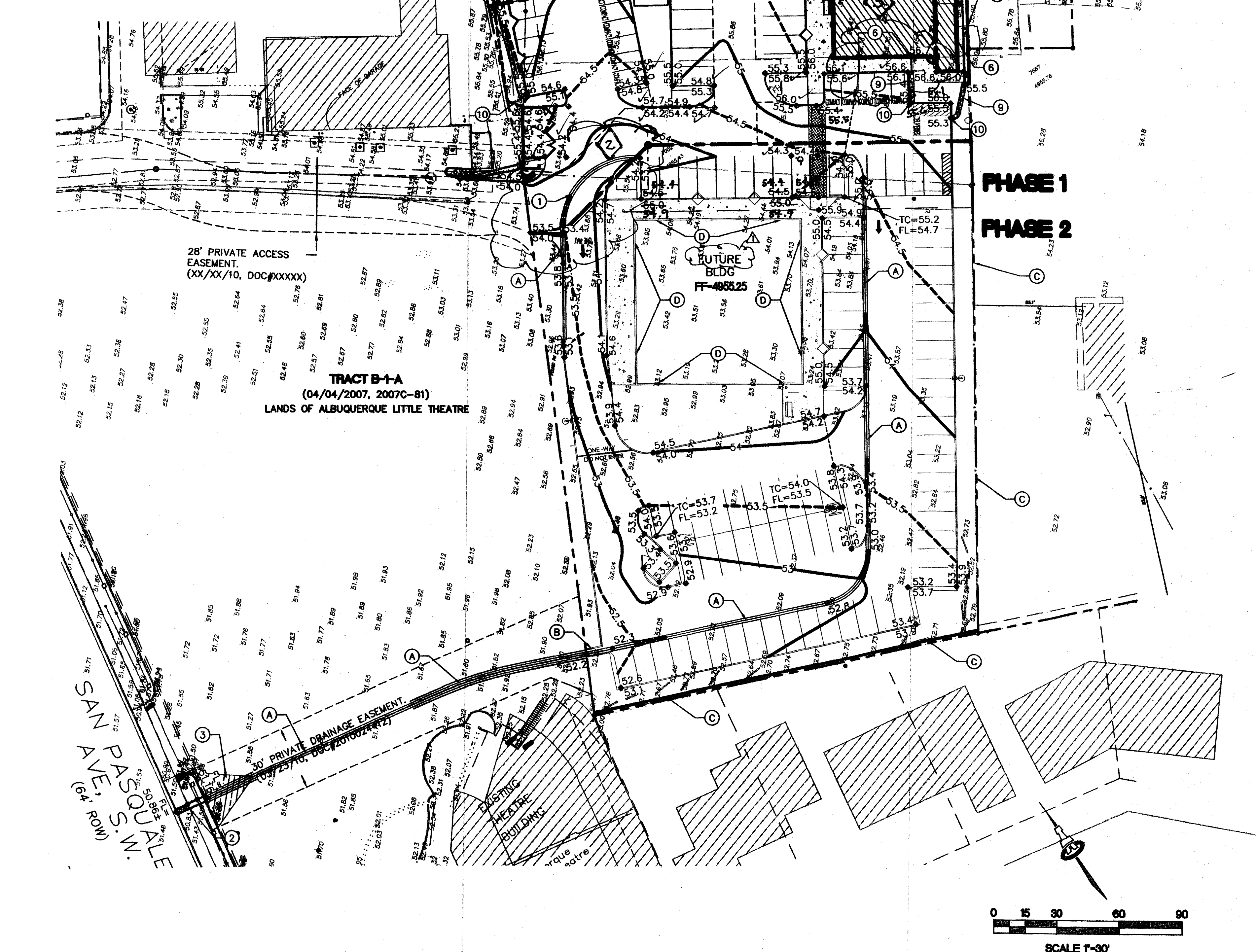
- The westerly existing building is still under reconstruction. The adjoining private sidewalks, roof drains, and patio are not completed, and must be complete prior to final certificate of occupancy. They are not vital to the function of the easterly "Aveda" building, so shouldn't impede the CO for the easterly building.
- The concrete alley gutter on the SW corner was changed to a Phase 2 item, at which time new asphalt grades to the south will allow for improved drainage of the valley gutter. The asphalt will be reworked to direct the drainage south prior to CO for the easterly building.
- The roof drains on the south side of the Aveda building were changed to discharge across the sidewalk, rather than through 4" PVC pipes under the sidewalk. This change is acceptable.

This certification is submitted in support of a request for Certificate of Occupancy for the easterly building.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.



Genevieve L. Donart  
Date



## **KEYED NOTES**

### **PHASE 1 ITEMS:**

- 2' WIDE CONCRETE ALLEY GUTTER PER DETAIL D ON SHEET CG-501.
- 2' WIDE SIDEWALK CULVERT TO BE BUILT BY SEPARATE CONTRACT. CPM #752083.
- SAWCUT, REMOVE AND REPLACE EXISTING ASPHALT PAVING TO ALLOW FOR SMOOTH TRANSITION TO SIDEWALK CULVERT FLOWLINE.
- PERCOLATION PIT PER DETAIL H ON SHEET CG-501. GRATE ELEV=55.7
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- ROOF DRAIN LOCATION PER ARCHITECTURAL PLANS.

### **PHASE 2 ITEMS:**

- 2' WIDE CONCRETE ALLEY GUTTER PER DETAIL D ON SHEET CG-501.
- CURB OPENING WITH CONCRETE RUNDOWN PER DETAIL G ON SHEET CG-501.
- 1.5' HIGH HEADER CURB OR RETAINING WALL PER STRUCTURAL DETAILS.
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## **GENERAL NOTES**

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## **VICINITY MAP**



## **PROJECT DATA**

**LEGAL DESCRIPTION:** M.R.G.C.D. TRACTS 133-A-1, 133-A-2, 133-B, 134 AND 135-A PROPERTY MAP NO. 38, TRACT B-2-A, LANDS OF ALBUQUERQUE LITTLE THEATRE

**SITE AREA:** 2.338 AC

**FLOOD ZONE:** THE SUBJECT PROPERTY (AS SHOWN HEREON) LIES WITHIN ZONE "X" (AREAS OF 500-YEAR FLOOD; AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 100-YEAR FLOOD) FLOOD PLAIN ACCORDANCE WITH THE NATIONAL FLOOD INSURANCE PROGRAM RATE MAP NUMBER 35001C0331E, EFFECTIVE DATE NOVEMBER 19, 2003.

**ENGINEER:** FRED ARFMAN, NMPE #7322  
ISAACSON & ARFMAN, P.A.  
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PHONE: (505) 268-8828

**SURVEYOR:** LARRY W. MEDRANO, NMPS #11993  
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**BENCHMARK:** ALBUQUERQUE CONTROL SURVEY MONUMENT "13-113" HAVING A PUBLISHED ELEVATION OF 4956.09 FEET (NGVD 88)

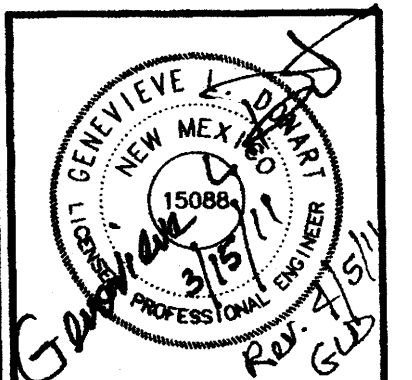
## **LEGEND**

- PROPOSED CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- FLOW ARROW
- FINISH FLOOR ELEVATION
- SIDEWALK CULVERT
- FRACTURED FACE ROCK SWALE
- FLOWLINE ELEVATION

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1782 CG-101.dwg May 04, 2011

revision  
MINOR TEXT CHANGES  
DATE 5/12/11  
BY GLD  
REV A A A A A

**Mullen Heller**  
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924 Park Avenue SW  
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505 268 4144 [p]  
505 268 4244 [f]

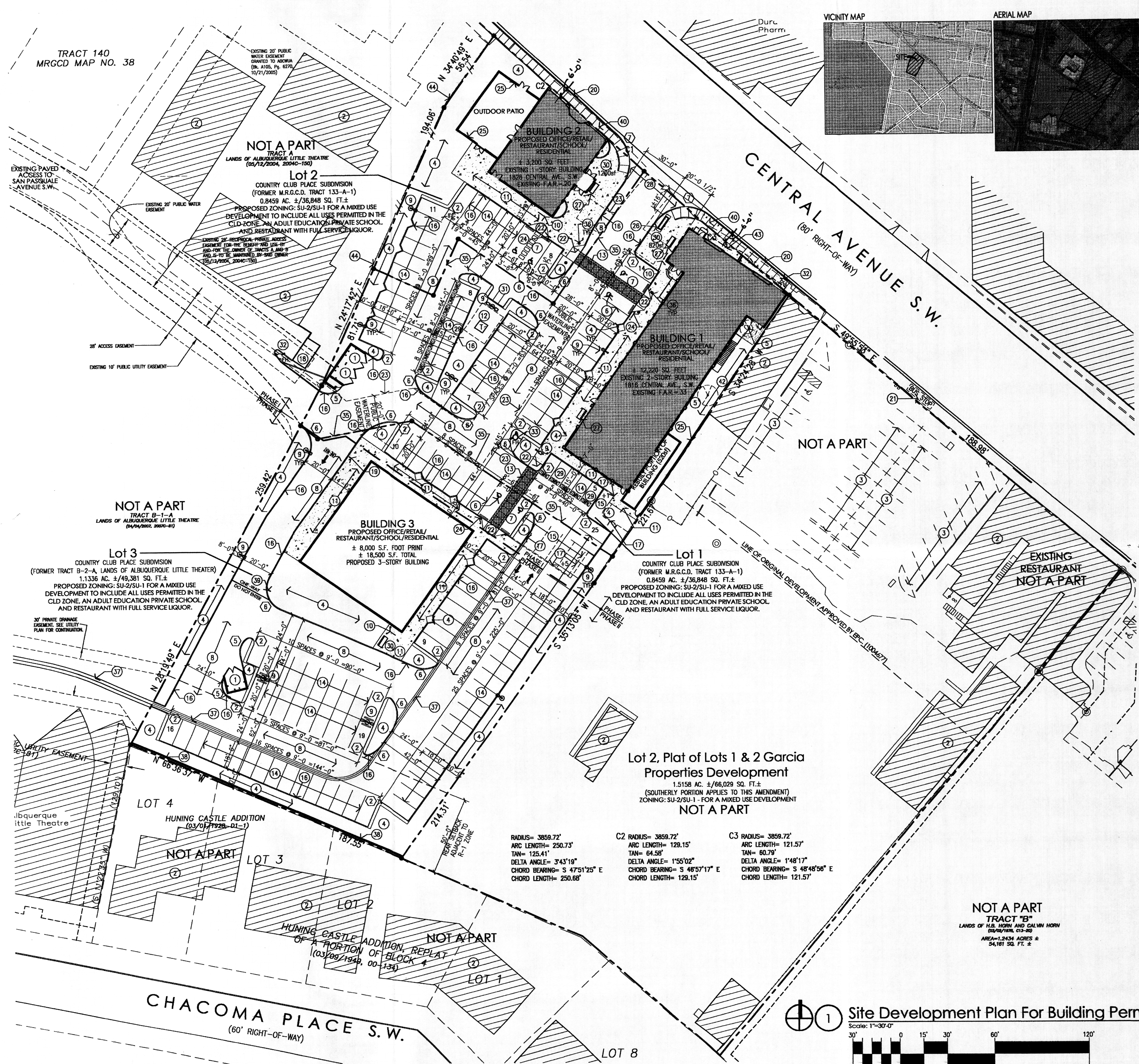


job number  
drawn by  
project manager  
date  
10-07  
mws  
MMW  
5/5/10

project title  
**Country Club Place Development**  
Lots 1 thru 3, Country Club Place  
Albuquerque, NM  
sheet title  
**GRADING AND DRAINAGE PLAN**

