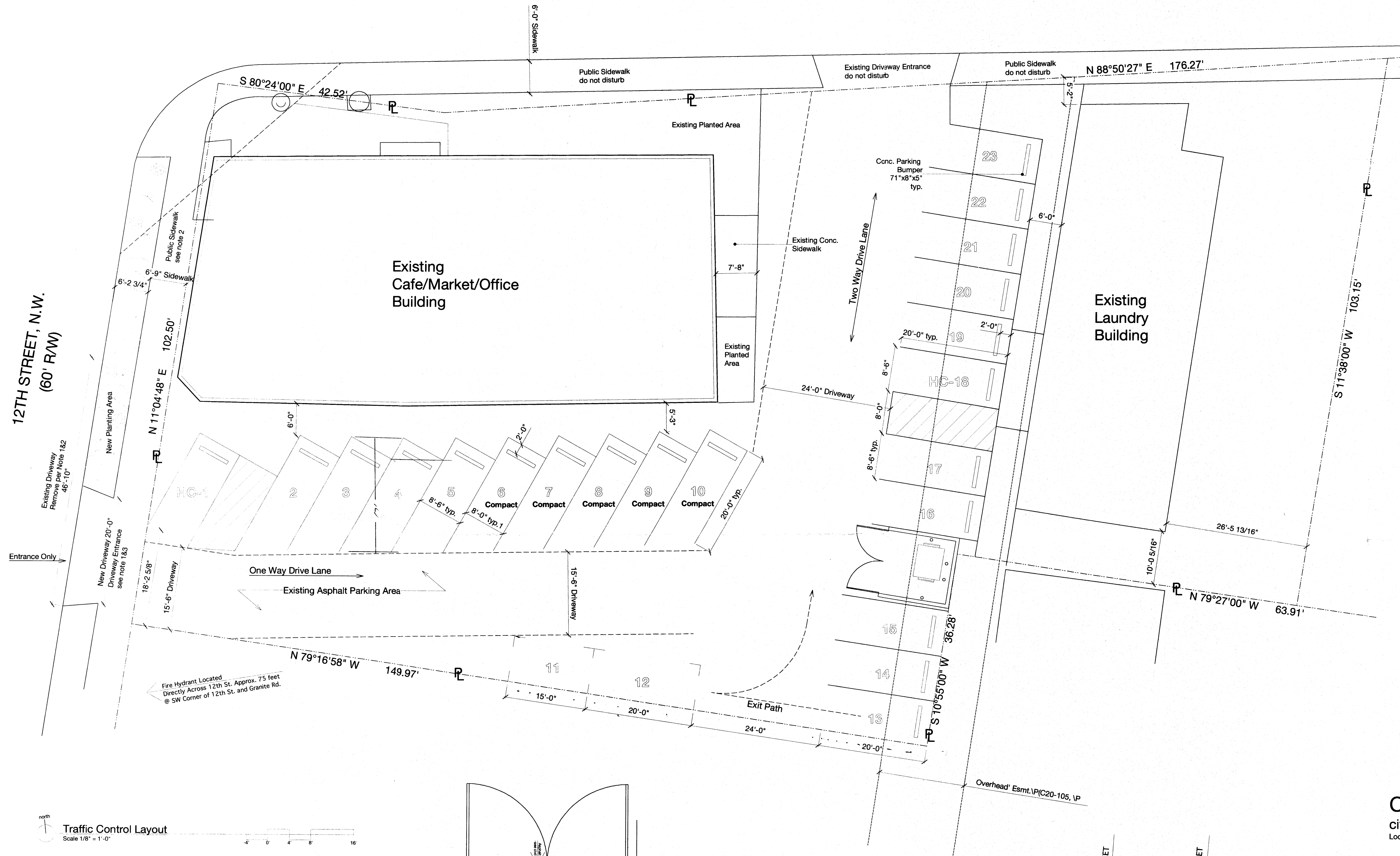
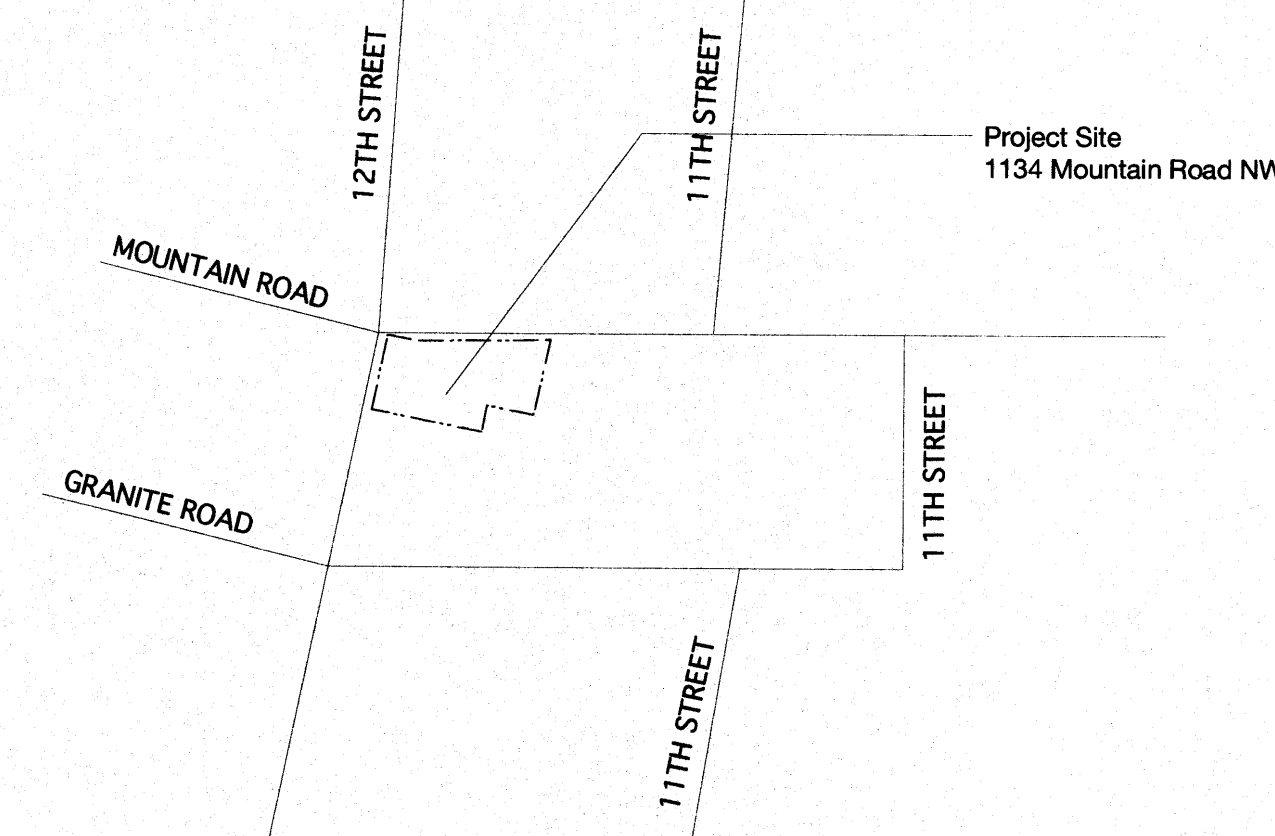
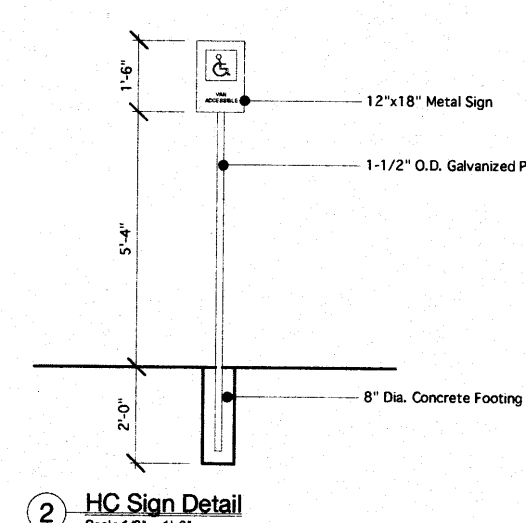
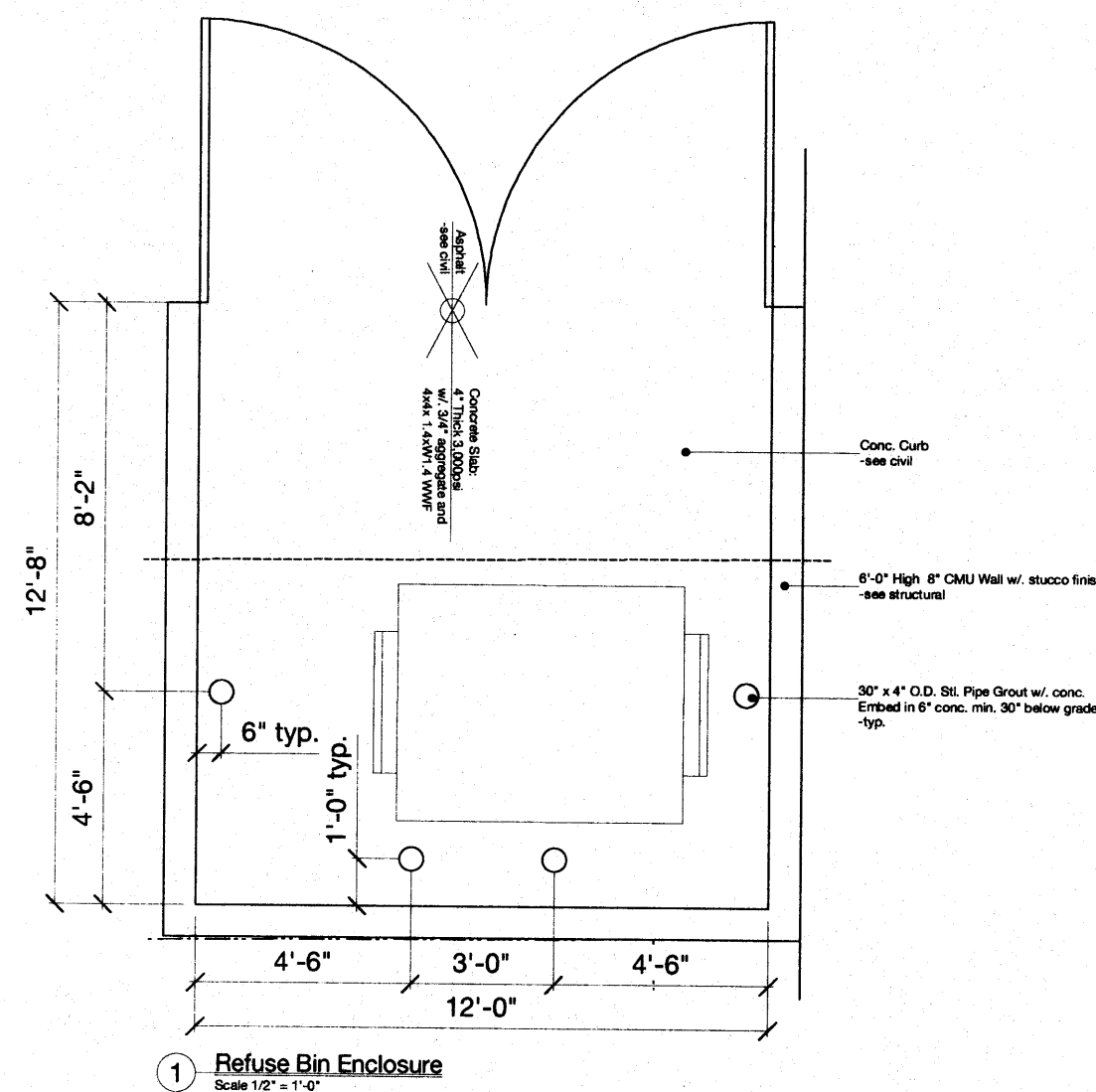


