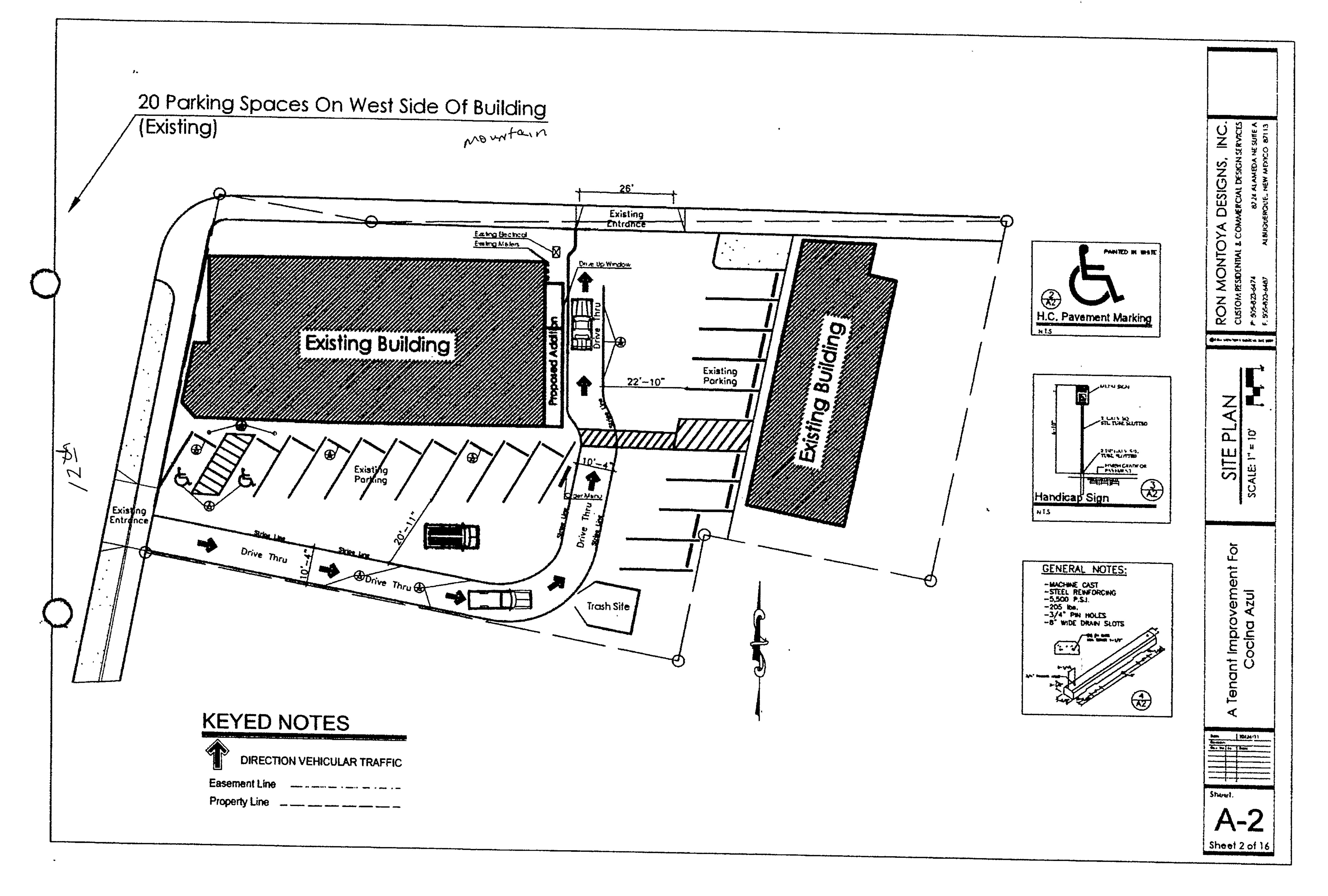
Will that there. 20 Parking Spaces On West Side Of Building (Existing) Existing Entrance Exiting Melan PANTED IN WHITE H.C. Pavement Marking Existing Building Existing Parking 22'-10" STL TUNE SUTTED TOL WATER PYFOFMYT MARIN CEVUR OR Handicap Sign Existing Entrence GENERAL NOTES: -MACHINE CAST
-STEEL REWFORCING
-5,500 P S.I
-205 Ibs.
-3/4" PIN HOLES
-8" WIDE DRAIN SLOTS Trash Site. ΈŬ KEYED NOTES DIRECTION VEHICULAR TRAFFIC Property Line _______ Sheet 2 of 16

SECHOR PLAN NET GOODSHOODS.







Planning Department Transportation Development Services Section

July 6, 2007

Treveston R. Elliott, Registered Architect 811 12th Street NW Albuquerque, NM 87102

Re:

Certification Submittal for Final Building Certificate of Occupancy for

Sunshine Cafe, [J-13 / D13A] 1134 Mountain Road NW

Architect's Stamp Dated 06/22/07

Dear Mr. Elliott:

Singerely,

P.O. Box 1293

The TCL / Letter of Certification submitted on July 6, 2007 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Albuquerque

New Mexico 87103

www.cabq.gov

Nijø E. Salgado-Fernandez, P.E.

Sénior Traffic Engineer

Qevelopment and Building Services

Planning Department

c: Engineer

Hydrology file CO Clerk

WORKSHOP ARCHITECTS

TREVESTON ELLIOTT ARCHITECT

811 12 TH Street NW
Albuquerque New Mexico 87102
505.247.0756 p
505.259.4617 c
505.242.2186 f
tredesign@earthlink.net

Traffic Certification

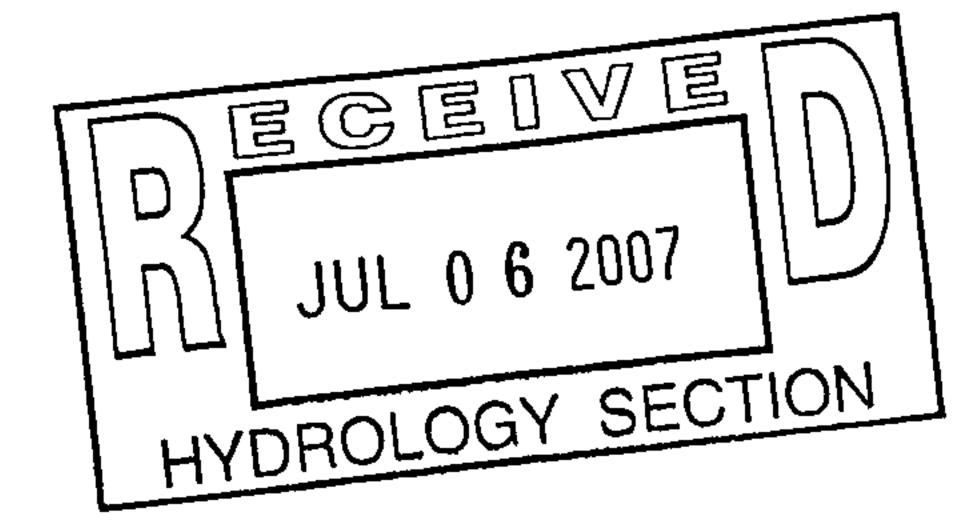
I Treveston Elliott NMRA, of the firm WorkShop Architects, hereby certify that this project is in substantial compliance with and in accordance with the design intent of the TCL approved plan dated 09-20-2007. The record information edited onto the original design document has been obtained by Treveston Elliott of the firm WorkShop Architects. I further certify that I have personally visited the project site on June 22, 2007 and have determined by visual inspection that the survey data provided is representative of the actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Certificate of Occupancy.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Treveston Elliott Architect