sheet  
**CG-101**





- KEY NOTES:**
- [1] PROPOSED CMU REFUSE ENCLOSURE WITH RECYCLING AREA ON LOT 2.
  - [2] EXISTING BUILDING TO REMAIN. NOT A PART.
  - [3] EXISTING PARKING STRIPING.
  - [4] PROPOSED LANDSCAPING.
  - [5] EXISTING TREES TO REMAIN.
  - [6] PROPOSED HANDCAP PAVEMENT SIGN.
  - [7] PROPOSED STAMPED COLORED CONCRETE HANDCAP AISLE.
  - [8] PROPOSED ASPHALT PAVING.
  - [9] PROPOSED SITE LIGHTING. HEIGHT TO BE 16'-0" MAX.
  - [10] PROPOSED BIKE RACK WITH 4 SPACES.
  - [11] PROPOSED CONCRETE SIDEWALK.
  - [12] PROPOSED ELECTRICAL TRANSFORMER WITH LANDSCAPING SCREENING.
  - [13] PROPOSED STAMPED COLORED CONCRETE PEDESTRIAN CONNECTION.
  - [14] PROPOSED PAINTED PARKING STRIPING.
  - [15] ADDITIONAL FIVE (5) PARKING SPACES TO BE STRIPED WITH CONSTRUCTION OF PHASE I.
  - [16] PROPOSED CONCRETE CURB. SEE GRADING AND DRAINAGE PLAN.
  - [17] PROPOSED CONCRETE CURB/LANDSCAPING ISLAND TO BE CONSTRUCTED WITH PHASE I (SHOWN DASHED).
  - [18] EXISTING DUMPSTER ENCLOSURE.
  - [19] PROPOSED STOP SIGN.
  - [20] EXISTING CITY CURB AND GUTTER.
  - [21] EXISTING BUS STOP TO REMAIN.
  - [22] PROPOSED HANDCAP RAMP.
  - [23] PROPOSED 20'-0" WATERLINE EASEMENT. SEE UTILITY PLAN.
  - [24] PROPOSED HANDCAP PARKING SIGNS.
  - [25] PROPOSED 6'-0" HIGH CMU SCREEN WALL ON LOT 1 AND 7'-4" HIGH CMU SCREEN WALL ON LOT 2 WITH STUCCO FINISH TO MATCH BUILDING. SEE SHEET 7.
  - [26] PROPOSED 100 SF. MONUMENT SIGN. SEE SHEET 6.
  - [27] PROPOSED PLAZA BENCH SEATING-6' LONG BENCHES (2 LOCATIONS). SEE SHEET 7 FOR SEATING CALCULATION.
  - [28] PROPOSED CONCRETE DRIVEWAY TO BE CONSTRUCTED TO BE CONSTRUCTED TO DEC. PROJECT NO. 752083.
  - [29] COMPACT PARKING SPACES 8'-0"x15'-0" WITH PAINTED "COMPACT CAR" PAVEMENT DESIGNATION.
  - [30] STAMPED COLORED CONCRETE PLAZA AREA WITH BENCH SEATING.
  - [31] PROPOSED 4'-0" WIDE x 8'-0" LONG MOTORCYCLE SPACES WITH SIGNAGE AT EACH SPACE.
  - [32] EXISTING FIRE HYDRANT.
  - [33] PROPOSED FIRE HYDRANT. SEE UTILITY PLAN.
  - [34] EXISTING CONCRETE SIDEWALK.
  - [35] PROPOSED LOT LINES.
  - [36] PROPOSED LIGHT BOLLARD. TYP. OF 4. SEE SHEET 7.
  - [37] PROPOSED CONCRETE SWALE CONSTRUCTED WITH PHASE II. SEE GRADING AND DRAINAGE PLAN.
  - [38] EXISTING 6'-0" HIGH CMU SCREEN WALL.
  - [39] PROPOSED "DO NOT ENTER" SIGN AND PAVEMENT SIGN.
  - [40] REMOVE EXISTING 6' WIDE CITY SIDEWALK AND REPLACE WITH NEW 6' WIDE CONCRETE SIDEWALK TO MATCH AND TO THE INTO EXISTING (STD. DWG. 2430). TO BE CONSTRUCTED PER DEC. PROJECT NO. 752083.
  - [41] PROPOSED CONCRETE PATIO WITH EXISTING LANDSCAPING.
  - [42] PROPOSED CONCRETE PATIO WITH EXISTING TREES TO REMAIN.
  - [43] AREA OF SIDEWALK INFILL BETWEEN CITY SIDEWALK AND EXISTING BUILDING.
  - [44] EXISTING 6' HIGH SOLID WOOD SCREEN WALL WITH STUCCO PLASTERS.
- RADIUS INFORMATION:**
- |           |            |            |
|-----------|------------|------------|
| ① = 2'-0" | ④ = 5'-0"  | ⑦ = 25'-0" |
| ② = 3'-0" | ⑤ = 10'-0" | ⑧ = 60'-0" |
| ③ = 4'-0" | ⑥ = 15'-0" |            |
- GENERAL NOTES:**
- [A] THE DESIGN STANDARDS INCLUDED IN THE AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION FOR THIS PROJECT SHALL GOVERN THE FUTURE DESIGN OF BUILDING 3 AS WELL AS THE RENOVATION OF BUILDINGS 1 AND 2.
  - [B] RECIPROCAL PARKING, INGRESS/EGRESS, ACCESS AND DRAINAGE EASEMENT FOR THE BENEFIT AND USE BY THE OWNERS OF LOTS 1 THRU 3, COUNTRY CLUB PLACE, SAID EASEMENT TO BE MAINTAINED BY THE OWNER OF EACH TRACT FOR THE BENEFIT OF ALL TRACTS. THIS WILL BE GRANTED WITH REPLAT OF ALL TRACTS.
  - [C] THE PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB.
- SITE LIGHTING NOTES:**
- [A] THE LOCATION OF THE LIGHTING FIXTURES TOGETHER WITH ITS CUT-OFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC RIGHT-OF-WAY OR ADJACENT RESIDENTIAL PROPERTY.
  - [B] THE MAXIMUM HEIGHT OF A LIGHT POLE MEASURED FROM THE FINISH GRADE TO THE TOP OF THE POLE SHALL BE 16'-0" MAX. TO MATCH EXISTING.
  - [C] LIGHTING TO BE PROVIDED ON BUILDING FACADES SHALL BE MOUNTED AT 12 FEET MAXIMUM.
  - [D] SITE LIGHTING SHALL BE FULLY SHIELDED, AND HIGH-PRESSURE SODIUM LIGHTING AND UN-SHIELDED UP LIGHTING SHALL BE PROHIBITED.

**SITE DEVELOPMENT DATA:**

PROPOSED LEGAL DESCRIPTION: LOTS 1 THRU 3, COUNTRY CLUB PLACE, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

BUILDING ADDRESSES: BLDG. 1 (EXISTING) 1818 CENTRAL AVE., S.W. ALBUQUERQUE, N.M. BLDG. 2 (EXISTING) 1828 CENTRAL AVE., S.W. ALBUQUERQUE, N.M.

LAND AREA: 2.3382 ACRES (101,855 SQ. FT.)

CURRENT ZONING: SU-2/SU-1 FOR A MIXED USE DEVELOPMENT

PROPOSED ZONING: SU-2/SU-1 FOR A MIXED USE DEVELOPMENT TO INCLUDE ALL USES PERMITTED IN THE CLD ZONE, AN ADULT EDUCATION PRIVATE SCHOOL, AND RESTAURANT WITH FULL SERVICE LIQUOR.

ZONE ATLAS PAGE: J-13-Z

BUILDING AREAS: EXISTING BUILDING 1 12,220 SF EXISTING BUILDING 2 3,200-5,000 SF PROPOSED BUILDING 3 16,700-18,500 SF TOTAL BUILDING AREA = 35,720 SF. MAX. ON THIS SITE

DEVELOPMENT PHASING: PHASE I: PHASE I WILL INCLUDE RENOVATION OF BUILDING 1, ALL PHASE I PARKING INCLUDING 69 SPACES AND RELATED LANDSCAPING, INCLUDING THE BUFFER ALONG THE R-1 PROPERTY AT THE SOUTH END OF THE SITE OF LOT 3. BUILDING 2 MAY BE RENOVATED AS PART OF PHASE I OR PHASE II. PHASE II: PHASE II WILL INCLUDE CONSTRUCTION OF BUILDING 3, RELATED PARKING AND REMAINING LANDSCAPING.

PROPOSED USES: ALL USES PERMITTED IN THE CLD ZONE, AND ADULT EDUCATION PRIVATE SCHOOL, AND RESTAURANT WITH FULL SERVICE LIQUOR.

PROHIBITED USES: -R-2 COMMUNITY RESIDENTIAL PROGRAMS -DRAIVE-THRU SERVICE WINDOWS -WIRELESS TELECOMMUNICATION FACILITIES

PARKING CALCULATIONS: LOT 1 REQUIRED PARKING (ANTICIPATED SCHOOL): 1 SPACE REQUIRED PER 2 STUDENTS = 40 SPACES TOTAL REQUIRED PARKING = 40 SPACES LOT 2 REQUIRED PARKING: NO PARKING IS REQUIRED PER CITY OF COMPREHENSIVE ZONING CODE OFF-STREET PARKING REGULATIONS (14-16-3-1); "OFF-STREET PARKING SHALL BE PROVIDED FOR ALL USES AND BUILDINGS, EXCEPT BUILDINGS CONSTRUCTED BEFORE OCTOBER 22, 1965 NEED SUPPLY SUCH PARKING ONLY TO THE EXTENT ON-PREMISE GROUND SPACE IS AVAILABLE." IF A RETAIL USE OCCUPIES BUILDING 2, AND 1 SPACE IS REQUIRED PER 2000 THEN 16 PARKING SPACES WILL BE REQUIRED. LOT 2 PARKING PROVIDED: TOTAL PARKING SPACES PROVIDED = 14 SPACES LOT 3 REQUIRED PARKING (ANTICIPATED): 8,000 SF FIRST FLOOR RETAIL/200 = 40 SPACES 6,000 SF SECOND FLOOR OFFICE/200 = 20 SPACES 4,500 SF (B) THIRD FLOOR RESIDENTIAL UNITS AT +6000' EACH x 1.5 = 12 SPACES TOTAL REQUIRED PARKING = 72 SPACES LOT 3 PARKING PROVIDED: TOTAL PARKING SPACES PROVIDED = 78 SPACES TOTAL PARKING SPACES REQUIRED = 112 SPACES TOTAL NUMBER SPACES REQUIRED EXCLUDES REQUIRED SPACES FOR LOT 2 112 SPACES REQUIRED x 10% REDUCTION FOR PROXIMITY TO BUS ROUTE = 100 SPACES REQUIRED TOTAL PARKING SPACES PROVIDED = 132 SPACES 113 REGULAR PARKING SPACES 6 HANDICAP PARKING SPACES 13 COMPACT SPACES

**COMPACT PARKING CALCULATION:** 100 REQ'D SPACES x 25% = 25 SPACES ALLOWED TOTAL COMPACT SPACES = 13 SPACES PROVIDED

**DISABLED PARKING REQUIREMENTS:** TOTAL DISABLED SPACES REQUIRED = 4 SPACES TOTAL DISABLED SPACES PROVIDED = 6 SPACES

**MOTORCYCLE REQUIREMENTS:** TOTAL MOTORCYCLE SPACES REQUIRED = 3 SPACES TOTAL MOTORCYCLE SPACES PROVIDED = 3 SPACES

**BICYCLE REQUIREMENTS:** 1 BIKE SPACE PER 20 PARKING SPACES = 5 BIKE SPACES TOTAL BICYCLE SPACES PROVIDED = 15 SPACES

PROJECT NUMBER: 1004677 APPLICATION NUMBER: 1004677-70310

THIS PLAN IS CONSIDERED THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) DATED: Oct. 14, 2010 AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.