MOUNTAIN ROAD, N.W.  
(R/W VARIES)



Traffic Control Layout  
Scale 1/8" = 1'-0"

- General Note:
1. Remove existing sidewalk and driveway entrance's. Replace with new Conc. Sidewalk and driveway entrance. Patch Curb and Gutter where required. Conform to city Specs. Paving Sidewalk Details DWG 2430. Curb Type Sidewalk.
  2. Conform to City Specs. Paving and Sidewalk Details DWG 2415A. Standard 8" Curb and Gutter.
  3. New Driveway to conform to City Specs. DWG 2425.
  4. Contractor is responsible for coordinating all site utility relocations and is responsible for providing all required placement and clearances.



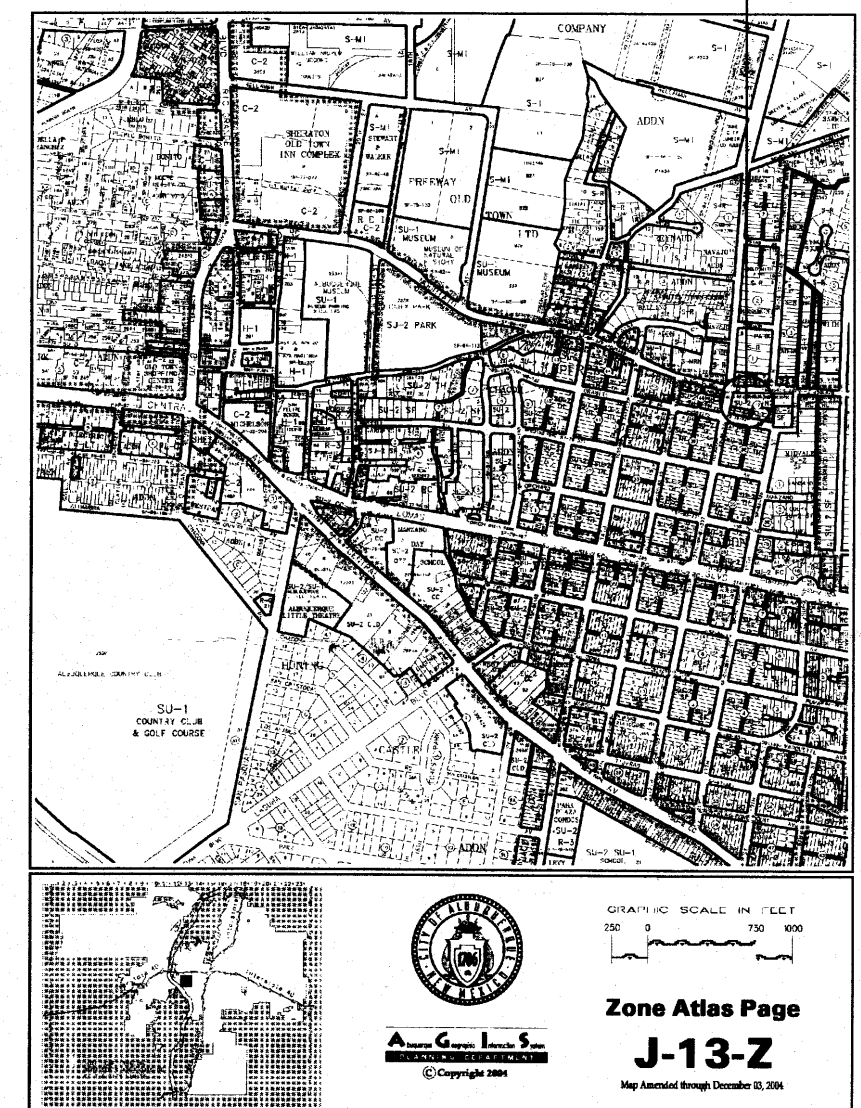
VICINITY PLAN  
NTS

WORKSHOP  
ARCHITECTS

811 12TH ST. NW  
ALBUQUERQUE, NEW MEXICO  
87102

PH. 505.246.9608

tredeign@earthlink.net



TRACT "A-1" OF A PORTION OF LOTS 1, 2, 3, AND 4 AND PORTIONS OF 7, 8, 9 AND 10 OF BLOCK NUMBERED FORTY-SEVEN (47), OF THE PEREA ADDITION OF THE CITY OF ALBUQUERQUE, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON NOVEMBER 30, 1982, IN MAP BOOK C20, PAGE 105.