June 22, 2007

OF NEW
OF NEW
OF REVESTON R. O
FILLIOTT
No. 4136
No. 4136



	PORTATION INFORMATION SHEET
	(Rev. 12/05)
PROJECT TITLE: SUNSUNG CAFT	• ZONE MAP/DRG. F(LE #
DRB#: EPC#:	WORK ORDER#:
LEGAL DESCRIPTION:	
CITY ADDRESS: //34 MOWTAW ROAD	5 NW
CITT ADDRESS	
ENGINEERING FIRM:	CONTRA CTI-
ADDRESS:	CONTACT: PHONE:
CITY, STATE:	ZIP CODE:
CIII, DIMILL.	
OWNER:	CONTACT:
ADDRESS:	PHONE:
CITY, STATE:	ZIP CODE:
ARCHITECT: Was buse Decise	CONTACT: TREUZSTON EL-1611
ARCHITECT: WORKSUPP DECHITECTS ADDRESS: 21 12Th ST. NW	PHONE: 257-4617
CITY, STATE: ALB. NM 871	ZIP CODE: <u>8710で</u>
SURVEYOR:	CONTACT:
ADDRESS:	PHONE:
CITY, STATE:	
	<u> </u>
CONTRACTOR: '	CONTACT:
ADDRESS:	PHONE:
CITY, STATE:	
TYPE OF SUBMITTAL:	CHECK TYPE OF APPROVAL SOUGHT:
DRAINAGE REPORT	SIA/FINANCIAL GUARANTEE RELEASE
DRAINAGE PLAN 1 st SUBMITTAL	PRELIMINARY PLAT APPROVAL
DRAINAGE PLAN RESUBMITTAL	S. DEV. PLAN FOR SUB'D APPROVAL
CONCEPTUAL G & D PLAN	S. DEV. FOR BLDG. PERMIT APPROVAL
GRADING PLAN	SECTOR PLAN APPROVAL
EROSION CONTROL PLAN	FINAL PLAT APPROVAL
ENGINEER'S CERT (HYDROLOGY)	FOUNDATION PERMIT APPROVAL
CLOMR/LOMR	BUILDING PERMIT APPROVAL
TRAFFIC CIRCULATION LAYOUT	CERTIFICATE OF OCCUPANCY (PERM)
ENGINEER/ARCHITECT CERT (TCL)	CERTIFICATE OF OCCUPANCY (TEMP)
ENGINEER/ARCHITECT CERT (DRB S.P.)	GRADING PERMIT APPROVAL
ENGINEER/ARCHITECT CERT (AA)	PAVING PERMIT APPROVAL
OTHER (SPECIFY)	WORK ORDER APPROVAL
· · · · · · · · · · · · · · · · · · ·	OTHER (SPECIFY) [富 C 国]
WAS A PRE-DESIGN CONFERENCE ATTENDED:	11 1 in a 2007 1 1
YES	
NO	I I I GEOTION
COPY PROVIDED	HYDROLOGY SECTION
SUBMITTED BY:	DATE: 7.12.07

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: Mountain Road Laundry repaving	ZONE MAP / DRG. FILE #: J-13 / DO
DRB #: EPC #:	WORK ORDER #:
LEGAL DESCRIPTION: . Tract A-1, Block 47, Perea Addition, A	Albuquerque, New Mexico
CITY ADDRESS: 1134 Mountain Road, NW	
ENGINEERING FIRM: Isaacson & Arfman, P.A.	CONTACT: Fred Arfman
ADDRESS: 128 Monroe St. NE	PHONE: 268-8828
CITY, STATE: Albuquerque, NM	
OWNER:	CONTACT:
ADDRESS:	PHONE:
CITY, STATE:	ZIP CODE:
CITT, GIRTE.	
ARCHITECT: Workshop Architects	CONTACT: Treveston Elliott
ADDRESS: 811 12 th Street NW	PHONE: 246-9608
CITY, STATE: <u>Albuquerque, New Mexico</u>	ZIP CODE: <u>87102</u>
SURVEYOR: Surveys Southwest, LTD	CONTACT: Mitchell Reynolds NMLS #11224
ADDRESS: 333 Lomas Blvd. NE	PHONE: 998-0303
CITY, STATE: Albuquerque, New Mexico	ZIP CODE: 87102
CONTRACTOR:	CONTACT:
ADDRESS:	PHONE:
CITY, STATE:	ZIP CODE:
CHECK TYPE OF SUBMITTAL:	CHECK TYPE OF APPROVAL SOUGHT:
DRAINAGE REPORT X DRAINAGE PLAN 1 ST REQUIRES TCL or equal	SIA / FINANCIAL GUARANTEE RELEASE
DRAINAGE PLAN 1 REQUIRES I CL or equal DRAINAGE PLAN RESUBMITTAL	PRELIMINARY PLAT APPROVAL S. DEV. PLAN FOR SUB'D APPROVAL
CONCEPTUAL GRADING & DRAINAGE PLAN	S. DEV. PLAN FOR SUB D'ATTROVAL S. DEV. PLAN FOR BLDG. PERMIT APPR.
X GRADING PLAN	SECTOR PLAN APPROVAL
EROSION CONTROL PLAN	FINAL PLAT APPROVAL
ENGINEER'S CERTIFICATION (HYDROLOGY)	FOUNDATION PERMIT APPROVAL
CLOMR / LOMR	BUILDING PERMIT APPROVAL
TRAFFIC CIRCULATION LAYOUT (TCL)	CERTIFICATE OF OCCUPANCY (PERM)
ENGINEER'S CERTIFICATION (TCL)	CERTIFICATE OF OCCUPANCY (TEMP)
ENGINEER'S CERTIFICATION (DRB APPR, SITE PLAN)	GRADING PERMIT APPROVAL
OTHER	X PAVING PERMIT APPROVAL
	WORK ORDER APPROVAL
WAS A PRE-DESIGN CONFERENCE ATTENDED:	OTHEROTHER
YES	
NO	
	JUN 2 0 2007 //
COPY PROVIDED	
	HYDROLOGY SECTION
DATE SUBMITTED: Tuesday, June 19, 2007	BY: Bryan Bobrick
	Fo?: Isaacson & Arfman, P.A.

Requests for approvals of Site Development Plans and / or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five acres and Sector Plans
- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five acres
- 3. Drainage Report: Required for subdivisions containing more than ten (10) lots or constituting five acres or more.

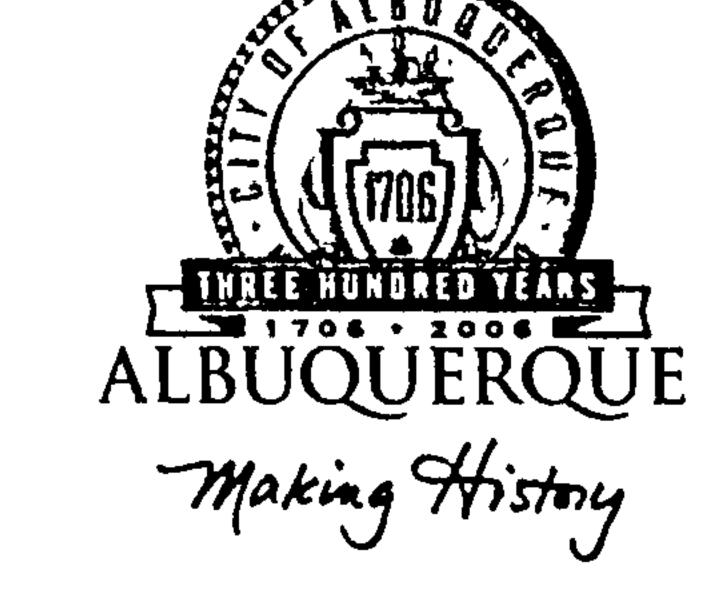
ONE STOP SHOP CITY OF ALBUQUERQUE PLANNING DEPARTMENT Development & Building Services