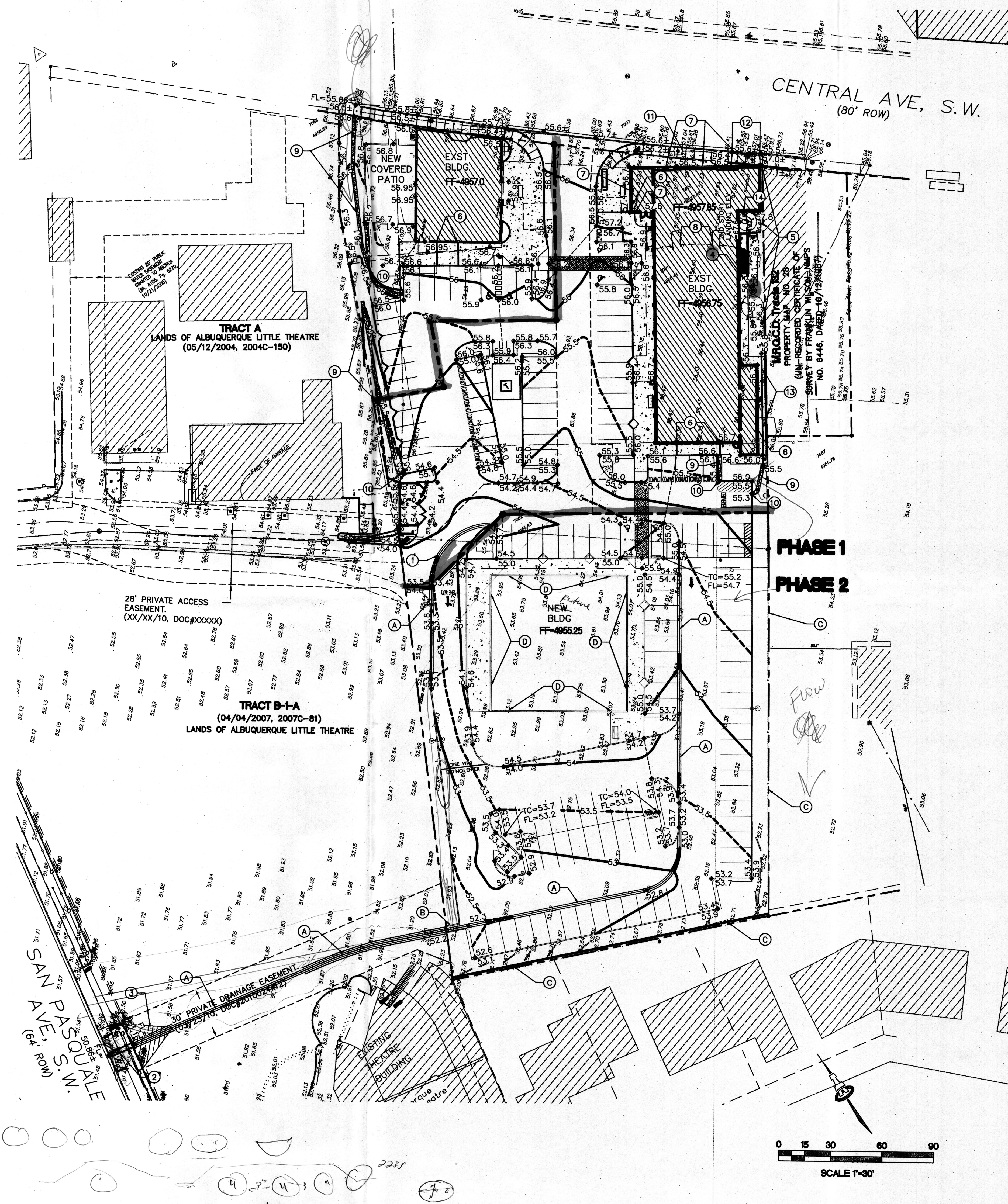
IS AN INFRASTRUCTURE LIST REQUIRED? ( ) YES ( ) NO IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

**DRC SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:**

|  |          |
|--|----------|
| TRAFFIC ENGINEER, TRANSPORTATION DIVISION      | Date     |
| Allan Patten                                   | 11/10/10 |
| UTILITIES DEVELOPMENT                          | Date     |
| Chandrasekhar                                  | 11/10/10 |
| PARKS AND RECREATION DEPARTMENT                | Date     |
| Willie   | 5-31-11  |
| CITY ENGINEER                                  | Date     |
| NA   |          |
| *ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL) | Date     |
| NA   |          |
| SOLID WASTE MANAGEMENT                         | Date     |
| NA   |          |
| DRC CHAIRPERSON, PLANNING DEPARTMENT           | Date     |
| NA   | 11/19/10 |



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## KEYED NOTES

### PHASE 1 ITEMS:

- 2' WIDE CONCRETE ALLEY GUTTER PER DETAIL D ON SHEET CG-501.
- 2' WIDE SIDEWALK CULVERT TO BE BUILT BY SEPARATE CONTRACT. CPN#
- SAWCUT, REMOVE AND REPLACE EXISTING ASPHALT PAVING TO ALLOW FOR SMOOTH TRANSITION TO SIDEWALK CULVERT FLOWLINE.
- PERCOLATION PIT PER DETAIL H ON SHEET CG-501. GRATE ELEV=55.7
- INSTALL ROOF DRAIN TO CATCH FLOWS FROM THE WESTERN HALF OF THE NEIGHBORING ROOF. DIRECT FLOWS SOUTH. COORDINATE WITH OWNER OF BUILDING.
- ROOF DRAIN LOCATION PER ARCHITECTURAL PLANS. INSTALL 4" PVC PIPE THROUGH THICKENED SIDEWALK PER DETAIL E ON SHEET CG-501 AND PENETRATE CURB PER COA STD DWG #2235.
- 1.5' MAX HEIGHT HEADER CURB/RETAINING WALL AGAINST BUILDING. TOP OF CURB/WALL SHALL BE EVEN WITH THE FINISHED FLOOR. SEE STRUCTURAL PLANS FOR DETAIL.
- FINISHED FLOOR GRADE CHANGE AT EXISTING INTERNAL RAMPS.
- 2' WIDE FRACTURED FACE ROCK SWALE PER DETAIL F ON SHEET CG-501.
- 2' WIDE CURB OPENING.
- SIDEWALK PER DETAILS A & C ON SHEET CG-501.
- SIDEWALK TRANSITION PER DETAILS A & B ON SHEET CG-501.
- 62.3 LF ACO K100S TRENCH DRAIN WITH ADA GRATE (OR ENGINEER APPROVED EQUIVALENT) INSTALLED PER MANUFACTURER'S SPECIFICATIONS, RUNNING THE LENGTH OF THE SIDEWALK AS AN EMERGENCY OVERTURN FOR THE COURTYARD. GRATE ELEVATION SHOULD BE FLUSH WITH THE SIDEWALK GRADE.

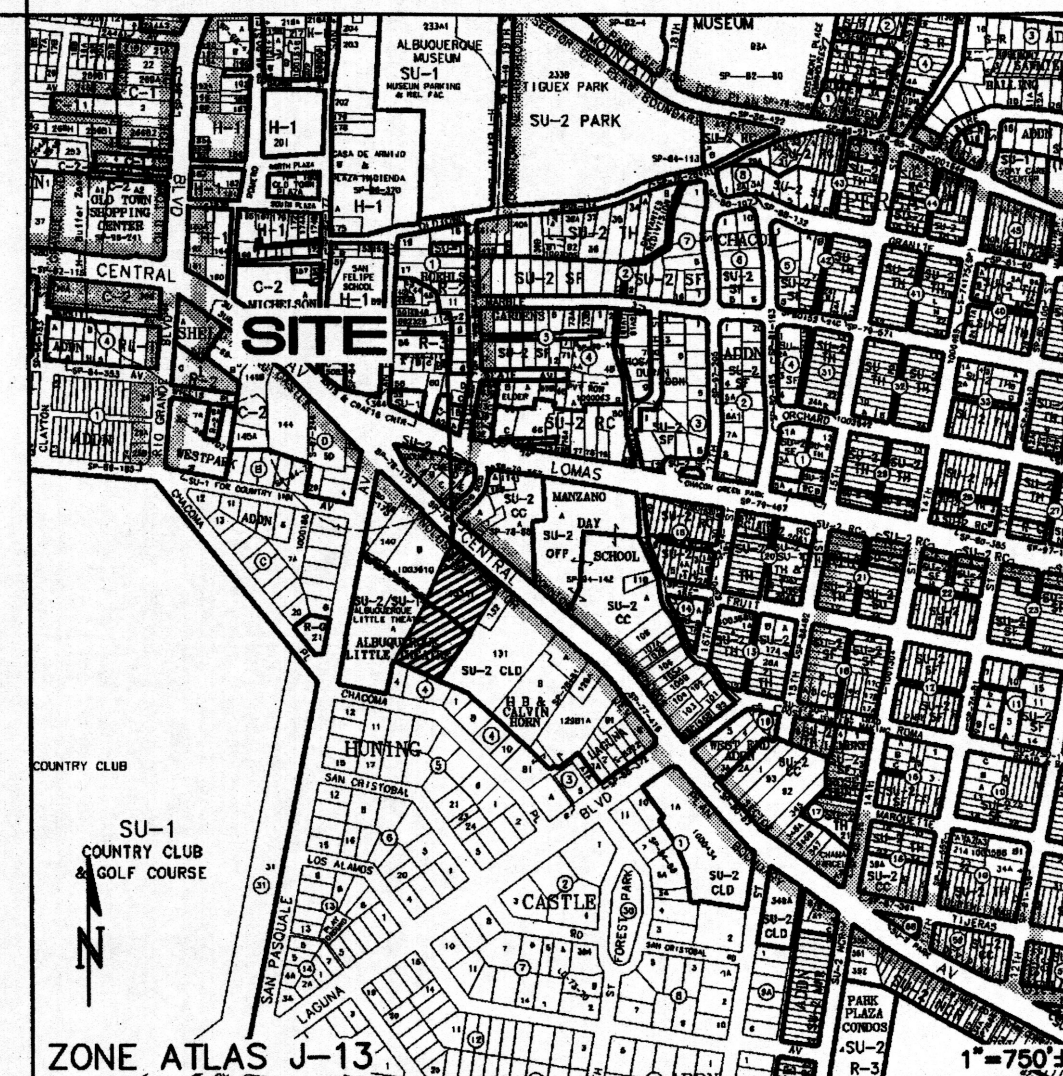
### PHASE 2 ITEMS:

- 2' WIDE CONCRETE ALLEY GUTTER PER DETAIL D ON SHEET CG-501.
- CURB OPENING WITH CONCRETE RUNDOWN PER DETAIL G ON SHEET CG-501.
- 1.5' HIGH HEADER CURB OR RETAINING WALL PER STRUCTURAL DETAILS.
- ROOF DRAIN LOCATIONS TO BE DETERMINED WITH PHASE 2 ARCHITECTURAL PLANS. INSTALL ACO DRAIN K100S TRENCH DRAIN (OR ENGINEER APPROVED EQUIVALENT) WITH ADA GRATE PER DETAIL E ON SHEET CG-501.