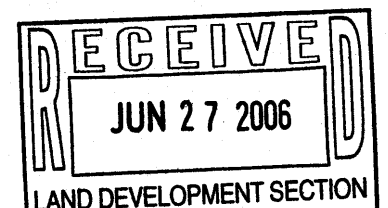
CODE DATA

city of albuquerque

Location:	Downtown Neighborhood
Zoning:	Albuquerque, New Mexico
Zoning Atlas Page:	NG = C-1
Setbacks:	J-13-Z
Height:	Corner and Side 5'-0"
Parking Required:	Side or Rear abuts residential 15'-0"
	26 Feet
	1 per 4 seats in cafe
	1 per 200 sq.ft. market
	1 per 200 sq.ft. office
	1 per 200 sq.ft. laundry
Parking Actual:	48 seats in cafe =12
	200 sq.ft. market =1
	985 sq.ft. office =5
	1,000 sq.ft. laundry =5
	Total Spaces =23

I.B.C.

Occupancy Classification:	New Cafe/Market A-2
	Existing office B
	Existing Laundry B
	Existing CMU and Adobe
	New Vb
Separation:	2 Hour btwn. A-2 and B
Allowable Area:	1 Stories 6,000 sq.ft.
Sprinkler:	NA



Sunshine Cafe/Market

1134 MOUNTAIN ROAD NW  
ALBUQUERQUE, NEW MEXICO 87102



Date:  
June 26, 2006  
Sheet:

Traffic Control Layout

A-083



MOUNTAIN ROAD, N.W.  
(R/W VARIES)

WORKSHOP  
ARCHITECTS

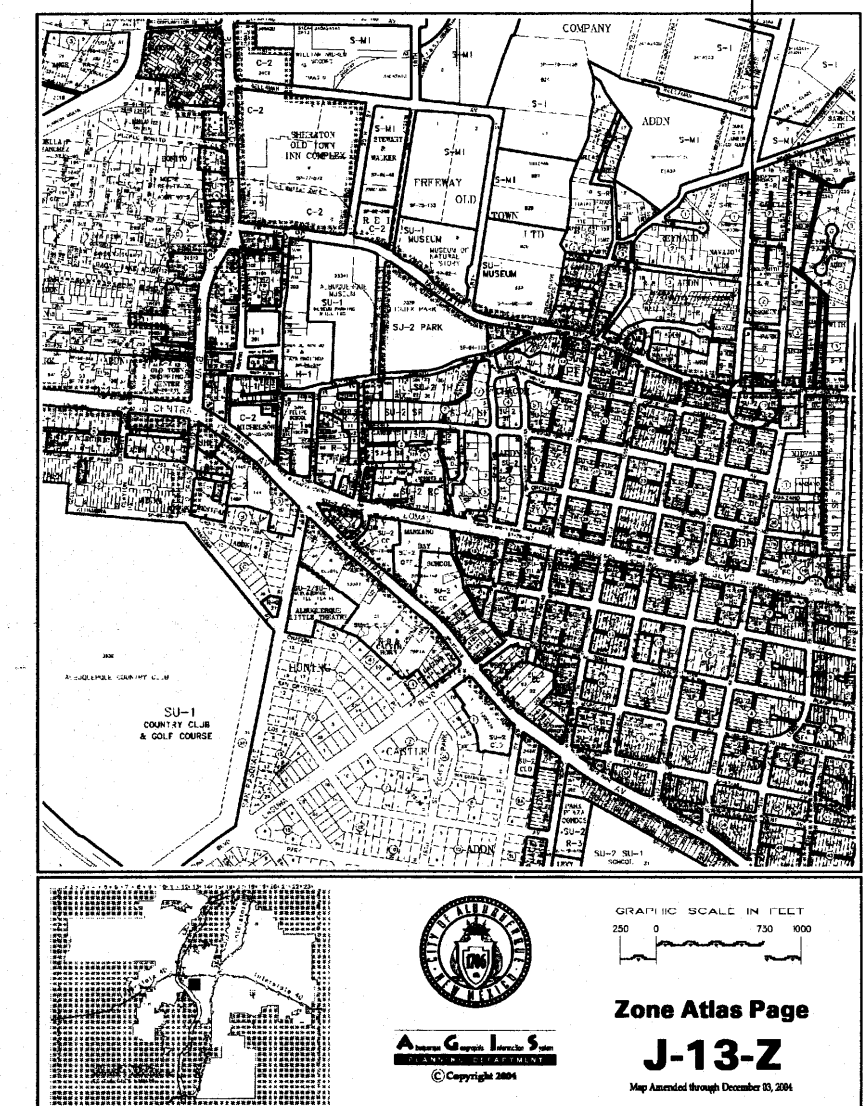
811 12TH ST. NW  
ALBUQUERQUE, NEW MEXICO  
87102

PH. 505.246.9608

trdesign@earthlink.net

Sunshine Cafe/Market

1134 MOUNTAIN ROAD NW  
ALBUQUERQUE, NEW MEXICO 87102



TRACT "A-1" OF A PORTION OF LOTS 1, 2, 3, AND 4 AND PORTIONS OF 7, 8, 9 AND 10 OF BLOCK NUMBERED FORTY-SEVEN (47), OF THE PEREA ADDITION OF THE CITY OF ALBUQUERQUE, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON NOVEMBER 30, 1982, IN MAP BOOK C20, PAGE 105.

CODE DATA  
city of albuquerque

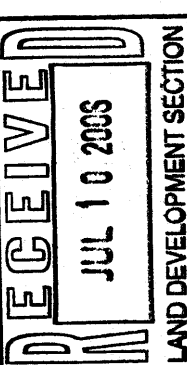
Location:	Downtown Neighborhood
Zoning:	Albuquerque, New Mexico
Zoning Atlas Page:	NC - C-1
Setbacks:	J-13-Z
Height:	Corner and Side 5'-0"
Parking Required:	Side or Rear abuts residential 15'0"
	26 Feet
	1 per 4 seats in cafe
	1 per 200 sq.ft. market
	1 per 200 sq.ft. office
	1 per 200 sq.ft. laundry
Parking Actual:	48 seats in cafe =12
	200 sq.ft. market =1
	985 sq.ft. office =5
	1,000 sq.ft. laundry =5
	Total Spaces =23

I.B.C.