PAID RECEIPT

APPLICANT NAME		
AGENT	Isaacson and ArFnan	
ADDRESS	128 Monro ST NE.	· · · · · · · · · · · · · · · · · · ·
PROJECT & APP #		<u> </u>
PROJECT NAME	Mountain Rd Jaundry repalit	· · · · · · · · · · · · · · · · · · ·
\$441032/	3424000 Conflict Management Fee	•
\$'441006/	/4983000 DRB Actions	
——————————————————————————————————————	/4971000 EPC/AA/LUCC Actions & All Appeals	
. \$441018/	/4971000 Public Notification	
()M ()L	/4983000 <u>DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT S'</u> [ajor/Minor Subdivision ()Site Development Plan ()B Letter of Map Revision ()Conditional Letter of Map Rev Craffic Impact Study	lag Permit
S_50.00 TOTA	L AMOUNT DUE	
***NOTE-If a subseque add	ent submittal is required, bring a copy of this paid receipt wi	th you to avoid an
ISAACSON ALBUQUERO	AND ARFMAN PA SONROEST NE QUE, NM 87108-1247 8-8828	
PAY TO THE ORDER OF	thjof Albraneque	17741 95-219/1070 176 1350743997
WELLS Wells Fargo B New Medico Wellsfargo.com	Bank NA City Ci Albuq	DOLLARS Descrity L.D.C. ANNX
""OOO 1774 11" Co	REC (PTH 00077774 WSH ACCOND A	108 TRANSH-0026
•	CK CHANGE Thank Yo	\$0.00

December 14, 2006

Fred C. Arfman, PE Isaacson & Arfman, PA 128 Monroe St. NE. Albuquerque, NM 87108



Re: Sunshine Café Market

Grading and Drainage Plan

Engineer's Stamp dated 12-04-06 (J13/D13)

Dear Mr. Arfman,

File

C:

Based upon the information provided in your submittal received 12-05-06, the above referenced plan is approved for Paving Permit and SO-19. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. Also, prior to Certificate of Occupancy release, Engineer Certification of the grading plan per the DPM checklist will be required.

P.O. Box 1293

If you have any questions, you can contact me at 924-3977.

Albuquerque

New Mexico 87103

www.cabq.gov

Rudy E. Rael, Associate Engineer

Planning Department.

Sincerely,

Building and Development Services

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: Sur	nshine Café / Market	ZONE MAP: J-13/D13
DRB#:	EPC#:	WORK ORDER#:
TECAL DECOMPTON	T. A.D 4' C.T 4 A. 1 D.1 1 47	
		Perea Subdivision, City of Albuquerque, New Mexico
CITY ADDRESS:		
ENGINEERING FIRM:	ISAACSON AND ARFMAN	CONTACT: Bryan Bobrick
ADDRESS:	128 Monroe NE	PHONE: 268-8828
CITY, STATE:	: <u>Albuquerque, NM</u>	ZIP CODE: 87108
OWNER:		CONTACT:
ADDRESS:		PHONE:
CITY, STATE:	• · · · · · · · · · · · · · · · · · · ·	ZIP CODE:
ARCHITECT:	Workshop Architects	CONTACT: Treveston Elliott
	811 12 th Street NW	PHONE:
CITY, STATE:	Albuquerque, NM	ZIP CODE: 87102
SURVEYING FIRM:	Surveys Southwest LTD	LICENSED SURVEYOR: M. Reynolds #11224
	333 Lomas Blvd. NE	PHONE:
CHY, STATE:	Albuquerque, NM	ZIP CODE: <u>87102</u>
CONTRACTOR:		CONTACT:
ADDRESS:		PHONE:
CITY, STATE:		ZIP CODE:
		DII CODE.
CHECK TYPE OF SUBMITT	<u>'AL</u> :	CHECK TYPE OF APPROVAL SOUGHT:
DRAINAGE REPO		SIA / FINANCIAL GUARANTEE RELEASE
DRAINAGE PLAN	N 1 ST REQUIRES TCL or equal	PRELIMINARY PLAT APPROVAL
X DRAINAGE PLAN	RESUBMITTAL	S. DEV. PLAN FOR SUB'D APPROVAL
CONCEPTUAL GI	RADING & DRAINAGE PLAN	S. DEV. PLAN FOR BLDG. PERMIT APPR.
X GRADING PLAN		SECTOR PLAN APPROVAL
EROSION CONTR	ROL PLAN	FINAL PLAT APPROVAL
	RTIFICATION (HYDROLOGY)	FOUNDATION PERMIT APPROVAL
CLOMR / LOMR		BUILDING PERMIT APPROVAL
	ATION LAYOUT (TCL)	CERTIFICATE OF OCCUPANCY (PERM)
	RTIFICATION (TCL)	CERTIFICATE OF OCCUPANCY (TEMP)
	RTIFICATION (DRB APPR, SITE PLAN)	GRADING PERMIT APPROVAL
OTHER		X PAVING PERMIT APPROVAL
		WORK ORDER APPROVAL
WAS A PREDESIGN CO	NFERENCE ATTENDED:	OTHER OTHER
YES	INTERCE ATTENDED.	
NO	· ·	DEC 0 5 2006 リリ
COPY PROVIDE	SLJ	
		HYDROLOGY SECTION
DATE SUBMITTED: Tues	sday December 05, 2006	
~	<u> </u>	BY: <u>Bryan Bobrick</u> Isaacson & Arfman, P.A.
		mandoni & minimi, t.m.

Requests for approvals of Site Development Plans and / or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five acres and Sector Plans
- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five acres
- 3. Drainage Report: Required for subdivisions containing more than ten (10) lots or constituting five acres or more.

Find File-File for Remeen



December 1, 2006

Fred C. Arfman, P.E.
Isaacson and Arfman, P.A.
128 Monroe NE
Albuquerque, NM 87108

Re: Sunshine Café Market, Engineer's Stamp Dated 11-20-06 Tract A1 Block 47 of the Perea Subdivision, (J13/D13)

Dear Mr. Arfman,

Based upon the information provided in your submittal received on November 20, 2006, there are some additional items that must be addressed prior to permit approval. Those items are as follows.

- A north arrow and scale are required.
- The narrative refers to two (2) drainage basins but the calculations and plan indicate three (3).
- The sidewalk culvert and existing contour symbology is inconsistent with what is shown on the legend. Keyed note 1 is used extensively and inappropriately throughout the plan. Keyed note 5 should read "Valley Gutter." Please include the appropriate legend entries.
- The reconstruction of an existing driveway must conform to standard drawing #2425. The driveway must also be shown graphically on the plan.
- Please show the new valley gutter location(s) and the extent of curb and gutter reconstruction / installation within 12th and / or Mountain, as well as on-site. Valley gutter must be constructed as per standard drawing #2420. The ½-inch asphalt lip shown on your plan set will not be permitted within the public right-of-way.
- The southwestern sidewalk culvert seems unnecessary. With a slight modification to the 59.4 elevation contour, the runoff could be routed down the new driveway into 12th Street. If that alternative proves undesirable, please straighten that new sidewalk culvert to a standard geometry and discharge at an angle normal to the curb and gutter.
- The entire property must be shown. What do the tees and angles at the south central portion of the site represent?