## GENERAL NOTES

- COORDINATE WORK WITH SITE PLAN, UTILITY PLAN, DEMOLITION PLAN, AND LANDSCAPE PLAN.
- ALL TRASH, DEBRIS, & SURFACE VEGETATION SHALL BE CLEARED AND LEGALLY DISPOSED OF OFFSITE.
- ALL SUBGRADE, OVEREXCAVATION, AND FILL SHALL BE PLACED AND / OR COMPACTED PER THE GEOTECHNICAL REPORT AND CITY OF ALBUQUERQUE SPECIFICATIONS.
- EXCAVATION IS UNCLASSIFIED AND INCLUDES EXCAVATION TO SUBGRADE ELEVATIONS INDICATED BY GEOTECHNICAL REPORT, REGARDLESS OF CHARACTER OF MATERIALS ENCOUNTERED.
- FINAL GRADES SHOWN REPRESENT TOP OF FINISH MATERIAL (I.E. TOP OF CONCRETE, TOP OF CONCRETE BUILDING PAD, TOP OF PAVEMENT MATERIAL, TOP OF LANDSCAPING MATERIAL, ETC.). CONTRACTOR SHALL GRADE, COMPACT SUBGRADE AND DETERMINE EARTHWORK ESTIMATES BASED ON ELEVATIONS SHOWN MINUS FINISH MATERIAL THICKNESSES.
- UNIFORMLY GRADE AREAS WITHIN LIMITS OF GRADING AS SHOWN ON PLAN. COMPACT WITH UNIFORM SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE INDICATED.
- MAXIMUM SLOPES SHALL BE 3:1. MINIMUM SLOPES SHALL BE 1% UNLESS OTHERWISE NOTED.
- EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. ALL UTILITIES SHOULD BE FIELD VERIFIED AND LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
- OWNER WILL PROVIDE SOIL TESTING AND INSPECTION SERVICES DURING EARTHWORK OPERATIONS. CONTRACTOR SHALL ALLOW TESTING LABS TO INSPECT AND IMPROVE COMPACTED SUBGRADES AND FILL LAYERS BEFORE FURTHER CONSTRUCTION WORK IS DONE. SHOULD COMPACTION TESTS INDICATE INADEQUATE DENSITY, CONTRACTOR SHALL PROVIDE ADDITIONAL COMPACTION AND TESTING AT THE CONTRACTOR'S SOLE EXPENSE.
- OWNER HAS ESTABLISHED PROPERTY BOUNDARY CORNERS. CONTRACTOR SHALL PROVIDE ALL OTHER CONSTRUCTION STAKING. CONTRACTOR SHALL LOCATE AND PRESERVE ALL BOUNDARY CORNERS AND REPLACE ANY LOST OR DISTURBED CORNERS AT CONTRACTOR'S SOLE EXPENSE.
- THE ENVIRONMENTAL PROTECTION AGENCY AND THE CITY OF ALBUQUERQUE REQUIRE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR PROJECTS WHERE CONSTRUCTION ACTIVITIES (INCLUDING OTHER LAND-DISTURBING ACTIVITIES) DISTURB ONE ACRE OR MORE (BY OTHERS). A SWPPP MUST BE INCLUDED WITH THE CONTRACTOR'S SUBMITTAL FOR A ROUGH GRADING, GRADING, PAVING OR BUILDING PERMIT. THE SWPPP MUST BE IN PDF OR MS WORD FORMAT ON A CD.
- ADJUST RIMS OF EXISTING UTILITY FEATURES AS NECESSARY TO MATCH NEW GRADES, TYPICAL.
- ALL NEW PAVEMENT SURFACES SHALL BE CONSTRUCTED WITH POSITIVE SLOPE AWAY FROM BUILDINGS AND POSITIVE SLOPE TOWARD EXISTING AND/OR PROPOSED DRAINAGE PATHS. WHERE NEW GRADES ARE SHOWN AS 'MATCH' OR '3', TRANSITIONS SHALL BE SMOOTH AND LEVEL.
- ALL FRACTURED FACE ROCK (F.F. ROCK) TO BE 6" AVG. DIA. ANGULAR FACED ROCK PLACED OVER GEOTEX 50 NON-WOVEN GEOTEXTILE (O.E.). NOTE: PERMANENT TURF REINFORCEMENT MATERIAL (LANDLOK TRM 450 O.E.) MAY BE SUBSTITUTED AT ALL AREAS REFERENCING F.F. ROCK EROSION PROTECTION.
- OWNER SHALL MAINTAIN EROSION PROTECTION ELEMENTS. OWNER SHALL INSPECT SITE YEARLY AND AFTER EACH RAINFALL TO IDENTIFY NEW AREAS OF EROSION AND INSTALL ADDITIONAL EROSION PROTECTION AS NEEDED BASED ON ACTUAL OCCURRENCES.

## VICINITY MAP



## PROJECT DATA

**LEGAL DESCRIPTION:** M.R.G.C.D. TRACTS 133-A-1, 133-A-2, 133-B, 134 AND 135-A PROPERTY MAP NO. 38, TRACT B-2-A, LANDS OF ALBUQUERQUE LITTLE THEATRE

**SITE AREA:** 2.338 AC

**FLOOD ZONE:** THE SUBJECT PROPERTY (AS SHOWN HEREON) LIES WITHIN ZONE 'X' (AREAS OF 500-YEAR FLOOD; AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 100-YEAR FLOOD) FLOOD PLAIN ACCORDANCE WITH THE NATIONAL FLOOD INSURANCE PROGRAM RATE MAP NUMBER 35001C0331E, EFFECTIVE DATE NOVEMBER 19, 2003.

**ENGINEER:** FRED ARFMAN, NMPE #7322  
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PHONE: (505) 268-8828

**SURVEYOR:** LARRY W. MEDRANO, NMPS #11993  
PRECISION SURVEYS, INC.  
8414-D JEFFERSON ST NE, ABQ. NM 87113  
PHONE: (505) 856-5700

**BENCHMARK:** ALBUQUERQUE CONTROL SURVEY MONUMENT '13-J13' HAVING A PUBLISHED ELEVATION OF 495X.XX FEET (NGVD 88)

## LEGEND

- PROPOSED CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- FLOW ARROW
- FINISH FLOOR ELEVATION
- SIDEWALK CULVERT
- FRACTURED FACE ROCK SWALE
- FLOWLINE ELEVATION

**ISAACSON & ARFMAN, P.A.**  
Consulting Engineering Associates  
128 Monroe Street N.E.  
Albuquerque, New Mexico 87108  
Ph. 505-268-8828 Fax. 505-268-2632  
1782 CG-101.dwg Mar 21, 2011

Country Club Place Development  
Lots 1 thru 3, Country Club Place  
Albuquerque, NM

project title  
sheet title  
CG-101

1007 mws MMM 5/5/10  
job number  
drawn by  
project manager  
date



**CALCULATIONS - Country Club Place**

Based on Drainage Design Criteria for City of Albuquerque Section 22.2, DPM, Vol 2, dated Jan., 1993

ON-SITE

AREA OF SITE: **101848.14** SF = 2.3  
100-year, 6-hour

HISTORIC FLOWS:

| Treatment SF           | %    |
|------------------------|------|
| Area A = 0             | 0%   |
| Area B = 5092.407      | 5%   |
| Area C = 15277.221     | 15%  |
| Area D = 81478.512     | 80%  |
| Total Area = 101848.14 | 100% |

DEVELOPED FLOWS:

| Treatment SF           | %    |
|------------------------|------|
| Area A = 0             | 0%   |
| Area B = 0             | 0%   |
| Area C = 5092.407      | 15%  |
| Area D = 86571         | 85%  |
| Total Area = 101848.14 | 100% |

EXCESS PRECIP:

| Precip. Zone | E <sub>A</sub> | E <sub>B</sub> | E <sub>C</sub> | E <sub>D</sub> |
|--------------|----------------|----------------|----------------|----------------|
| 2            | 0.53           | 0.78           | 1.13           | 2.12           |

On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)

Weighted E =  $\frac{E_A A_A + E_B A_B + E_C A_C + E_D A_D}{A_A + A_B + A_C + A_D}$

Historic E = 1.90 in. Developed E = 1.97 in.

On-Site Volume of Runoff: V<sub>360</sub> = E\*A / 12

Historic V<sub>360</sub> = 16164 CF Developed V<sub>360</sub> = 16733 CF

On-Site Peak Discharge Rate: Q<sub>p</sub> = Q<sub>PA</sub>A<sub>A</sub> + Q<sub>PB</sub>A<sub>B</sub> + Q<sub>PC</sub>A<sub>C</sub> + Q<sub>PD</sub>A<sub>D</sub> / 43,560

For Precipitation Zone 2

| Q <sub>PA</sub> | Q <sub>PB</sub> | Q <sub>PC</sub> | Q <sub>PD</sub> |
|-----------------|-----------------|-----------------|-----------------|
| 1.56            | 2.28            | 3.14            | 4.70            |

Historic Q<sub>p</sub> = 10.2 CFS Developed Q<sub>p</sub> = 10.4 CFS

The overall site consists of 2.3381115702493 acre(s) located in Zone 2 which is designated as properties D. The 100-year, 6-hour historic discharge is 10.2 cfs. The proposed developed discharge is 10.4 cfs.

**BASIN NO. A** DESCRIPTION Main basin discharges across ALTA to San Ramon

Area of basin flows = 2330 SF

The following calculations are based on Treatment areas as shown in table to the right

Sub-basin Weighted Excess Precipitation (see formula above)

Weighted E = 1.97 in.

Sub-basin Volume of Runoff (see formula above)

V<sub>360</sub> = 15614 CF

Sub-basin Peak Discharge Rate: (see formula above)

Q<sub>p</sub> = 9.7 cfs

**BASIN NO. B** DESCRIPTION Driveway discharges to Central

Area of basin flows = 483 SF

The following calculations are based on Treatment areas as shown in table to the right

Sub-basin Weighted Excess Precipitation (see formula above)

Weighted E = 2.12 in.

Sub-basin Volume of Runoff (see formula above)

V<sub>360</sub> = 863 CF

Sub-basin Peak Discharge Rate: (see formula above)

Q<sub>p</sub> = 0.5 cfs

**BASIN NO. C** DESCRIPTION Historic driveway

Area of basin flows = 1948 SF

The following calculations are based on Treatment areas as shown in table to the right

Sub-basin Weighted Excess Precipitation (see formula above)

Weighted E = 1.29 in.

Sub-basin Volume of Runoff (see formula above)

V<sub>360</sub> = 210 CF

Sub-basin Peak Discharge Rate: (see formula above)

Q<sub>p</sub> = 0.1 cfs

**BASIN NO. Offsite** DESCRIPTION West half of adjoining Property's roof

Area of basin flows = 1003 SF

The following calculations are based on Treatment areas as shown in table to the right

Sub-basin Weighted Excess Precipitation (see formula above)

Weighted E = 2.12 in.

Sub-basin Volume of Runoff (see formula above)

V<sub>360</sub> = 188 CF

Sub-basin Peak Discharge Rate: (see formula above)

Q<sub>p</sub> = 0.1 cfs

**LEGAL DESCRIPTION:** M.R.G.C.D. TRACTS 133-A-1, 133-A-2, 133-B, 134 AND 135-A PROPERTY MAP NO. 38, TRACT B-2-A, LANDS OF ALBUQUERQUE LITTLE THEATRE

**SITE AREA:** 2.338 AC

**FLOOD ZONE:** THE SUBJECT PROPERTY (AS SHOWN HEREON) LIES WITHIN ZONE "X" (AREAS OF 500-YEAR FLOOD; AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 100-YEAR FLOOD) FLOOD PLAIN ACCORDANCE WITH THE NATIONAL FLOOD INSURANCE PROGRAM RATE MAP NUMBER 35001C0331E, EFFECTIVE DATE NOVEMBER 19, 2003.