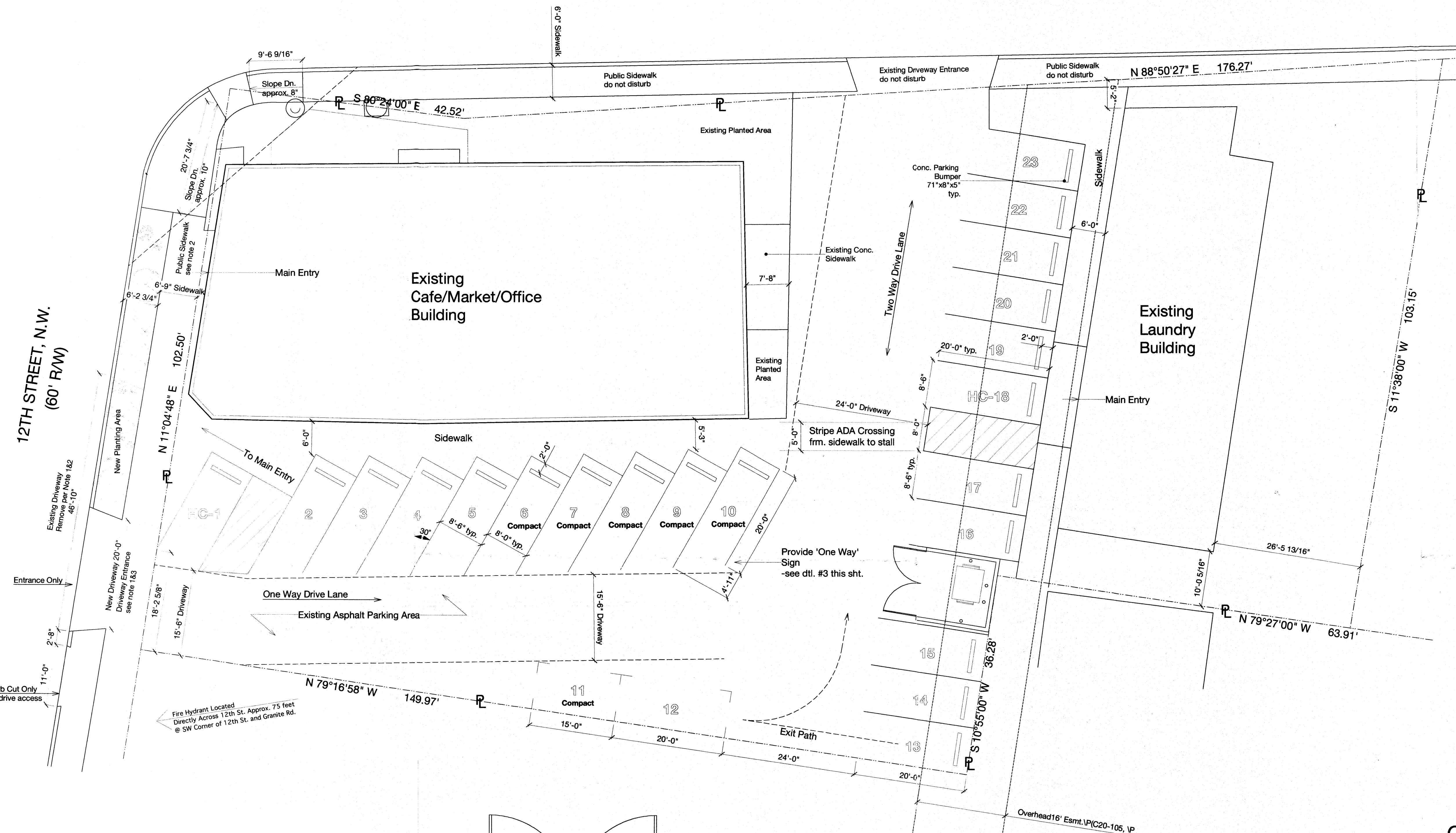
Occupancy Classification:	New Cafe/Market A-2
Construction Type:	Existing office B
Separation:	Existing CMU and Adobe
Allowable Area:	New Vb
Sprinkler:	2 Hour btwn. A-2 and B
	1 Stories 6,000 sq.ft.
	NA

Date:  
June 26, 2006  
Sheet:

Traffic Control Layout

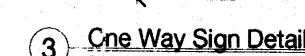
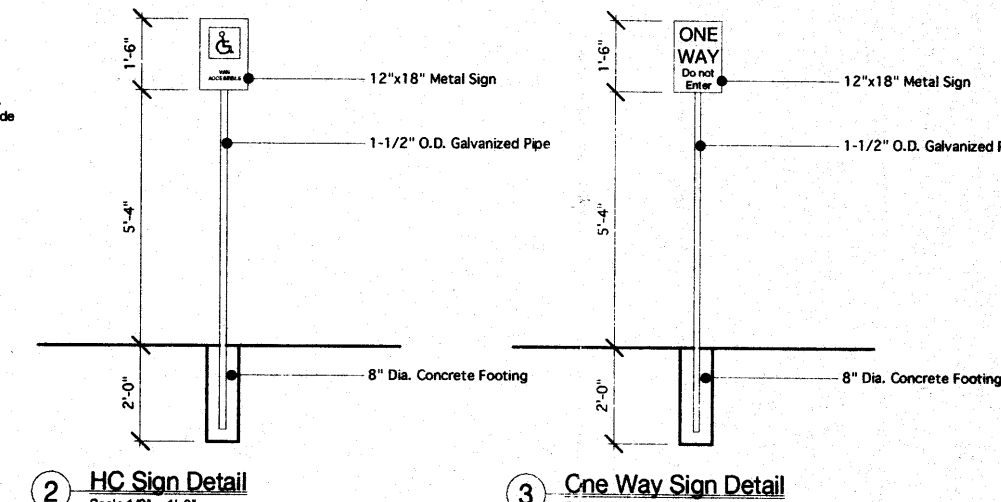
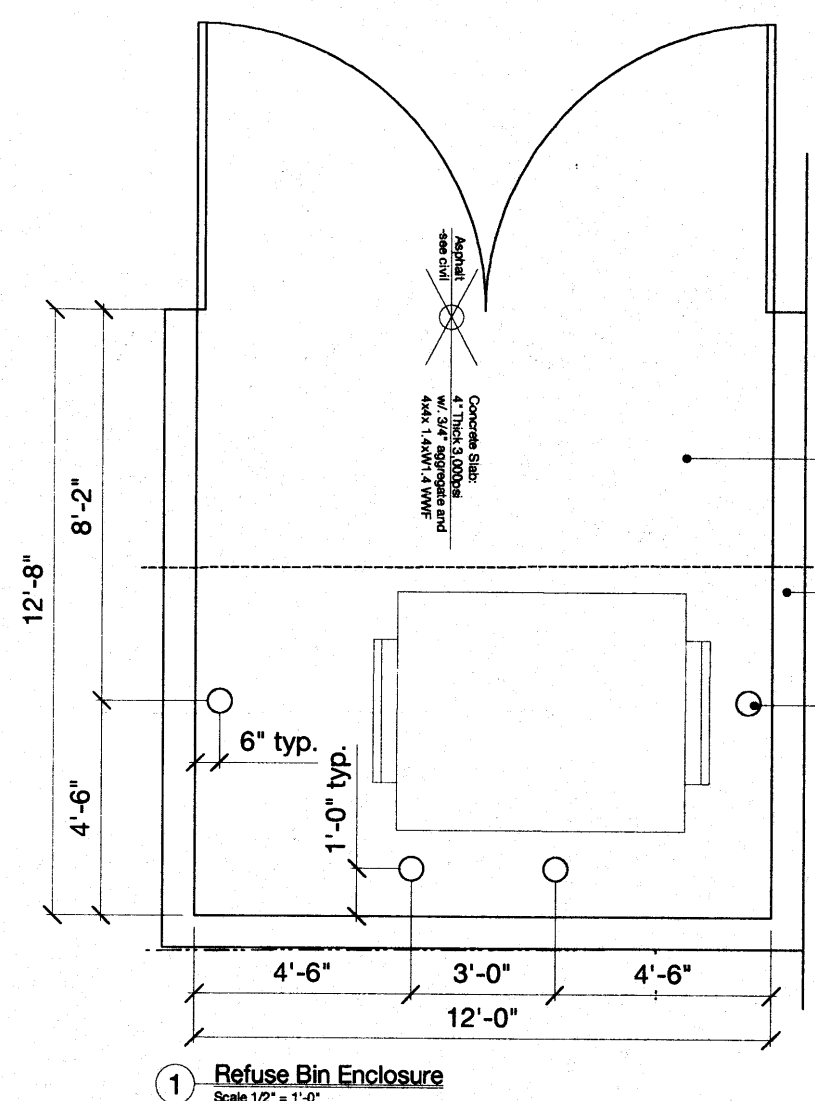