If you have any questions or need additional information, feel free to contact me at 924-3990.

www.cabq.gov

New Mexico 87103

P.O. Box 1293

Albuquerque

Sincerely,

Jeremy Hoover, P.E.
Senior Engineer
Hydrology Section

Development and Building Services

cc: file (J13/D13)

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

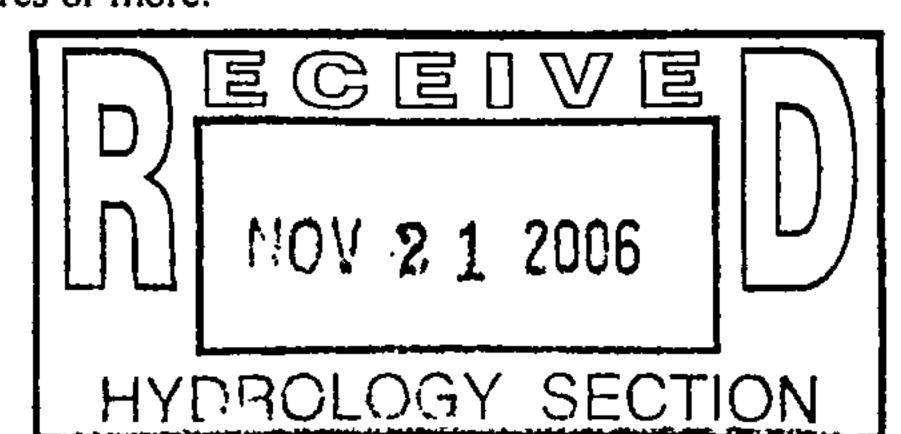
(REV. 1/28/2003rd) ZONE MAP: <u>J-13/D13</u> PROJECT TITLE: Sunshine Café / Market WORK ORDER#: _____ DRB#: EPC#: LEGAL DESCRIPTION: A Portion of Tract A-1, Block 47, Perea Subdivision, City of Albuquerque, New Mexico CITY ADDRESS: ENGINEERING FIRM: ISAACSON AND ARFMAN CONTACT: Bryan Bobrick ADDRESS: 128 Monroe NE PHONE: 268-8828 CITY, STATE: Albuquerque, NM ZIP CODE: 87108 OWNER: CONTACT: ____ ADDRESS: PHONE: CITY, STATE: ZIP CODE: ARCHITECT: Workshop Architects CONTACT: Treveston Elliott ADDRESS: 811 12th Street NW PHONE: CITY, STATE: Albuquerque, NM 87102 ZIP CODE: Surveys Southwest LTD SURVEYING FIRM: LICENSED SURVEYOR: M. Reynolds #11224 ADDRESS: 333 Lomas Blvd. NE PHONE: CITY, STATE: Albuquerque, NM ZIP CODE: 87102 CONTRACTOR: CONTACT:_____ ADDRESS:____ PHONE:____ CITY, STATE:__ ZIP CODE: CHECK TYPE OF SUBMITTAL: CHECK TYPE OF APPROVAL SOUGHT: DRAINAGE REPORT SIA / FINANCIAL GUARANTEE RELEASE X DRAINAGE PLAN 1ST REQUIRES TCL or equal PRELIMINARY PLAT APPROVAL DRAINAGE PLAN RESUBMITTAL S. DEV. PLAN FOR SUB'D APPROVAL CONCEPTUAL GRADING & DRAINAGE PLAN S. DEV. PLAN FOR BLDG. PERMIT APPR. GRADING PLAN SECTOR PLAN APPROVAL EROSION CONTROL PLAN FINAL PLAT APPROVAL ENGINEER'S CERTIFICATION (HYDROLOGY) FOUNDATION PERMIT APPROVAL CLOMR / LOMR BUILDING PERMIT APPROVAL ____TRAFFIC CIRCULATION LAYOUT (TCL) CERTIFICATE OF OCCUPANCY (PERM) ENGINEER'S CERTIFICATION (TCL) CERTIFICATE OF OCCUPANCY (TEMP) ENGINEER'S CERTIFICATION (DRB APPR, SITE PLAN) GRADING PERMIT APPROVAL OTHER PAVING PERMIT APPROVAL WORK ORDER APPROVAL OTHER WAS A PRE-DESIGN CONFERENCE ATTENDED: YES NO COPY PROVIDED

DATE SUBMITTED: Tuesday, November 21, 2006 BY: Bryan Bobrick

Isaacson & Arfman, P.A.

Requests for approvals of Site Development Plans and / or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five acres and Sector Plans
- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five acres
- 3. Drainage Report: Required for subdivisions containing more than ten (10) lots or constituting five acres or more.



ISAACSON & ARFMAN, P.A.

Consulting Engineering Associates

Thomas O. Isaacson, PE & LS • Fred C. Arfman, PE Scott M. McGee, PE

December 5, 2006

Mr. Jeremy Hoover, P.E. Senior Engineer Hydrology Section Development and Building Services

RE: SUNSHINE CAFÉ MARKET RESUBMITTAL (J13 / D13)

Dear Mr. Hoover:

Enclosed with this letter are two copies of our revised Grading and Drainage Plan for your review. Revisions were made in response to your review comments dated December 1, 2006 as follows:

- 1. North arrow and scale added to plan
- 2. Narrative corrected.
- 3. Legend and keyed note discrepancies corrected. Keyed note #5 references the on-site alley gutter to be constructed along the east parking area.
- 4. C.O.A. Standard Details are referenced for the driveway reconstruction. The driveway has been shown clearly on the plan.
- 5. There is no valley gutter to be constructed in the R.O.W. so C.O.A. Std. Detail #2420 is not referenced. The ½" asphalt lip shown on the plan is for the on-site alley gutter only.
- 6. Due to the minimal grades available on the south side of the building, it is not possible to eliminate a drain in the southwest corner of the property. I have reconfigured the system to utilize two 4" dia. pipes rather than a sidewalk culvert. Each pipe has a capacity of 0.5 cfs for a total of 1.0 cfs > 0.8 cfs generated by Sub-basin 2 during a 100-year, 6-hour storm event.
- 7. The scale of the grading plan has been reduced to 1" = 20' in order to show the extents of the property. The tees and angles are striping for two parallel parking spaces.

Please don't hesitate to call me or Fred Arfman with any questions or comments.

Sincerely,
ISAACSON AND ARFMAN, P.A.

DEC 0 5 2006

HYDROLOGY SECTION

128 Monroe St. NE • Albuquerque, NM 87108 • (505) 268-8828 • FAX (505) 268-2632 M:\ACTIVE\PROJECT DOCUMENTS\1577\CORRESPONDENCE\OUT\1577 Resubmittal Letter.doc



Planning Department Transportation Development Services Section

September 26, 2006

Treveston Elliott
Workshop Architects
811 12th St NW
Albuquerque, NM 87012

Re: Traffic Circulation Layout (TCL) Submittal for Building Permit Approval for Offices and Warehouse for Sunshine Café [J-13/D-13] (1134 Mountain Rd NW), Albuquerque, NM Engineer's/Architect's Stamp Dated 09-20-2006

Dear Mr. Elliott,

The TCL submittal dated September 20,2006 is approved for building permit. The plan is stamped and signed as approved. Two copies of the plan that is stamped as approved will be required: one for each of the building permit plans and the original to be kept by you to be used for certification of the site for final C.O. for Transportation. *Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.*

P.O. Box 1293

Albuquerque

If a temporary CO is needed then a copy of the original TCL that was stamped as approved by the City which includes a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance". This statement requires a NM registered architect or engineer stamp to be dated. Submit this TCL with a completed <u>Drainage and Transportation Information Sheet</u> to Hydrology at the Development Services Center of Plaza Del Sol Building.