**ENGINEER:** GENIEVIEVE DONART  
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**SURVEYOR:** LARRY W. MEDRANO, NMPS #1993  
PRECISION SURVEYS, INC.  
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PHONE: (505) 856-5700

**BENCHMARK:** ALBUQUERQUE CONTROL SURVEY MONUMENT "13-J13" HAVING A PUBLISHED ELEVATION OF 4953.44 FEET (NAVD 29)

**PROPERTY:** THE SITE IS A 2.338-ACR DEVELOPED COMMERCIAL PROPERTY (ZONED SU-2) LOCATED WITHIN C.O.A. VICINITY MAP J-13. IT IS LOCATED ON THE SOUTH SIDE OF CENTRAL AVENUE AND EAST OF SAN PASQUALE AVENUE. THE PROPERTY, CONSISTING OF 2 TRACTS, IS BOUND ON THE NORTH BY CENTRAL AVENUE, TO THE EAST BY DEVELOPED COMMERCIAL (SAME OWNER), TO THE SOUTH BY DEVELOPED RESIDENTIAL AND TO THE WEST BY DEVELOPED COMMERCIAL PROPERTY (THE ALBUQUERQUE LITTLE THEATRE). THE PROPERTY CONSISTS OF ONE EXISTING DRAINAGE BASIN THAT CONSISTS MAINLY OF ASPHALT PAVED PARKING AND TWO COMMERCIAL BUILDINGS. THIS BASIN HISTORICALLY DISCHARGES 10.2 CFS THROUGH THE LITTLE THEATRE PARKING LOT WEST TO FREE DISCHARGE TO SAN PASQUALE AVENUE.

**OFF-SITE:** MINIMAL OFFSITE STORM WATER WILL CONTINUE TO BE ACCEPTED FROM THE ROOF DRAINS OF THE BUILDING TO THE EAST AND EVENTUALLY DISCHARGE THROUGH THE LITTLE THEATRE PARKING LOT PER HISTORIC CONDITIONS.

**PROPOSED IMPROVEMENTS:** THE TWO-PHASE PLAN INCLUDES THE CONSTRUCTION OF A NEW 6400 SF RETAIL/OFFICE BUILDING AND A COVERED PATIO ADDITION TO THE EXISTING NW BUILDING. AS WELL AS ASSOCIATED ASPHALT PAVING AND SITE LANDSCAPING.

**DRAINAGE PLAN CONCEPT:** THE PROPOSED IMPROVEMENTS WILL GENERATE APPROXIMATELY 10.4 CFS. THE MAJORITY OF THIS DISCHARGE, 8.7 CFS (THE MAIN BASIN AND OFF-SITE FLOWS), WILL CONTINUE TO DRAIN THROUGH THE ALBUQUERQUE LITTLE THEATRE PARKING LOT (HISTORIC RATE = 10.2 CFS). THE RUN-OFF FROM THE LANDSCAPED AREAS ASSOCIATED WITH BOTH EXISTING BUILDINGS AND THE DRIVEPAD (0.5 CFS) WILL BE ROUTED TO FREE DISCHARGE INTO CENTRAL AVE AND ENTER THE EXISTING STORM DRAIN SYSTEM.

C

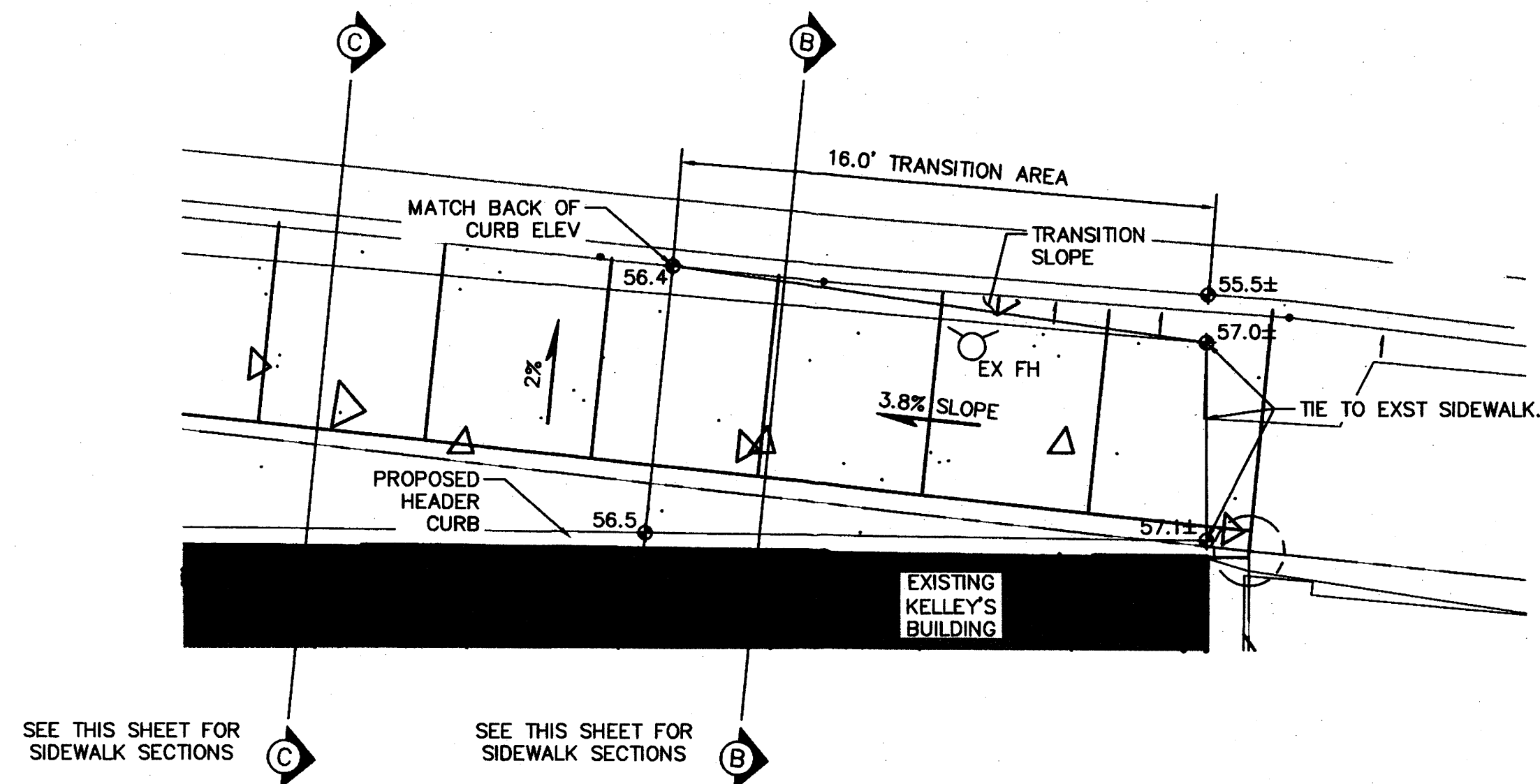
Country Club Place Development  
Lots 1 thru 3, Country Club Place  
Albuquerque, NM

## DRAINAGE NOTES AND CALCULATIONS

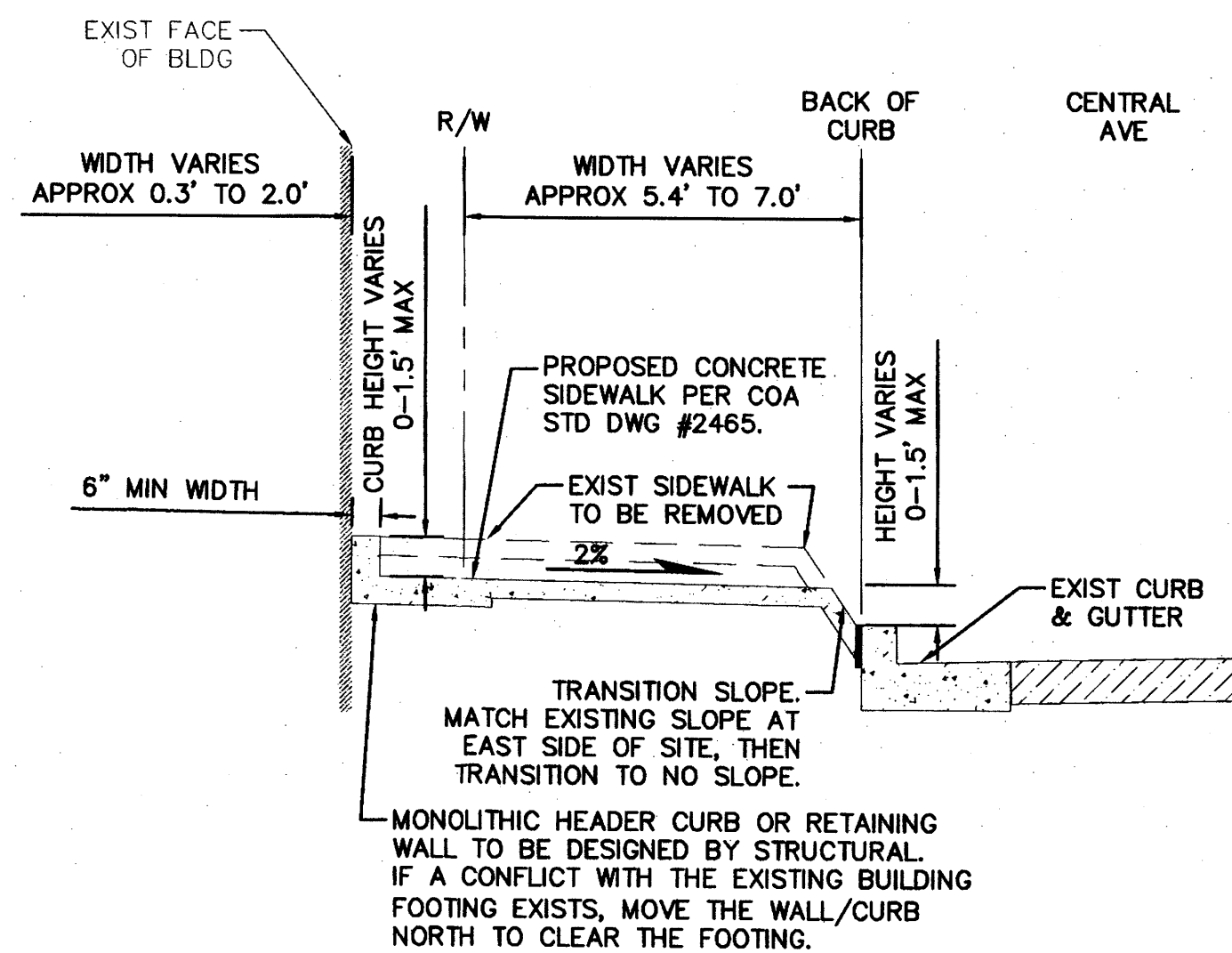
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# CG-502