A-083



Traffic Control Layout  
Scale 1/8" = 1'-0"

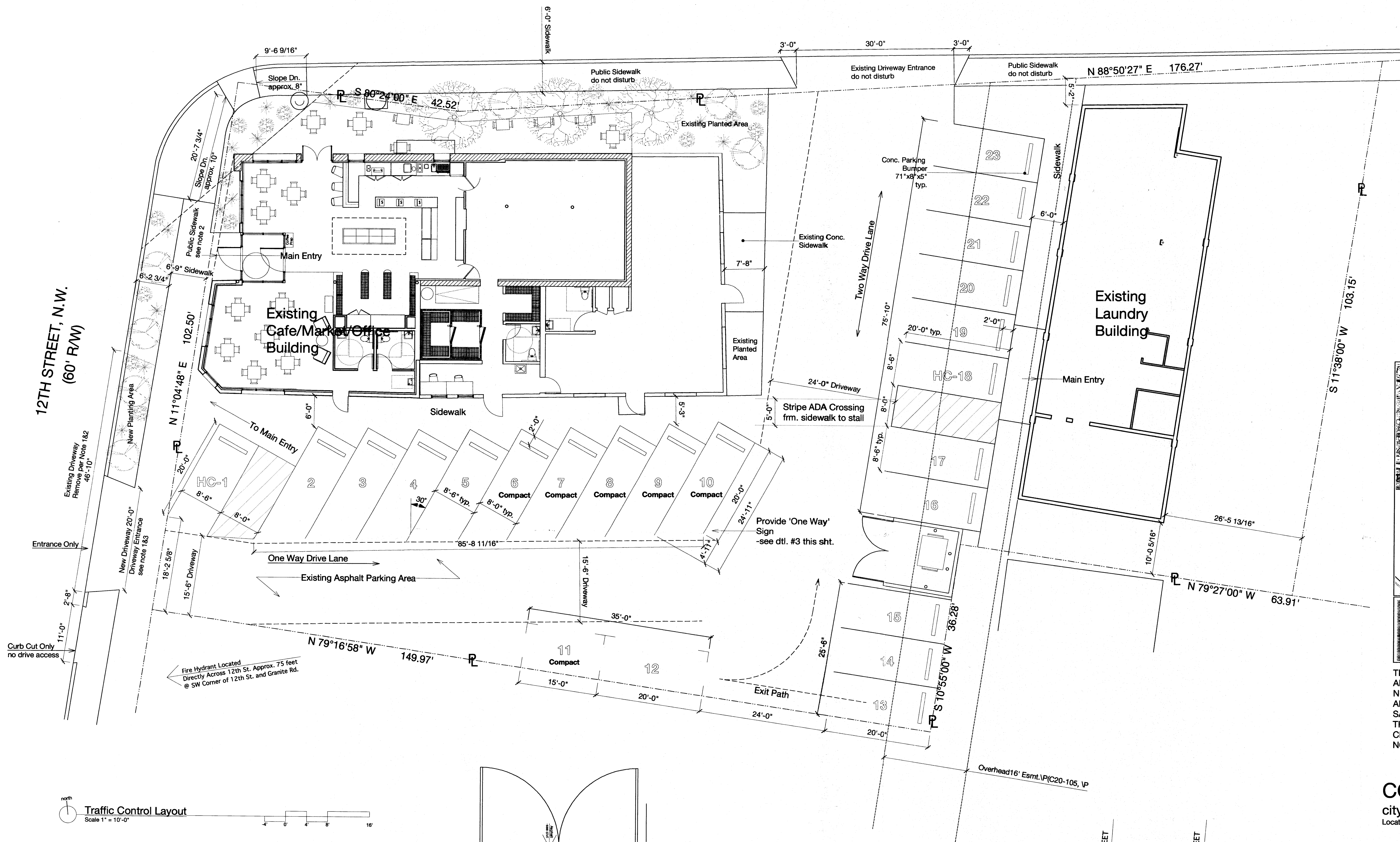
- General Note:
1. Remove existing sidewalk and driveway entrance's. Replace with new Conc. Sidewalk and driveway entrance. Patch Curb and Gutter where required. Conform to city Specs. Paving Sidewalk Details DWG 2430 Curb Type Sidewalk
  2. Conform to City Specs. Paving and Sidewalk Details DWG 2415A Standard 8" Curb and Gutter
  3. New Driveway to conform to City Specs. DWG 2425
  4. Contractor is responsible for coordinating all site utility relocations and is responsible for providing all required placement and clearances.