New Mexico 87103

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer needs stamp and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

www.cabq.gov

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal Metro, PE Senior Engineer

Development and Building Services

cc: Hydrology file

File

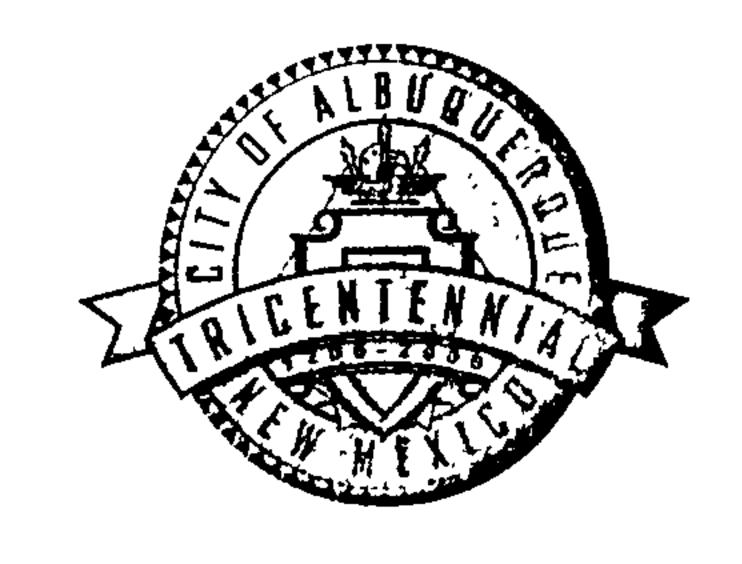
DRAINAGE AND TRANSPORTATION INFORMATION SHEET (Rev. 12/2005)

PROJECT TITLE: SUNSUINZ GAFZ	ZONE MAP/DRG. FILE # $\sqrt{-13/D13}$
DRB#: EPC#:	WORK ORDER#:
TECAT DECOMPONION	
LEGAL DESCRIPTION:	
CITY ADDRESS:	
ENGINEERING FIRM:	CONTACT:
ADDRESS:	PHONE:
CITY, STATE:	ZIP CODE:
OWNER:	CONTACT:
ADDRESS:	PHONE:
CITY, STATE:	ZIP CODE:
ARCHITECT: WORKSHOP ARCHITECTS	CONTACT: 1 REVESTOR ELLOT
ADDRESS: <u>OII 12 12 131. NW.</u>	PHONE: 247.0756
CITY, STATE: A BUOUFROUP NEW M	ZIP CODE: 37102
SURVEYOR:	CONTACT:
ADDRESS:	PHONE:
CITY, STATE:	ZIP CODE:
CONTRACTOR:	CONTACT:
ADDRESS:	PHONE:
CITY, STATE:	ZIP CODE:
TVDE OE SIIDMITTEMI.	
TYPE OF SUBMITTAL: DRAMAGE DEPORT	HECK TYPE OF APPROVAL SOUGHT:
DRAINAGE REPORT	SIA/FINANCIAL GUARANTEE RELEASE
DRAINAGE PLAN 1 st SUBMITTAL	PRELIMINARY PLAT APPROVAL
DRAINAGE PLAN RESUBMITTAL	S. DEV. PLAN FOR SUB'D APPROVAL
CONCEPTUAL G & D PLAN	S. DEV. FOR BLDG. PERMIT APPROVAL
GRADING PLAN	SECTOR PLAN APPROVAL
EROSION CONTROL PLAN	FINAL PLAT APPROVAL
ENGINEER'S CERT (HYDROLOGY)	FOUNDATION PERMIT APPROVAL
CLOMR/LOMR	XBUILDING PERMIT APPROVAL
TRAFFIC CIRCULATION LAYOUT	CERTIFICATE OF OCCUPANCY (PERM)
ENGINEER'S/ARCHITECT'S CERT (TCL)	CERTIFICATE OF OCCUPANCY (TEMP)
ENGINEER'S CERT (DRB SITE PLAN)	GRADING PERMIT APPROVAL
OTHER	PAVING PERMIT APPROVAL
	WORK ORDER APPROVAL
(KE SUBMOTH)	OTHER (SPECIFY) _ 這 (© 這] ▽
WAS A PRE-DESIGN CONFERENCE ATTENDED: CONFERENCE AT	
YES NO	SEP 2 0 2006
	LIVED OU OCY OF CETAL
COPY PROVIDED	HYDROLOGY SECTION
UBMITTED BY:	DATE: 9.20.6
Q 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	DATE: 7.20.
Requests for approvals of Site Development Plans and/or Subdivi	ision Blats shall be accompanied by a drainage submitted The
articular nature location and constant the	

articular nature, location and scope to the proposed development defines the degree of drainage detail. One or more of the following evels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and

- Sector Plans.
- Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



August 25, 2006

Treveston Elliott, R.A.

Workshop Architects
811 12th Street NW
Albuquerque, NM 87102

Re: 1134 Mountain Rd. NW, Sunshine Café Market, Traffic Circulation Layout, Architect's Stamp dated 08-18-06 (J13-D13rr)

Dear Mr. Elliott,

Based upon the information provided in your submittal received 08-23-06, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

- 1. ADA ramps on Mountain do not meet ADA standards; construct unidirectional ramps per COA Standard Number 2426. This ramp will need truncated domes.
- 2. The drive pad on 12th Street will need to be relocated south so that it does not interfere with the parking stalls. This will require a cross lot access easement.

Albuquerque

P.O. Box 1293

If you have any questions, you can contact me at 924-3991.

Sincerely,

New Mexico 87103

www.cabq.gov

Wilfred Gallegos, P.E.

2/1/1/

Traffic Engineer, Planning Dept.

Development and Building Services

C: file

Albuquerque - Making History 1706-2006

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (Rev. 12/2005)

PROJECT TITLE: SUNSUINE CAPE/Mark	ZONE MAP/DRG. FILE # 1-13-2013 (WORK ORDER#:
LEGAL DESCRIPTION: CITY ADDRESS: 1184 MOUNTAIN ROAD.	<u>57102</u>
ENGINEERING FIRM: ADDRESS: CITY, STATE:	CONTACT: PHONE: ZIP CODE:
OWNER:ADDRESS:CITY, STATE:	CONTACT: PHONE: ZIP CODE:
ARCHITECT: WORKSHOP ARCUITECTS ADDRESS: 311 1274 ST. NVV. CITY, STATE: ALBUQUEROUR NEW	CONTACT: RELIESTON ELLIOTT PHONE: 247.0756 ZIP CODE: 37102
SURVEYOR: ADDRESS: CITY, STATE:	CONTACT: PHONE: ZIP CODE:
CONTRACTOR: ADDRESS: CITY, STATE:	CONTACT: PHONE: ZIP CODE:
DRAINAGE REPORT DRAINAGE PLAN 1st SUBMITTAL DRAINAGE PLAN RESUBMITTAL CONCEPTUAL G & D PLAN GRADING PLAN EROSION CONTROL PLAN ENGINEER'S CERT (HYDROLOGY) CLOMR/LOMR X TRAFFIC CIRCULATION LAYOUT ENGINEER'S/ARCHITECT'S CERT (TCL) ENGINEER'S CERT (DRB SITE PLAN) OTHER	CHECK TYPE OF APPROVAL SOUGHT: SIA/FINANCIAL GUARANTEE RELEASE PRELIMINARY PLAT APPROVAL S. DEV. PLAN FOR SUB'D APPROVAL S. DEV. FOR BLDG. PERMIT APPROVAL SECTOR PLAN APPROVAL FINAL PLAT APPROVAL FOUNDATION PERMIT APPROVAL BUILDING PERMIT APPROVAL CERTIFICATE OF OCCUPANCY (PERM) CERTIFICATE OF OCCUPANCY (TEMP) GRADING PERMIT APPROVAL PAVING PERMIT APPROVAL WORK ORDER APPROVAL
VAS A PRE-DESIGN CONFERENCE ATTENDED: YESNOCOPY PROVIDED	AUG 2 3 2006
UBMITTED BY:	LAND DEVELOPMENT SECTION LAND DEVELOPMENT SECTION

equests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The articular nature, location and scope to the proposed development defines the degree of drainage detail. One or more of the following vels of submittal may be required based on the following:

- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

summer and the second of the s

More Din. MATA DINAM

AMMINATION AST

WORKSHOP ARCHITECTS

TREVESTON ELLIOTT ARCHITECT

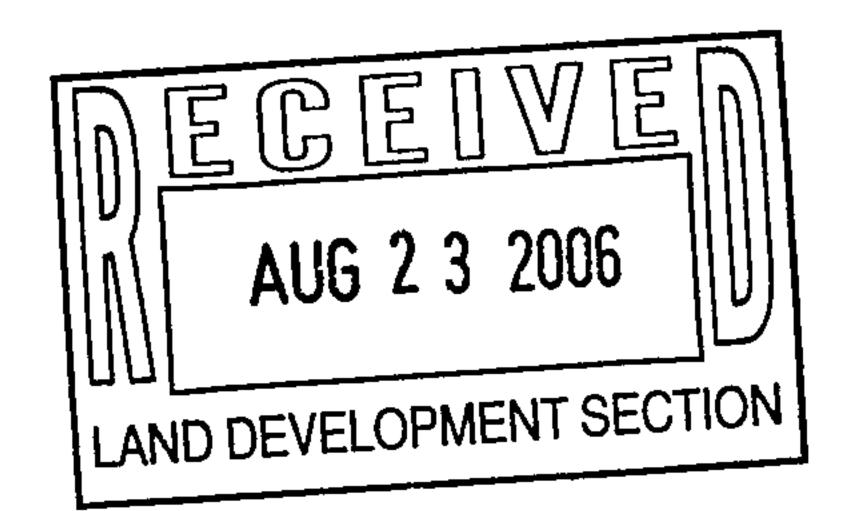
811 12 TH Street NW
Albuquerque New Mexico 87102
505.247.0756 p
505.259.4617 c
505.242.2186 f
tredesign@earthlink.net

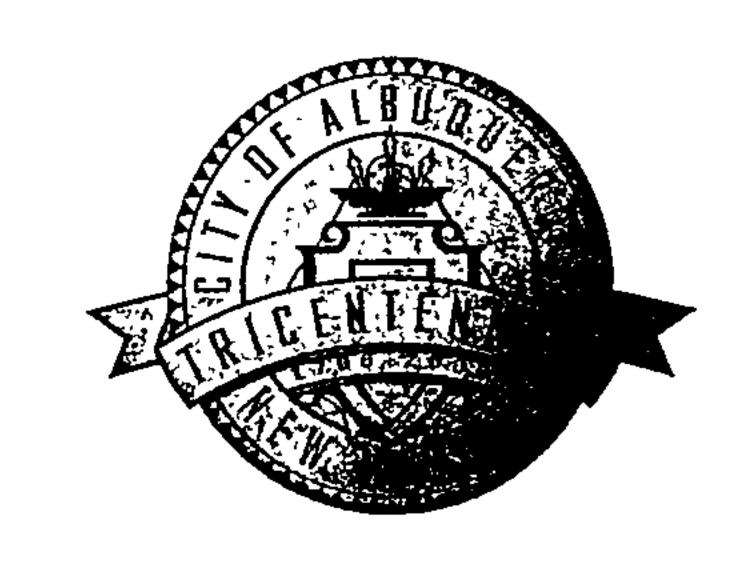
To City of Albuquerque

Re: 1134 Mountain Road NW, Sunshine Cafe/ Market. TCL 07-10-06

- 1. Please see new drawing. _ .
- 2. The HC space needs to be in this location to satisfy the IBC/ANSI requirement. The space does not conflict with the 15'-6" drive aisle that is required. I have reduced the driveway curb cut entrance to 15'-6" as well. Please see new drawing.
- 3. Please see new drawing.
- 4. Verbal ok, I am waiting on the City Permit set.
- 5. Please see new drawing.
- 6. Please see new drawing.

Thanks
Treveston Elliott





July 13, 2006

Treveston Elliott, R.A.

Workshop Architects
811 12th Street NW
Albuquerque, NM 87102

Re: 1134 Mountain Rd. NW, Sunshine Café Market, Traffic Circulation Layout, Architect's Stamp dated 07-10-06 (J13-D13r)

Dear Mr. Elliott,

Based upon the information provided in your submittal received 07-10-06, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1: How does ADA access work on the existing entrance on Mountain?

- 2. It appears that the parking stalls conflict with the one way drive aisle; please explain. Relocate the handicapped parking stall off the entrance of 12th Street. Look at a compact parking for this area.
- 3. Provide the parking stall length from corner to corner.
- 4. Provide solid waste approval.
- 5. How will the one way sign be protected? Will there be island? Please provide a detail.
- 6. The scale on the plan will need to be in an engineer's scale.

If you have any questions, you can contact me at 924-3991.

www.cabq.gov

New Mexico 87103

P.O. Box 1293

Albuquerque

Sincerely,

Wilfred Gallegos, P.E.

Traffic Engineer, Planning Dept.

Development and Building Services

C: file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (Rev. 12/2005)