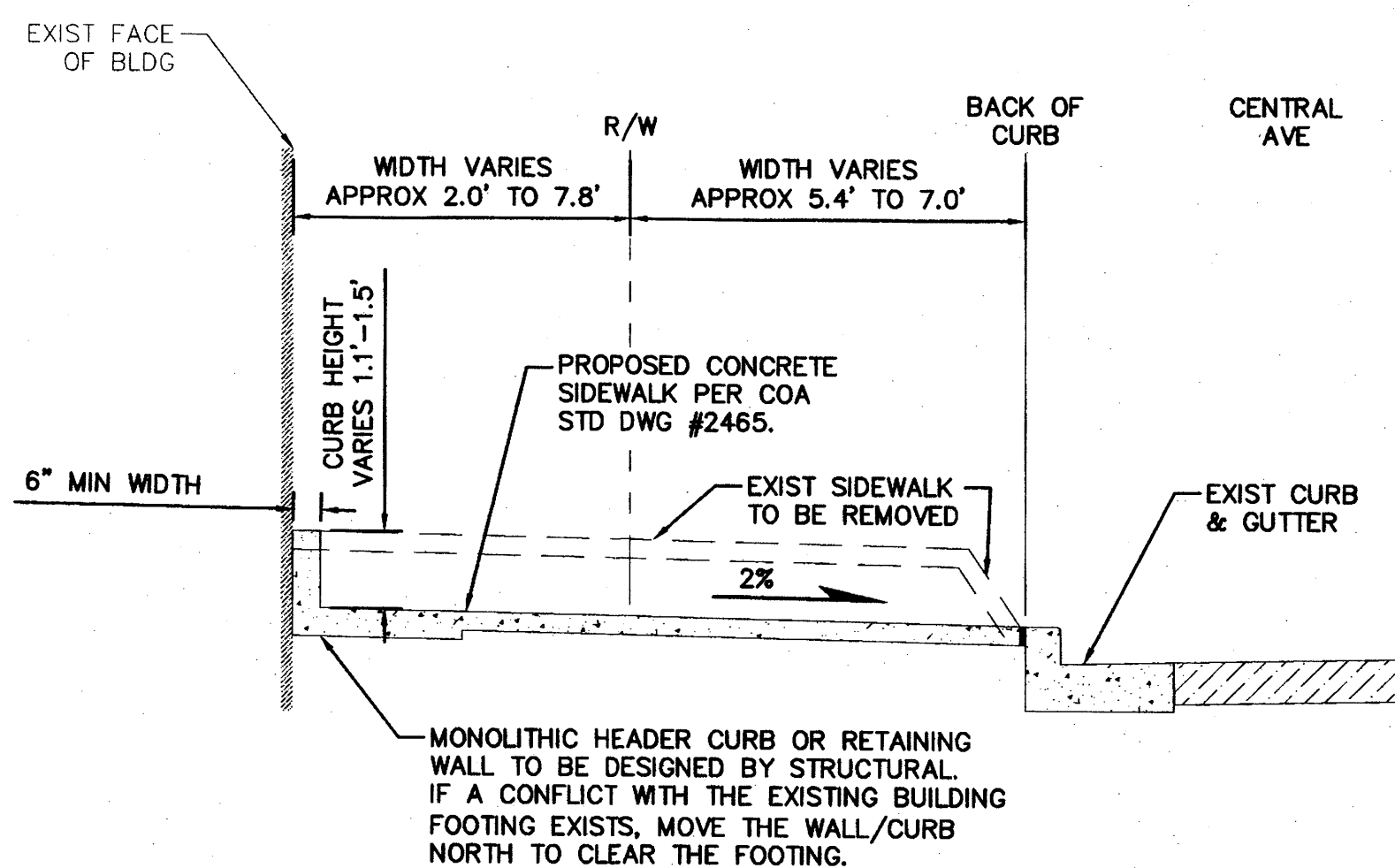




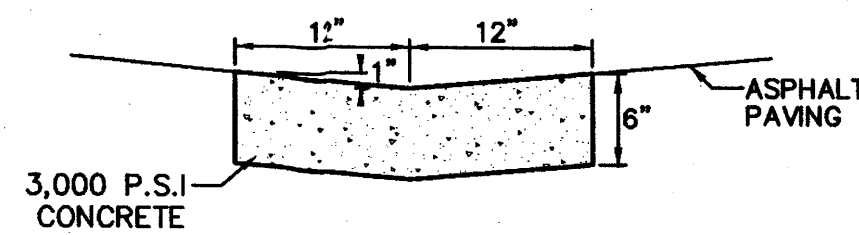
**A** SIDEWALK TRANSITION AREA  
N.T.S.



**B** SIDEWALK TRANSITION AREA  
N.T.S.

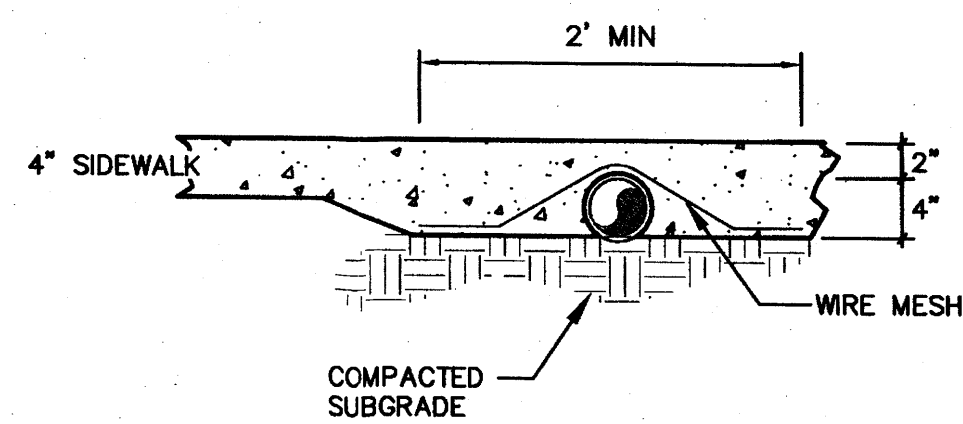


**C** SIDEWALK IN FRONT OF KELLEY'S BUILDING  
N.T.S.

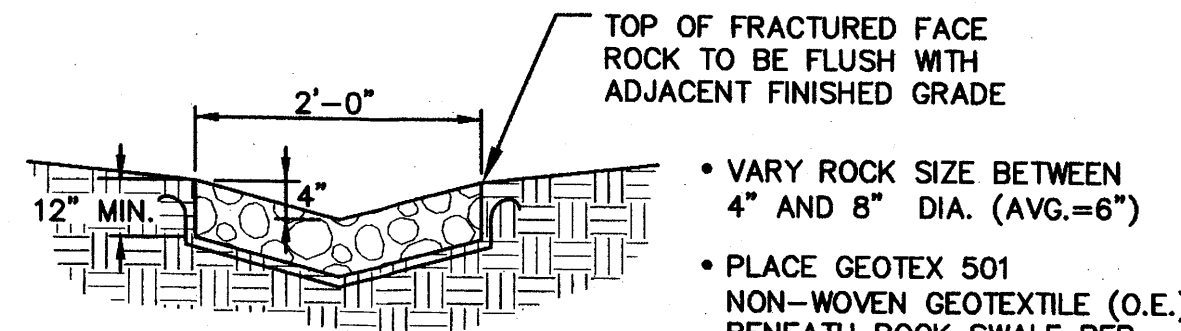


- GENERAL NOTES**
1. PROVIDE CONST CONTROL JOINTS @ 7' O.C. MAX.
  2. EDGES SHOULD BE REMOVED WITH 3/8" EDGING TOOL

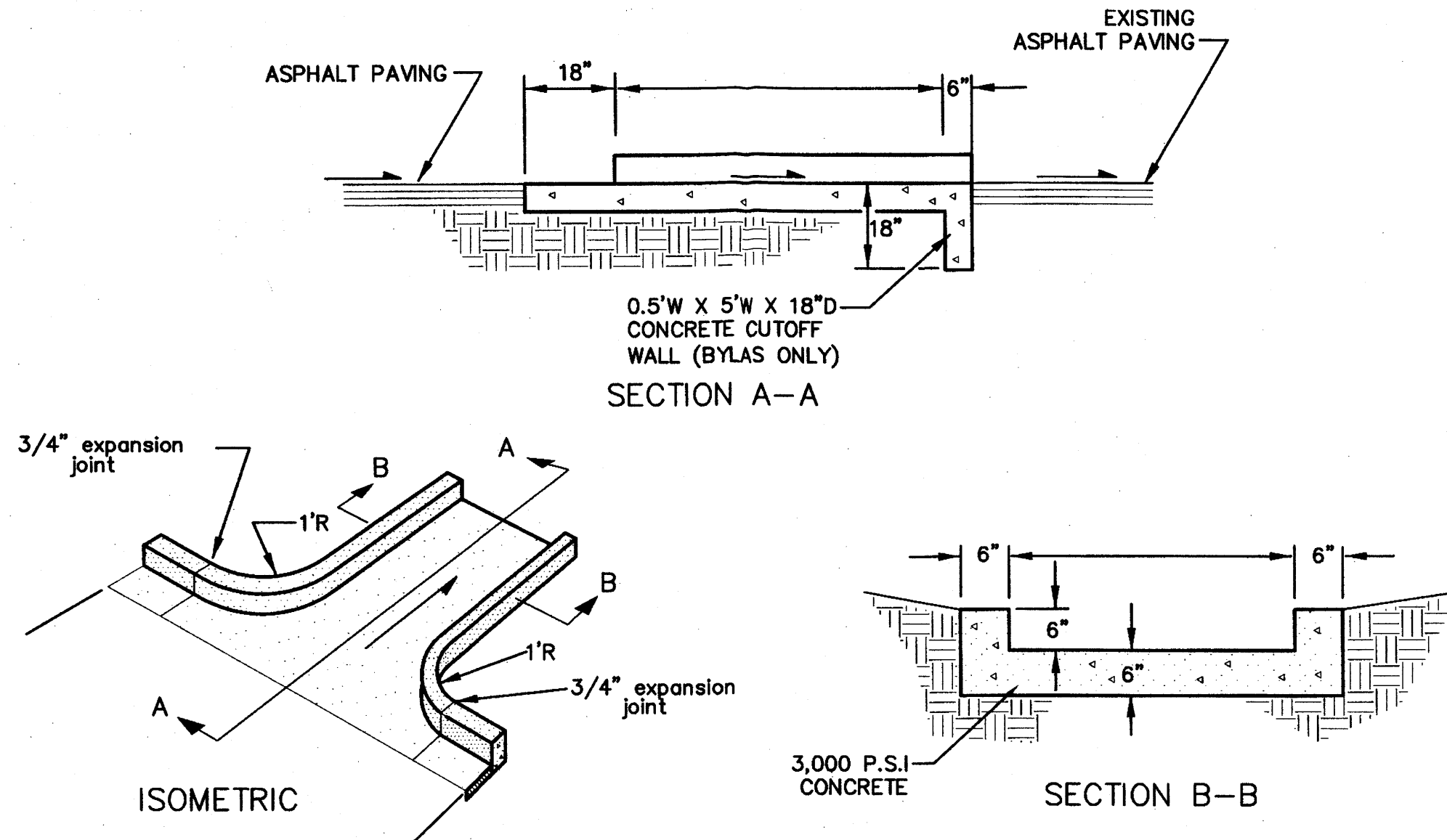
**D** CONCRETE ALLEY GUTTER  
N.T.S.