VICINITY PLAN  
NTS

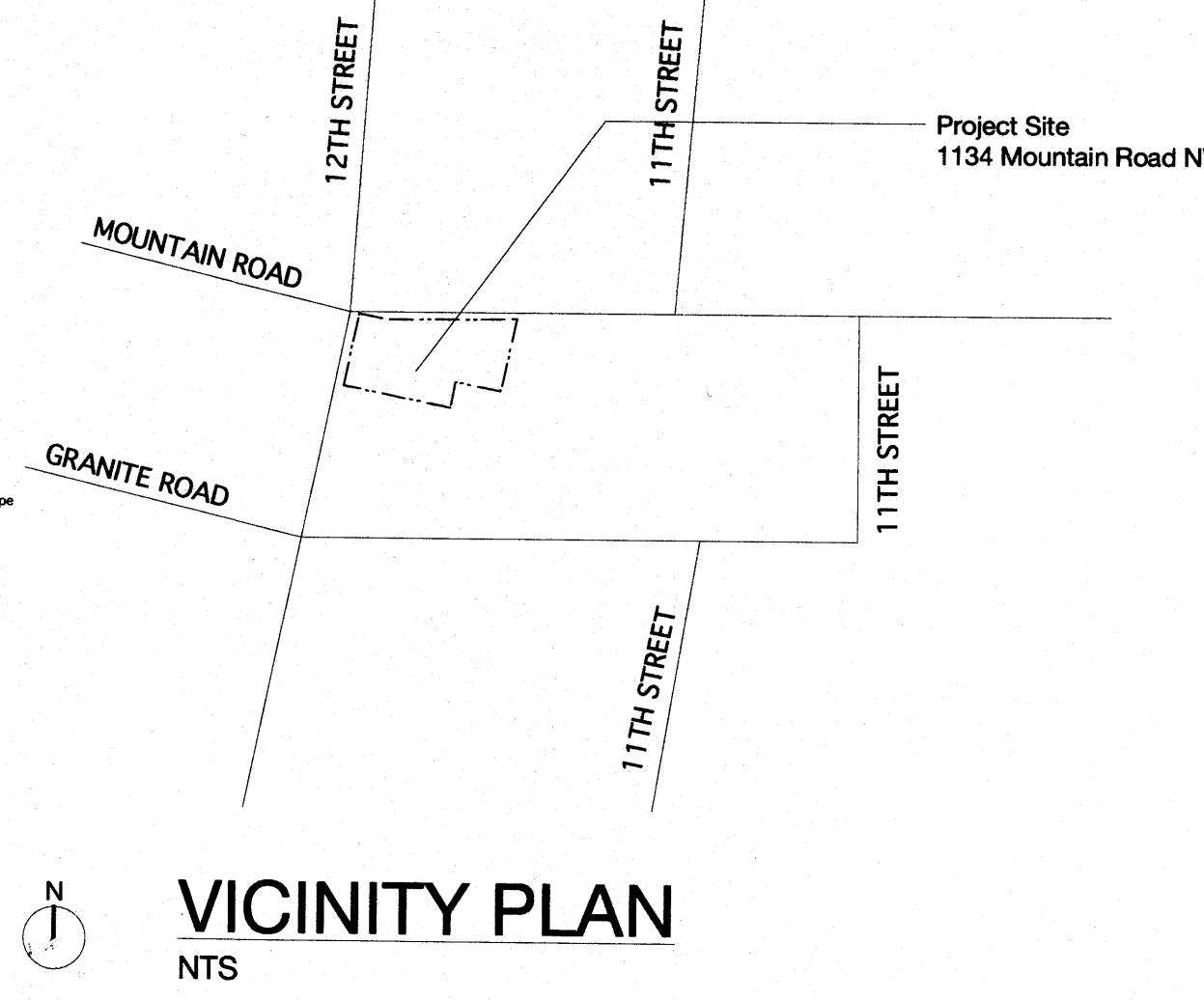
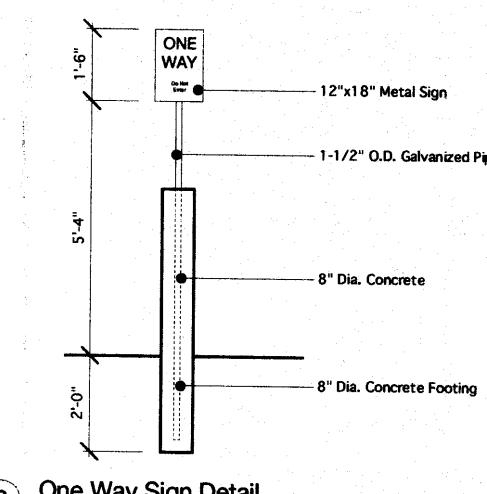
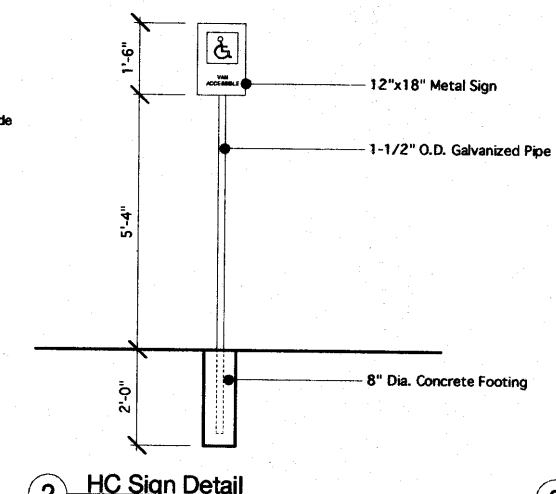
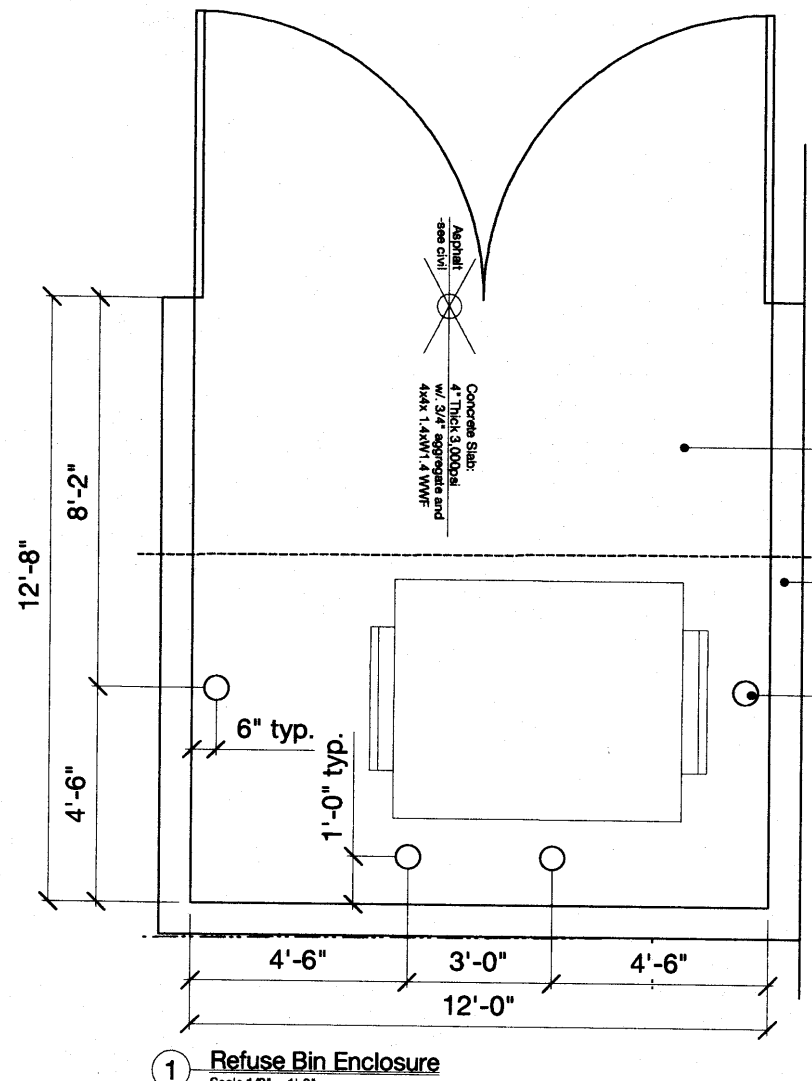


MOUNTAIN ROAD, N.W.  
(R/W VARIES)



**Traffic Control Layout**  
Scale 1" = 10'-0"

- General Note:
1. Remove existing sidewalk and driveway entrance's. Replace with new Conc. Sidewalk and driveway entrance. Patch Curb and Gutter where required. Conform to city Specs. Paving Sidewalk Details DWG 2430 Curb Type Sidewalk
  2. Conform to City Specs. Paving and Sidewalk Details DWG 2415A Standard 8" Curb and Gutter
  3. New Driveway to conform to City Specs. DWG 2425
  4. Contractor is responsible for coordinating all site utility relocations and is responsible for providing all required placement and clearances.