LEGAL DESCRIPTION: CITY ADDRESS:
CITY ADDRESS:
ENGINEERING FIRM: ADDRESS: CITY, STATE: CONTACT: PHONE: CONTACT: ADDRESS: PHONE: CONTACT: ADDRESS: PHONE: CITY, STATE: ARCHITECT: ADDRESS: CITY, STATE: ARCHITECT: ADDRESS: CITY, STATE: ARCHITECT: ADDRESS: CITY, STATE: ADDRESS: ARCHITECTS AR
ADDRESS: PHONE: ZIP CODE: OWNER: CONTACT: PHONE: ZIP CODE: ARCHITECT: Workshop Arcuitects CONTACT: PECASION ELLOTT ADDRESS: BI 121251. NAY. PHONE: 247.0164 CITY, STATE: CONTACT: PHONE: ZIP CODE: 271072 SURVEYOR: CONTACT: PHONE: ZIP CODE: 271072 CONTRACTOR: CONTACTOR: CONTACTOR: PHONE: ZIP CODE: 271072 CONTRACTOR: CONTACTOR: CONTACTOR: PHONE: ZIP CODE: 271072 CONTRACTOR: CONTACTOR: PHONE: ZIP CODE: 271072 CONTRACTOR: CONTACTOR: PHONE: ZIP CODE: 271072 CONTRACTOR: PHONE: ZIP CODE: 271072 CONTACTOR: CONTACTOR: PHONE: ZIP CODE: 271072 CONT
CITY, STATE: OWNER: ADDRESS: CITY, STATE: ADDRESS: CITY, STATE: ADDRESS: ARCHITECT: ADDRESS: ADDRESS: ADDRESS: ADDRESS: ADDRESS: CITY, STATE: ADDRESS: CITY, STATE: ADDRESS: CITY, STATE: ADDRESS: CITY, STATE: CONTACT: ADDRESS: ADDRESS: CITY, STATE: ADDRESS: CITY, STATE: CONTACT: ADDRESS: CITY, STATE: ADDRESS: CITY, STATE
OWNER: ADDRESS: CITY, STATE: ARCHITECT: Workshop Arcuitects ADDRESS: BILLITETT NAV. ADDRESS: CITY, STATE: CONTACT: ADDRESS: CITY, STATE: ADDRESS: CITY, STATE: CONTACT: ADDRESS: CITY, STATE: CONTACT: ADDRESS: CITY, STATE: CHECK TYPE OF APPROVAL SOUGHT: DRAINAGE PLAN 1* SUBMITTAL DRAINAGE PLAN 1* SUBMITTAL CONCEPTUAL G & D PLAN S DEV. FOR BLDG, PERMIT APPROVAL GRADING PLAN SECTOR PLAN APPROVAL
ADDRESS:
ADDRESS:
ARCHITECT: WOLKSHOP ARCUITECTS ADDRESS: 31 1275 51. NW. PHONE: 247.0156 CITY, STATE: A BUODEROUP NEW MONEY SURVEYOR: CONTACT: ADDRESS: PHONE: ZIP CODE: TODE: CONTRACTOR: CONTACT: ADDRESS: PHONE: ZIP CODE: TODE: CONTRACTOR: CONTACT: PHONE: ZIP CODE: TODE: TODE
CITY, STATE: A TUDDERSUP NEW MEXICO ZIP CODE: STIOZ SURVEYOR: CONTACT: PHONE: ZIP CODE: CITY, STATE: ZIP CODE: CONTACTOR: CONTACT: ADDRESS: PHONE: ZIP CODE: CONTACTOR: CONTACT: ZIP CODE: CITY, STATE: ZIP CODE: CITY, STATE: ZIP CODE: CYPE OF SUBMITTAL: CHECK TYPE OF APPROVAL SOUGHT: SIA/FINANCIAL GUARANTEE RELEASE DRAINAGE PLAN 1* SUBMITTAL PRELIMINARY PLAT APPROVAL DRAINAGE PLAN RESUBMITTAL S. DEV. PLAN FOR SUB'D APPROVAL CONCEPTUAL G & D PLAN S. DEV. FOR BLDG. PERMIT APPROVAL GRADING PLAN SECTOR PLAN APPROVAL GRADING PLAN SECTOR PLAN APPROVAL
CITY, STATE: A TUDUFFROUP NEW MEXICO ZIP CODE: STIOZ SURVEYOR: CONTACT: PHONE: ZIP CODE: CITY, STATE: ZIP CODE: CONTACTOR: CONTACT: PHONE: ZIP CODE: CONTACTOR: CONTACT: PHONE: ZIP CODE: CONTACTOR: CONTACT: ZIP CODE: ZIP C
CITY, STATE: A TUDDERSUP NEW MEXICO ZIP CODE: STIOZ SURVEYOR: CONTACT: PHONE: ZIP CODE: CITY, STATE: ZIP CODE: CONTACTOR: CONTACT: ADDRESS: PHONE: ZIP CODE: CONTACTOR: CONTACT: ZIP CODE: CITY, STATE: ZIP CODE: CITY, STATE: ZIP CODE: CYPE OF SUBMITTAL: CHECK TYPE OF APPROVAL SOUGHT: SIA/FINANCIAL GUARANTEE RELEASE DRAINAGE PLAN 1* SUBMITTAL PRELIMINARY PLAT APPROVAL DRAINAGE PLAN RESUBMITTAL S. DEV. PLAN FOR SUB'D APPROVAL CONCEPTUAL G & D PLAN S. DEV. FOR BLDG. PERMIT APPROVAL GRADING PLAN SECTOR PLAN APPROVAL GRADING PLAN SECTOR PLAN APPROVAL
SURVEYOR: ADDRESS: CITY, STATE: CONTACTOR: ADDRESS: ADDRESS: CITY, STATE: CONTACT: ADDRESS: CITY, STATE: CONTACT: ADDRESS: CITY, STATE: CHECK TYPE OF APPROVAL SOUGHT: DRAINAGE REPORT DRAINAGE PLAN 1* SUBMITTAL DRAINAGE PLAN 1* SUBMITTAL DRAINAGE PLAN RESUBMITTAL CONCEPTUAL G & D PLAN S. DEV. PLAN FOR SUB'D APPROVAL GRADING PLAN SECTOR PLAN APPROVAL
ADDRESS:
ADDRESS:
CONTRACTOR: ADDRESS: CITY, STATE: CHECK TYPE OF APPROVAL SOUGHT: DRAINAGE REPORT DRAINAGE PLAN 1* SUBMITTAL DRAINAGE PLAN RESUBMITTAL CONCEPTUAL G & D PLAN GRADING PLAN SECTOR PLAN APPROVAL SECTOR PLAN APPROVAL SECTOR PLAN APPROVAL
ADDRESS: PHONE: ZIP CODE: CITY, STATE: ZIP CODE: CYPE OF SUBMITTAL: CHECK TYPE OF APPROVAL SOUGHT: DRAINAGE REPORT SIA/FINANCIAL GUARANTEE RELEASE DRAINAGE PLAN 1* SUBMITTAL PRELIMINARY PLAT APPROVAL DRAINAGE PLAN RESUBMITTAL S. DEV. PLAN FOR SUB'D APPROVAL CONCEPTUAL G & D PLAN S. DEV. FOR BLDG, PERMIT APPROVAL GRADING PLAN SECTOR PLAN APPROVAL
ADDRESS: PHONE: ZIP CODE: CITY, STATE: ZIP CODE: CYPE OF SUBMITTAL: CHECK TYPE OF APPROVAL SOUGHT: DRAINAGE REPORT SIA/FINANCIAL GUARANTEE RELEASE DRAINAGE PLAN 1* SUBMITTAL PRELIMINARY PLAT APPROVAL DRAINAGE PLAN RESUBMITTAL S. DEV. PLAN FOR SUB'D APPROVAL CONCEPTUAL G & D PLAN S. DEV. FOR BLDG, PERMIT APPROVAL GRADING PLAN SECTOR PLAN APPROVAL
CITY, STATE: ZIP CODE: CYPE OF SUBMITTAL: CHECK TYPE OF APPROVAL SOUGHT: DRAINAGE REPORT SIA/FINANCIAL GUARANTEE RELEASE DRAINAGE PLAN 1* SUBMITTAL PRELIMINARY PLAT APPROVAL DRAINAGE PLAN RESUBMITTAL S. DEV. PLAN FOR SUB'D APPROVAL CONCEPTUAL G & D PLAN S. DEV. FOR BLDG. PERMIT APPROVAL GRADING PLAN SECTOR PLAN APPROVAL
CYPE OF SUBMITTAL:CHECK TYPE OF APPROVAL SOUGHT:DRAINAGE REPORTSIA/FINANCIAL GUARANTEE RELEASEDRAINAGE PLAN 1st SUBMITTALPRELIMINARY PLAT APPROVALDRAINAGE PLAN RESUBMITTALS. DEV. PLAN FOR SUB'D APPROVALCONCEPTUAL G & D PLANS. DEV. FOR BLDG. PERMIT APPROVALGRADING PLANSECTOR PLAN APPROVAL
DRAINAGE REPORT DRAINAGE PLAN 1* SUBMITTAL DRAINAGE PLAN RESUBMITTAL DRAINAGE PLAN RESUBMITTAL CONCEPTUAL G & D PLAN GRADING PLAN S. DEV. PLAN FOR SUB'D APPROVAL S. DEV. FOR BLDG. PERMIT APPROVAL SECTOR PLAN APPROVAL
DRAINAGE REPORT DRAINAGE PLAN 1* SUBMITTAL DRAINAGE PLAN RESUBMITTAL DRAINAGE PLAN RESUBMITTAL CONCEPTUAL G & D PLAN GRADING PLAN S. DEV. PLAN FOR SUB'D APPROVAL S. DEV. FOR BLDG. PERMIT APPROVAL SECTOR PLAN APPROVAL
DRAINAGE PLAN 1* SUBMITTAL DRAINAGE PLAN RESUBMITTAL CONCEPTUAL G & D PLAN GRADING PLAN S. DEV. PLAN FOR SUB'D APPROVAL S. DEV. FOR BLDG. PERMIT APPROVAL SECTOR PLAN APPROVAL
DRAINAGE PLAN RESUBMITTAL CONCEPTUAL G & D PLAN GRADING PLAN S. DEV. PLAN FOR SUB'D APPROVAL S. DEV. FOR BLDG. PERMIT APPROVAL SECTOR PLAN APPROVAL
CONCEPTUAL G & D PLAN S. DEV. FOR BLDG. PERMIT APPROVAL SECTOR PLAN APPROVAL
GRADING PLAN SECTOR PLAN APPROVAL
TINAL PLAI APPROVAL
ENGINEER'S CERT (HYDROLOGY) FOUNDATION PERMIT APPROVAL
CLOMR/LOMR BUILDING PERMIT APPROVAL
TRAFFIC CIRCULATION LAYOUT CERTIFICATE OF OCCUPANCY (PERM)
ENGINEER'S/ARCHITECT'S CERT (TCL) CERTIFICATE OF OCCUPANCY (TEMP)
ENGINEER'S CERT (DRB SITE PLAN) GRADING PERMIT APPROVAL
OTHERPAVING PERMIT APPROVAL
WORK ORDER APPROVAL /S/ & /S/
WORK ORDER APPROVAL OTHER (SPECIFY)
YAS A PRE-DESIGN CONFERENCE ATTENDED:
$P(V) = \frac{1}{2} \left(\frac{1}{2} \left(\frac{1}{2} \right) \right)$
COPY PROVIDED
UBMITTED BY: DATE: 7/10/6
equests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The