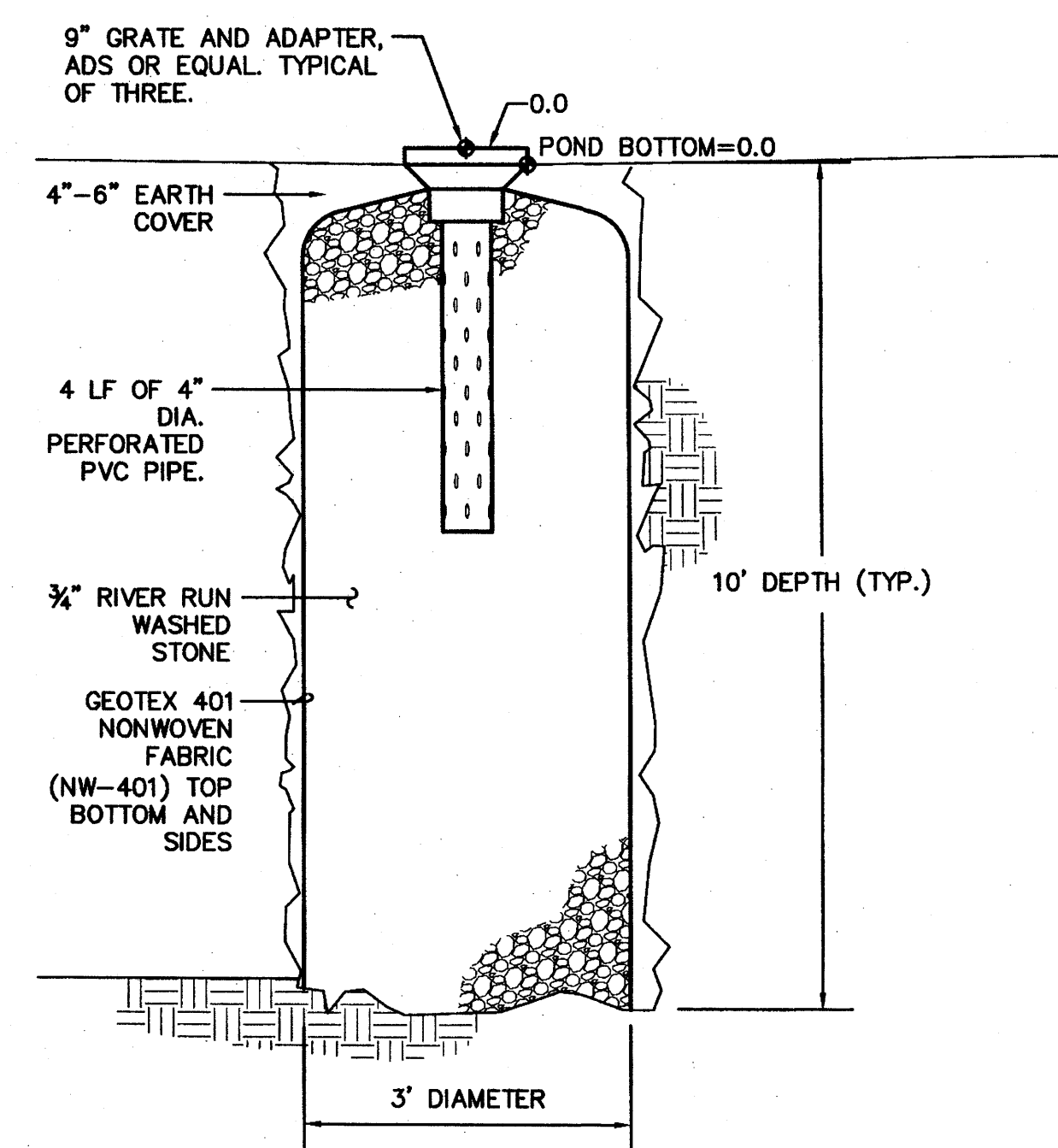
**E** UNDERWALK PIPE  
N.T.S.



**F** ANGULAR ROCK SWALE  
N.T.S.

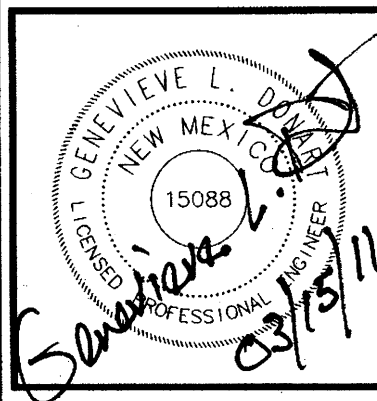


**G** CURB CUT / RUNDOWN  
N.T.S.



**H** POND PERCOLATION PIT  
N.T.S.

**ISAACSON & ARFMAN, P.A.**  
Consulting Engineering Associates  
128 Monroe Street N.E.  
Albuquerque, New Mexico 87108  
Ph. 505-268-8828 Fax. 505-268-2632



|            |       |          |     |                 |    |      |        |
|------------|-------|----------|-----|-----------------|----|------|--------|
| job number | 10-07 | drawn by | rms | project manager | MM | date | 5/5/10 |
|------------|-------|----------|-----|-----------------|----|------|--------|

project title  
**Country Club Place Development**  
Lots 1 thru 3, Country Club Place  
Albuquerque, NM  
sheet title  
**GRADING DETAILS**



# **EASTERN BUILDING DRAINAGE CERTIFICATION**

I, Genevieve L. Donart, NMPE #15088, of the firm Isaacson & Arfman, P.A., hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 3/15/11. The record information presented herein is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

- The westerly existing building is still under reconstruction. The adjoining private sidewalks, roof drains, and patio are not completed, and must be complete prior to final certificate of occupancy. They are not vital to the function of the easterly "Aveda" building, so shouldn't impede the CO for the easterly building.
- The concrete alley gutter on the SW corner was changed to a Phase 2 item, at which time new asphalt grades to the south will allow for improved drainage of the valley gutter. The asphalt will be reworked to direct the drainage south prior to CO for the easterly building.
- The roof drains on the south side of the Aveda building were changed to discharge across the sidewalk, rather than through 4" PVC pipes under the sidewalk. This change is acceptable.

This certification is submitted in support of a request for Certificate of Occupancy for the easterly building.

The record information presented herein is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Genevieve L. Donart  
NMPE #15088  
NEW MEXICO  
15088  
12/01/11  
LICENSED PROFESSIONAL ENGINEER

# **WESTERN BUILDING DRAINAGE CERTIFICATION**

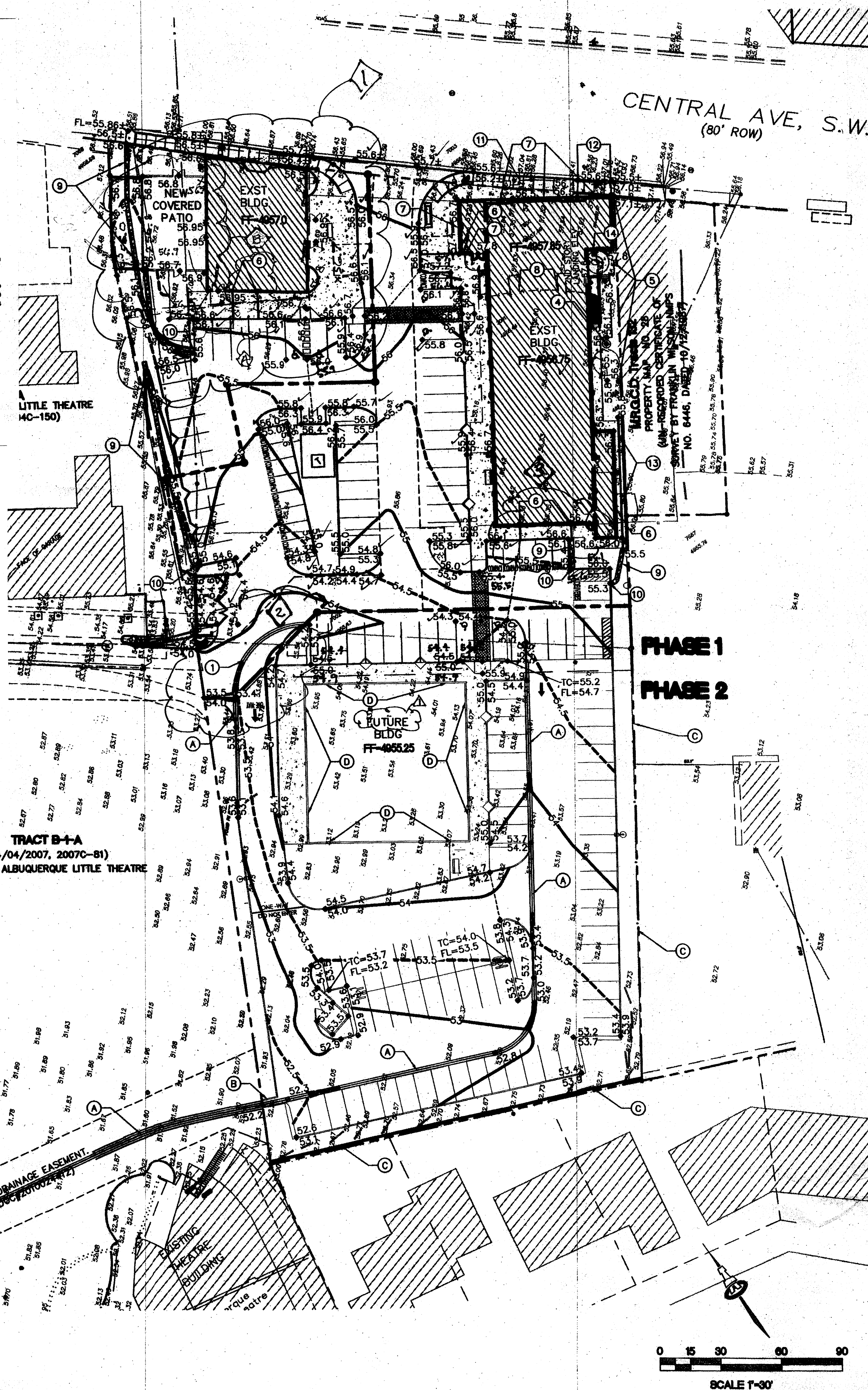
I, Genevieve L. Donart, NMPE #15088, of the firm Isaacson & Arfman, P.A., hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 3/15/11. The record information presented herein is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

- The roof drains on the south side of the Vinalgrete building were changed to discharge across the sidewalk, rather than through 4" PVC pipes under the sidewalk. This change is acceptable.
- The covered patio has not been covered, and has been expanded west to the property line. The western 1/3 of the courtyard will be a stormwater harvesting area for a garden. Drainage holes were added to the south side of the wall to allow water to overflow from the stormwater harvesting area. This change is acceptable.

This certification is submitted in support of a request for Certificate of Occupancy for the westerly building.

The record information presented herein is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Genevieve L. Donart  
NMPE #15088  
NEW MEXICO  
15088  
10/31/12  
LICENSED PROFESSIONAL ENGINEER



0 15 30 60 90  
SCALE 1"=30'

## **KEYED NOTES**

### **PHASE 1 ITEMS:**

- 2' WIDE CONCRETE ALLEY GUTTER PER DETAIL D ON SHEET CG-501.
- 2' WIDE SIDEWALK CULVERT TO BE BUILT BY SEPARATE CONTRACT. CPN #752083.
- SAWCUT, REMOVE AND REPLACE EXISTING ASPHALT PAVING TO ALLOW FOR SMOOTH TRANSITION TO SIDEWALK CULVERT FLOWLINE.
- PERCOLATION PIT PER DETAIL H ON SHEET CG-501. GRATE ELEV=55.7
- INSTALL ROOF DRAIN TO CATCH FLOWS FROM THE WESTERN HALF OF THE NEIGHBORING ROOF. DIRECT FLOWS SOUTH. COORDINATE WITH OWNER OF BUILDING.
- ROOF DRAIN LOCATION PER ARCHITECTURAL PLANS. INSTALL 4" PVC PIPE THROUGH THICKENED SIDEWALK PER DETAIL E ON SHEET CG-501 AND PENETRATE CURB PER COA STD DWG #2235.
- 1.5' MAX HEIGHT HEADER CURB/RETAINING WALL AGAINST BUILDING. TOP OF CURB/WALL SHALL BE EVEN WITH THE FINISHED FLOOR. SEE STRUCTURAL PLANS FOR DETAIL.
- FINISHED FLOOR GRADE CHANGE AT EXISTING INTERNAL RAMPS.
- 2' WIDE FRACTURED FACE ROCK SWALE PER DETAIL F ON SHEET CG-501.
- 2' WIDE CURB OPENING.
- SIDEWALK PER DETAILS A & C ON SHEET CG-501.
- SIDEWALK TRANSITION PER DETAILS A & B ON SHEET CG-501.
- 62.3 LF ACO K100S TRENCH DRAIN WITH ADA GRATE (OR ENGINEER APPROVED EQUIVALENT) INSTALLED PER MANUFACTURER'S SPECIFICATIONS. RUNNING THE LENGTH OF THE SIDEWALK AS AN EMERGENCY OVERFLOW FOR THE COURTYARD. GRATE ELEVATION SHOULD BE FLUSH WITH THE SIDEWALK GRADE.
- ROOF DRAIN LOCATION PER ARCHITECTURAL PLANS.