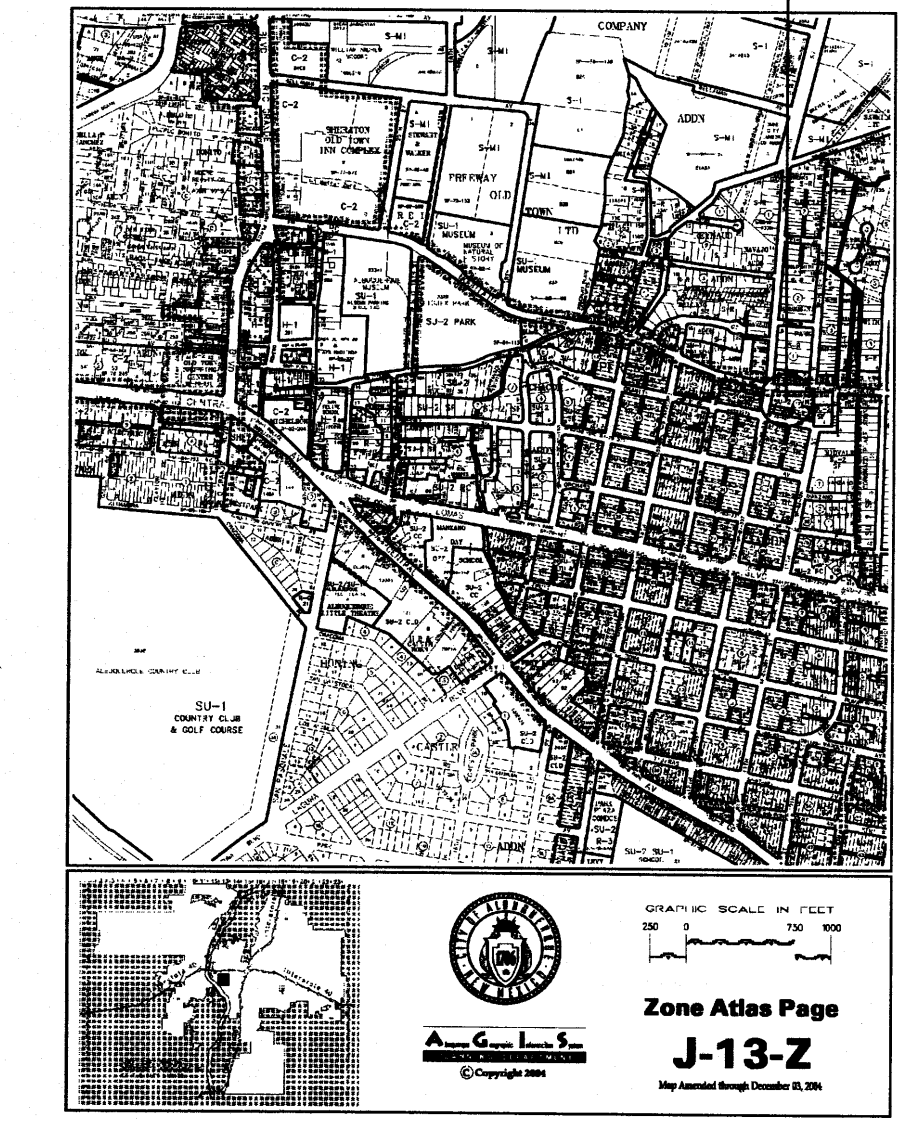
**CODE DATA**

city of albuquerque	Location:	Downtown Neighborhood
	Zoning:	Albuquerque, New Mexico
	Setbacks:	NC - C-1
	Height:	J-13-Z
	Parking Required:	Corner and Side 5'-0"
		Side or Rear abuts residential 15'0"
		26 Feet
		1 per 4 seats in cafe
		1 per 200 sq.ft. market
		1 per 200 sq.ft. office
		1 per 200 sq.ft. laundry
		48 seats in cafe
		200 sq.ft. market
		985 sq.ft. office
		1,000 sq.ft. laundry
		Total Spaces
		=12
		=1
		=5
		=5
		=23

**I.B.C.**

Occupancy Classification:	New Cafe/ Market A-2
	Existing office B
	Existing Laundry B
	Existing CMU and Adobe
	New Vb
	NA
	1 Stories 6,000 sq.ft.
	YES

Construction Type:	
Separation:	
Allowable Area:	
Sprinkler:	



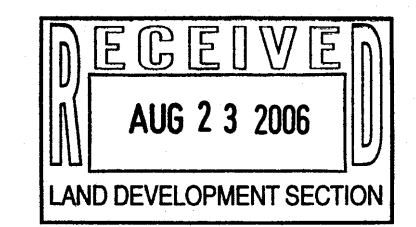
TRACT "A-1" OF A PORTION OF LOTS 1, 2, 3, AND 4 AND PORTIONS OF 7, 8, 9 AND 10 OF BLOCK NUMBERED FORTY-SEVEN (47), OF THE PEREA ADDITION OF THE CITY OF ALBUQUERQUE, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON NOVEMBER 30, 1982, IN MAP BOOK C20, PAGE 105.

**WORKSHOP ARCHITECTS**

811 12TH ST. NW  
ALBUQUERQUE, NEW MEXICO 87102  
PH. 505.246.9608  
tredesign@earthlink.net

**Sunshine Cafe/Market**

1134 MOUNTAIN ROAD NW  
ALBUQUERQUE, NEW MEXICO 87102



Date:  
August 3, 2006  
Sheet:

Traffic Control Layout



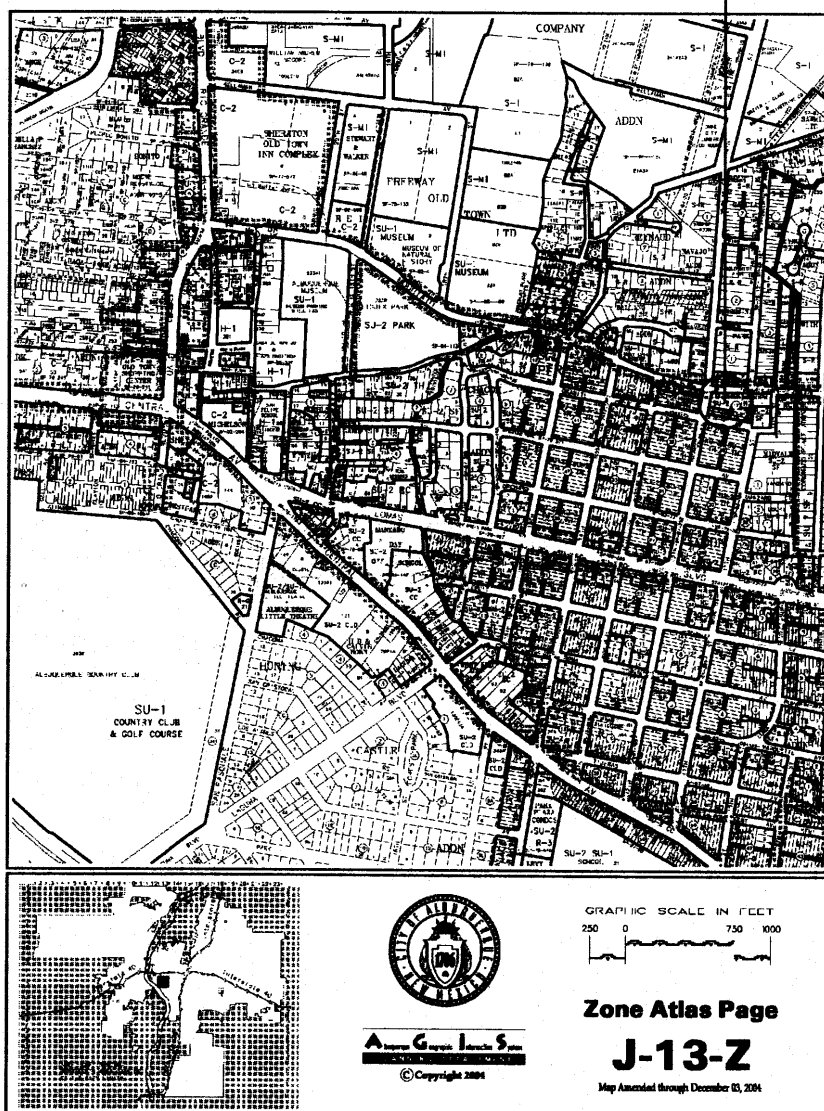
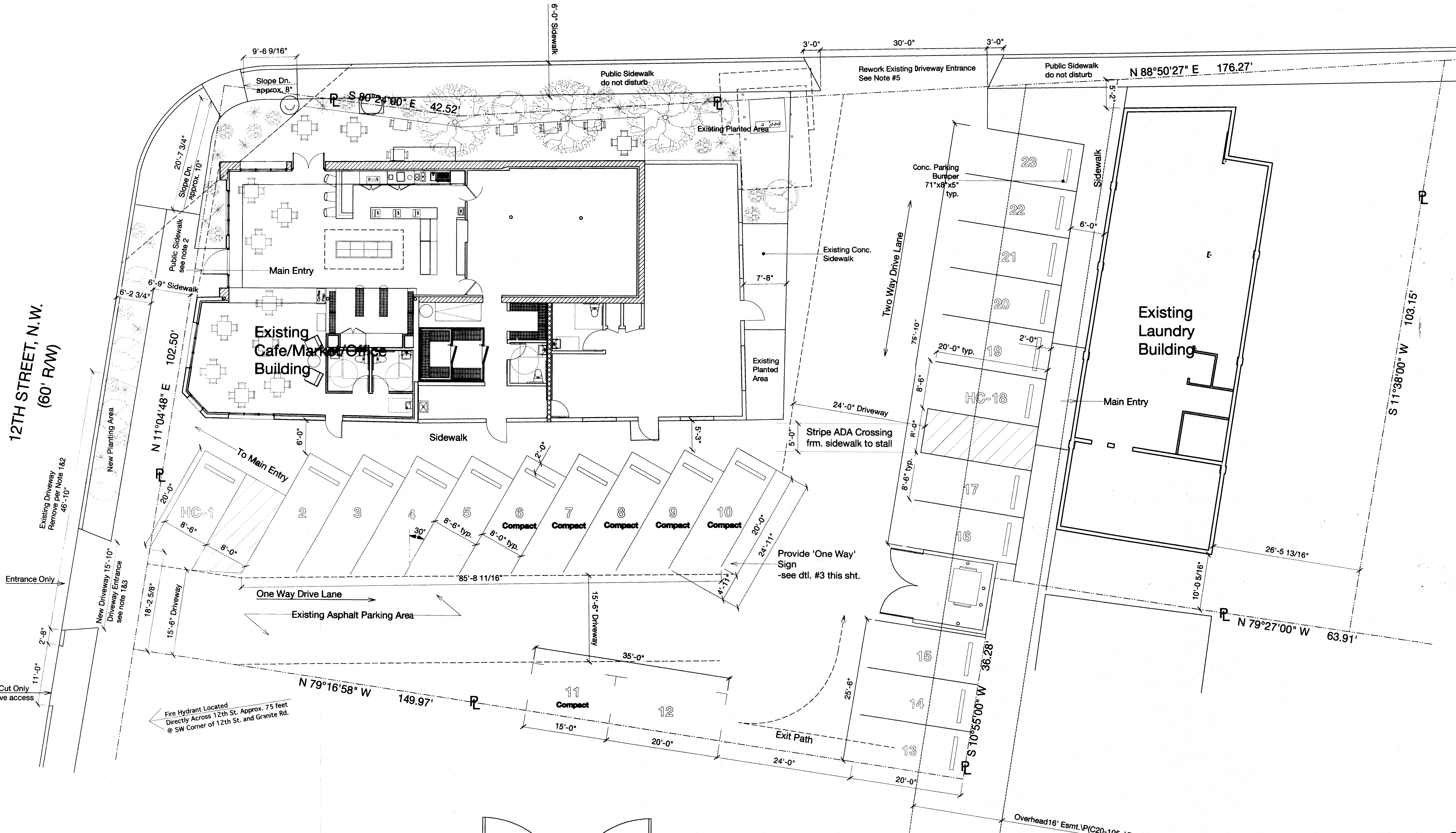
MOUNTAIN ROAD, N.W.  
(R/W VARIES)