equests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The articular nature, location and scope to the proposed development defines the degree of drainage detail. One or more of the following vels of submittal may be required based on the following:

- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

A SEE SON WILLIAM C

SMCATE OF HOMMORE @ ETTS ENT.

15 HC RMP EXIST

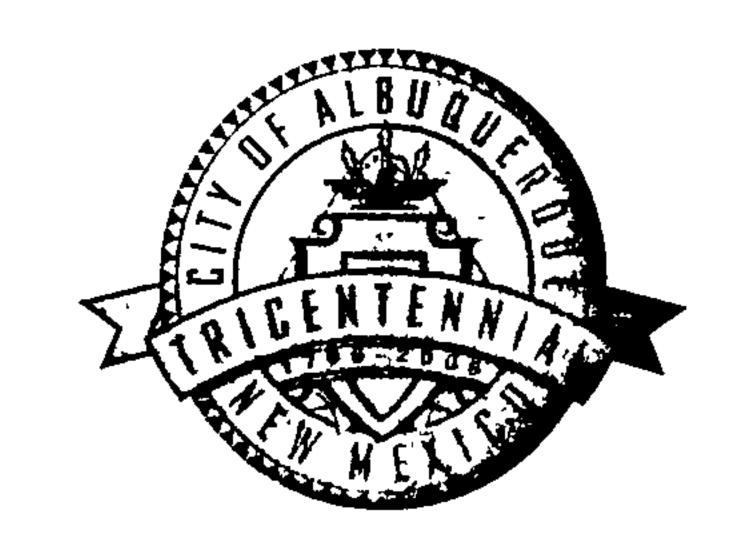
16 MD DOES HOMMORE @ ETTS & ENT.

Refer to note:

Alter to note:

.·.

•



June 30, 2006

Treveston Elliott, R.A.

Workshop Architects
811 12th Street NW
Albuquerque, NM 87102

Re: 1134 Mountain Rd. NW, Sunshine Café Market, Traffic Circulation Layout, Architect's Stamp dated 06-27-06 (J13-D13)

Dear Mr. Elliott,

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

Based upon the information provided in your submittal received 06-27-06, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Show the adjacent drive pad on 12th Street.

✓2. Provide ADA crossing from stall #18 to the building.

3. At the corner of 12th and Mountain, is there an existing ADA ramp? If so, indicate it on the plan.

4. Include the pedestrian access from the road.

5. Provide the parking angles.

16. How will the handicapped parking stall #1 access the building?

77. Provide the parking stall length from corner to corner.

28. Provide solid waste approval.

9. Provide "One Way" stripping or signage on the one way.

10. Plan indicates parking stalls 11-13 are outside the property line; will a cross lot access easement be required?

11. It appear that the parking stalls conflict with the one way drive aisle; please explain.

If you have any questions, you can contact me at 924-3991.

Sincerely,

Wilfred Gallegos, P.E.

file

Traffic Engineer, Planning Dept.

Development and Building Services

C:

Albuquerque - Making History 1706-2006

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (Rev. 12/2005)

PROJECT TITLE: SUPSUM 2 MARKET	ZONE MAP/DRG. FILE # 1-13-213
DRB#: EPC#:	WORK ORDER#:
LEGAL DESCRIPTION:	
CITY ADDRESS: 134 Mountain 720	NW
ENGINEERING FIRM:	CONTRA CON.
ADDRESS:	CONTACT:
CITY, STATE:	PHONE:
CXX X, CXXIII.	ZIP CODE:
OWNER: SC PROFETIED	CONTACT: Sean Greisage
ADDRESS: 811 Maria 12-16	PHONE: 440-584
CITY, STATE:	ZIP CODE: 57/02
ARCHITECT: WORLSHOP ARCHITECT	CONTACT: TRIVISIO FLLIOU
ADDRESS: 8/127457	PHONE: 247.0756
CITY, STATE: A.B. NW.	ZIP CODE: 87/0-
SURVEYOR:	CONTACT:
ADDRESS:	PHONE:
CITY, STATE:	ZIP CODE:
CONTRACTOR:	CONTACT:
ADDRESS:	PHONE:
CITY, STATE:	ZIP CODE:
TYPE OF SUBMITTAL:	
DRAINAGE REPORT	ECK TYPE OF APPROVAL SOUGHT:
DRAINAGE PLAN 1 st SUBMITTAL	SIA/FINANCIAL GUARANTEE RELEASE
DRAINAGE PLAN RESUBMITTAL	PRELIMINARY PLAT APPROVAL
CONCEPTUAL G & D PLAN	S. DEV. PLAN FOR SUB'D APPROVAL
GRADING PLAN	S. DEV. FOR BLDG. PERMIT APPROVAL
	SECTOR PLAN APPROVAL
EROSION CONTROL PLAN	FINAL PLAT APPROVAL
ENGINEER'S CERT (HYDROLOGY) CLOMR/LOMR	FOUNDATION PERMIT APPROVAL
	BUILDING PERMIT APPROVAL
TRAFFIC CIRCULATION LAYOUT	CERTIFICATE OF OCCUPANCY (PERM)
ENGINEER'S ARCHITECT'S CERT (TCL)	CERTIFICATE OF OCCUPANCY (TEMP)
ENGINEER'S CERT (DRB SITE PLAN)	GRADING PERMIT APPROVAL
OTHER	PAVING PERMIT APPROVAL
	WORK ORDER APPROVAL
	OTHER (SPECIFY)
WAS A DDD DESIGN CONTRIBUTING A TOTAL TOTAL	
WAS A PRE-DESIGN CONFERENCE ATTENDED:	
YES	n JUN 2 7 2006
COPY PROVIDED	
CLIDA (Property Day)	LAND DEVELOPMENT SECTION
SUBMITTED BY:	DATE: 6-276

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

FROVIDE ADA CROSSIG FROM PORKING to BULDING - DOES PARKING STALLS conflict W/ one WAY?

Is there an existing ADA RANGED @ 51/2 the proposable with 14 f so, stand - SHOW PEDISHRAINS, WILL ACCESS SITE. 1- GIVE PARKE, X.

LASSILATE CHANGE-1 Stall ACCESS Building Finishment 118. 1-what softher thength of parlain stall , 7: Mrs.; 118 Count Count? JULY SOLID WASTE APPROVAL ONE WAY Stripage ! Signage at entrance f - trouide on the S.E. commen of poulting dea. - PLAN INDICHTES parking stalls 11-13, The out SIDE PROPERTY LINE, Will this REGURE CROSS LOT MELESS - Compact PARKING -MODES THE SECONDARY SECONDARY

the state of the state of