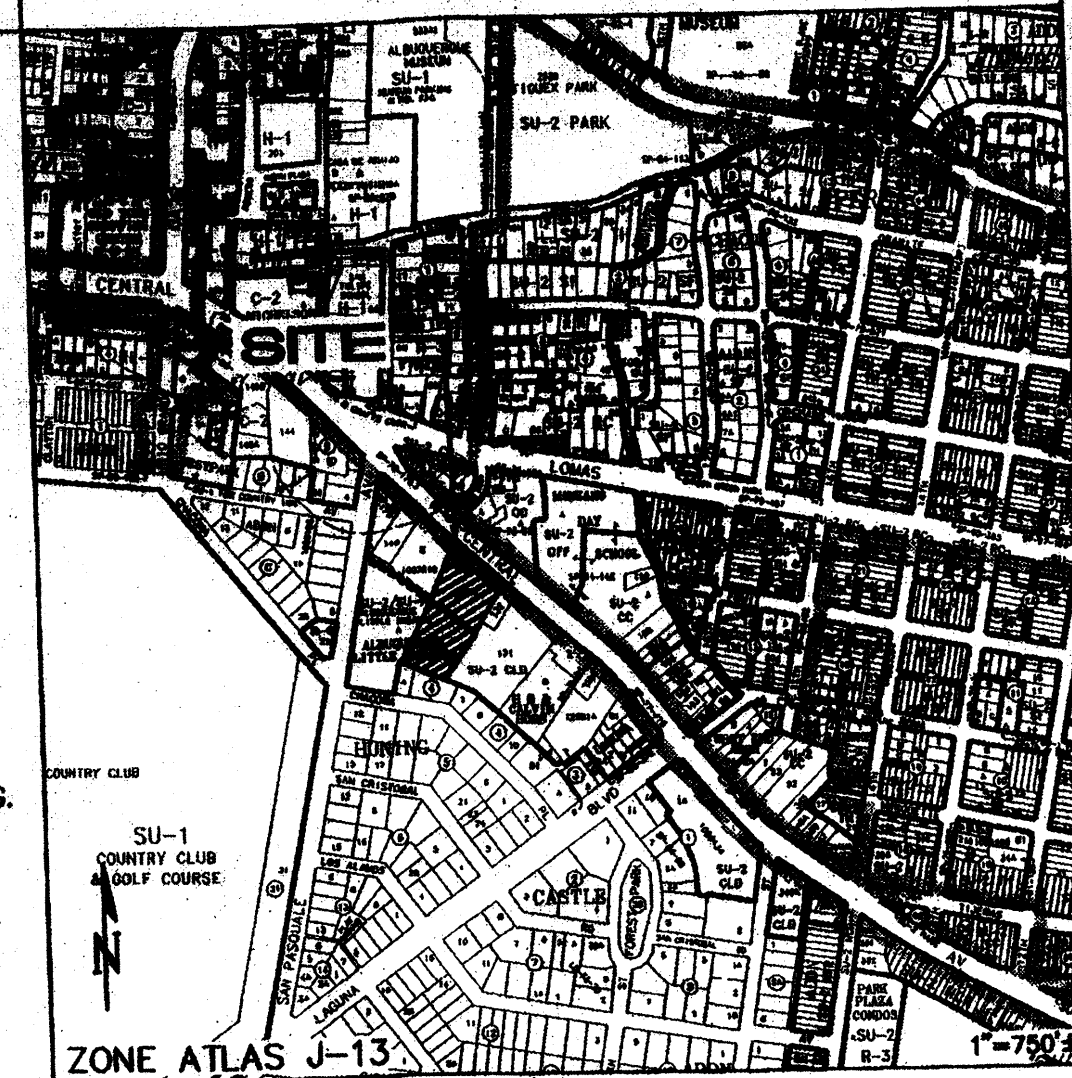
### **PHASE 2 ITEMS:**

- 2' WIDE CONCRETE ALLEY GUTTER PER DETAIL D ON SHEET CG-501.
- CURB OPENING WITH CONCRETE RUNDOWN PER DETAIL G ON SHEET CG-501.
- 1.5' HIGH HEADER CURB OR RETAINING WALL PER STRUCTURAL DETAILS.
- ROOF DRAIN LOCATIONS TO BE DETERMINED WITH PHASE 2 ARCHITECTURAL PLANS. INSTALL ACO DRAIN K100S TRENCH DRAIN (OR ENGINEER APPROVED EQUIVALENT) WITH ADA GRATE PER DETAIL E ON SHEET CG-501.

## **GENERAL NOTES**

- COORDINATE WORK WITH SITE PLAN, UTILITY PLAN, DEMOLITION PLAN, AND LANDSCAPE PLAN.
- ALL TRASH, DEBRIS, & SURFACE VEGETATION SHALL BE CLEARED AND LEGALLY DISPOSED OF OFFSITE.
- ALL SUBGRADE, OVEREXCAVATION, AND FILL SHALL BE PLACED AND / OR COMPACTED PER THE GEOTECHNICAL REPORT AND CITY OF ALBUQUERQUE SPECIFICATIONS.
- EXCAVATION IS UNCLASSIFIED AND INCLUDES EXCAVATION TO SUBGRADE ELEVATIONS INDICATED BY GEOTECHNICAL REPORT, REGARDLESS OF CHARACTER OF MATERIALS ENCOUNTERED.
- FINAL GRADES SHOWN REPRESENT TOP OF FINISH MATERIAL (I.E. TOP OF CONCRETE, TOP OF CONCRETE BUILDING PAD, TOP OF PAVEMENT MATERIAL, TOP OF LANDSCAPING MATERIAL, ETC.). CONTRACTOR SHALL GRADE, COMPACT SUBGRADE AND DETERMINE EARTHWORK ESTIMATES BASED ON ELEVATIONS SHOWN MINUS FINISH MATERIAL THICKNESSES.
- UNIFORMLY GRADE AREAS WITHIN LIMITS OF GRADING AS SHOWN ON PLAN. COMPACT WITH UNIFORM SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE INDICATED.
- MAXIMUM SLOPES SHALL BE 3:1. MINIMUM SLOPES SHALL BE 1% UNLESS OTHERWISE NOTED.
- EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. ALL UTILITIES SHOULD BE FIELD VERIFIED AND LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
- OWNER WILL PROVIDE SOIL TESTING AND INSPECTION SERVICES DURING EARTHWORK OPERATIONS. CONTRACTOR SHALL ALLOW TESTING LABS TO INSPECT AND APPROVE COMPACTED SUBGRADES AND FILL LAYERS BEFORE FURTHER CONSTRUCTION WORK IS DONE. SHOULD COMPACTION TESTS INDICATE INADEQUATE DENSITY, CONTRACTOR SHALL PROVIDE ADDITIONAL COMPACTION AND TESTING AT THE CONTRACTOR'S SOLE EXPENSE.
- OWNER HAS ESTABLISHED PROPERTY BOUNDARY CORNERS. CONTRACTOR SHALL PROVIDE ALL OTHER CONSTRUCTION STAKING. CONTRACTOR SHALL LOCATE AND PRESERVE ALL BOUNDARY CORNERS AND REPLACE ANY LOST OR DISTURBED CORNERS AT CONTRACTOR'S SOLE EXPENSE.
- THE ENVIRONMENTAL PROTECTION AGENCY AND THE CITY OF ALBUQUERQUE REQUIRE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR PROJECTS WHERE CONSTRUCTION ACTIVITIES (INCLUDING OTHER LAND-DISTURBING ACTIVITIES) DISTURB ONE ACRE OR MORE (BY OTHERS). A SWPPP MUST BE INCLUDED WITH THE CONTRACTOR'S SUBMITTAL FOR A ROUGH GRADING, GRADING, PAVING OR BUILDING PERMIT. THE SWPPP MUST BE IN PDF OR MS WORD FORMAT ON A CD.
- ADJUST RIMS OF EXISTING UTILITY FEATURES AS NECESSARY TO MATCH NEW GRADES, TYPICAL.
- ALL NEW PAVEMENT SURFACES SHALL BE CONSTRUCTED WITH POSITIVE SLOPE AWAY FROM BUILDINGS AND POSITIVE SLOPE TOWARD EXISTING AND/OR PROPOSED DRAINAGE PATHS. WHERE NEW GRADES ARE SHOWN AS 'MATCH' OR '±', TRANSITIONS SHALL BE SMOOTH AND LEVEL.
- ALL FRACTURED FACE ROCK (F.F. ROCK) TO BE 6" AVG. DIA. ANGULAR FAGED ROCK PLACED OVER GEOTEX 50 NON-WOVEN GEOTEXTILE (O.E.). NOTE: PERMANENT TURF REINFORCEMENT MATERIAL (LANDLOK TRM 450 O.E.) MAY BE SUBSTITUTED AT ALL AREAS REFERENCING F.F. ROCK EROSION PROTECTION.
- OWNER SHALL MAINTAIN EROSION PROTECTION ELEMENTS. OWNER SHALL INSPECT SITE YEARLY AND AFTER EACH RAINFALL TO IDENTIFY NEW AREAS OF EROSION AND INSTALL ADDITIONAL EROSION PROTECTION AS NEEDED BASED ON ACTUAL OCCURRENCES.

## **VICINITY MAP**



## **PROJECT DATA**

**LEGAL DESCRIPTION:** M.R.G.C.D. TRACTS 133-A-1, 133-A-2, 133-B, 134 AND 135-A PROPERTY MAP NO. 38, TRACT B-2-A, LANDS OF ALBUQUERQUE LITTLE THEATRE

**SITE AREA:** 2.338 AC

**FLOOD ZONE:** THE SUBJECT PROPERTY (AS SHOWN HEREON) LIES WITHIN ZONE "X" (AREAS OF 500-YEAR FLOOD; AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 100-YEAR FLOOD) FLOOD PLAIN ACCORDANCE WITH THE NATIONAL FLOOD INSURANCE PROGRAM RATE MAP NUMBER 35001C0331E, EFFECTIVE DATE NOVEMBER 19, 2003.

**ENGINEER:** FRED ARFMAN, NMPE #7322  
ISAACSON & ARFMAN, P.A.  
128 MONROE ST NE, ABO. NM 87108  
PHONE: (505) 268-8828

**SURVEYOR:** LARRY W. MEDRANO, NMPS #11993  
PRECISION SURVEYS, INC.  
8414-D JEFFERSON ST NE, ABO. NM 87113  
PHONE: (505) 856-5700

**BENCHMARK:** ALBUQUERQUE CONTROL SURVEY MONUMENT  
"13-113" HAVING A PUBLISHED ELEVATION OF 4956.00 FEET (NGVD 88)

## **LEGEND**

- PROPOSED CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- FLOW ARROW
- FF - 6881.0 FINISH FLOOR ELEVATION
- SIDEWALK CULVERT
- FRACTURED FACE ROCK SWALE
- FLOWLINE ELEVATION

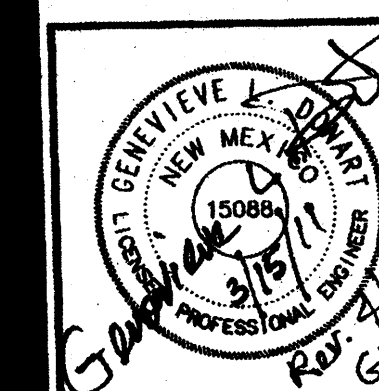
**ISAACSON & ARFMAN, P.A.**  
Consulting Engineering Associates  
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1782 CG-101.dwg May 04, 2011

REVISION MINOR TEXT CHANGES

DATE 5/14/11  
REV

**MH**  
Mullen Heller  
Architecture P.C.

924 Park Avenue SW  
Suite B  
Albuquerque, NM 87102  
505 268 4144 [p]  
505 268 4244 [f]



job number 10-07  
drawn by mms  
project manager MAN  
date 5/5/10

project file  
Country Club Place Development  
Lots 1 thru 3, Country Club Place  
Albuquerque, NM

sheet file  
GRADING AND DRAINAGE PLAN

CG-101