WORKSHOP  
ARCHITECTS

811 12TH ST. NW  
ALBUQUERQUE, NEW MEXICO  
87102

PH. 505.246.9608

tredeign@earthlink.net



TRACT "A-1" OF A PORTION OF LOTS 1, 2, 3, AND 4  
NUMBERED FORTY-SEVEN (47), OF THE PEREA  
ADDITION OF THE CITY OF ALBUQUERQUE, AS THE  
SAME IS SHOWN AND DESIGNATED ON THE PLAT  
THEREOF, FILED IN THE OFFICE OF THE COUNTY  
CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON  
NOVEMBER 30, 1982, IN MAP BOOK C20, PAGE 105.

TRAFFIC CIRCULATION LAYOUT  
APPROVED

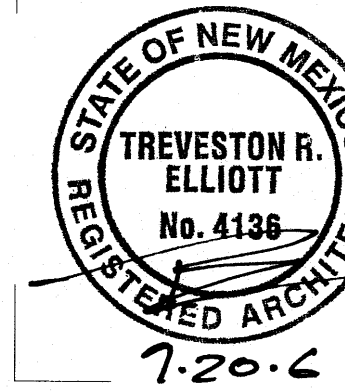
45 9/26/06  
Signed Date

CODE DATA  
city of albuquerque

Location: Downtown Neighborhood  
Albuquerque, New Mexico  
NC = C-1  
J-13-Z  
Corner and Side 5'-0"  
Side or Rear abuts residential 15'0"  
26 Feet  
Height:  
Parking Required:  
1 per 4 seats in cafe  
1 per 200 sq.ft. market  
1 per 200 sq.ft. office  
1 per 200 sq.ft. laundry  
Parking Actual:  
48 seats in cafe =12  
200 sq.ft. market =1  
985 sq.ft. office =5  
1,000 sq.ft. laundry =5  
Total Spaces =23

I.B.C.

Occupancy Classification: New Cafe/ Market A-2  
Existing office B  
Existing Laundry B  
Existing CMU and Adobe  
New Vb  
NA  
Construction Type:  
Separation: 1 Stories 6,000 sq.ft.  
Allowable Area: YES  
Sprinkler: YES



Date:  
September 13, 2006  
Sheet:

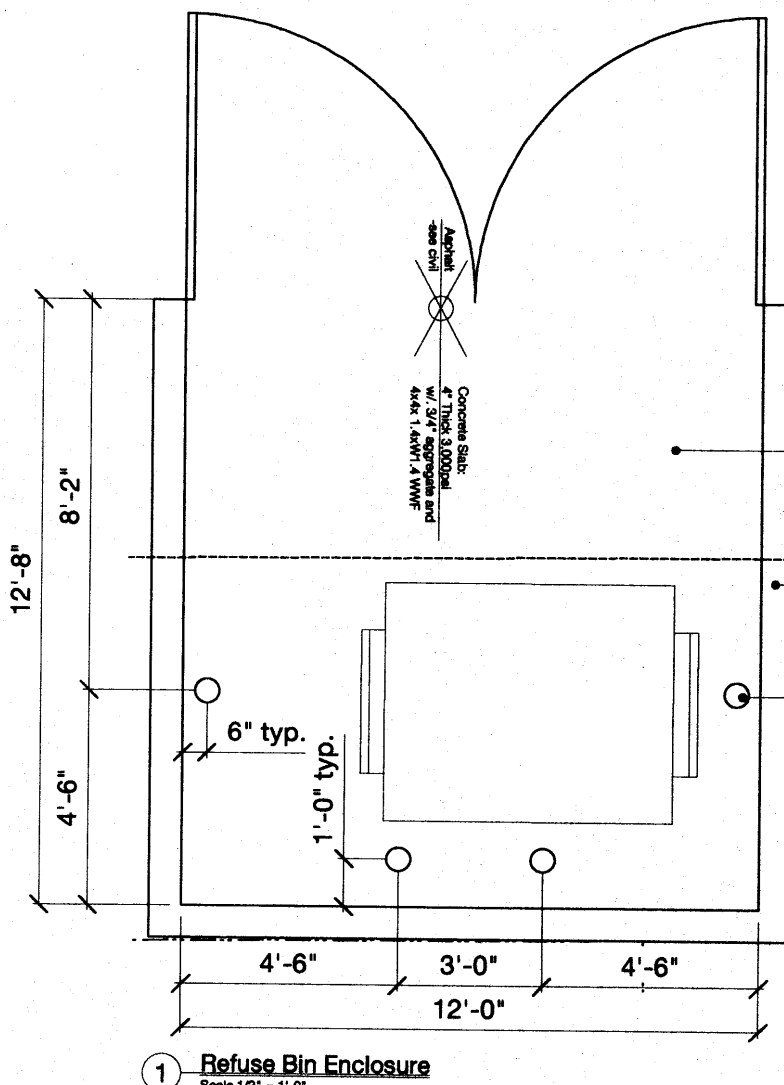
Traffic Control Layout

VICINITY PLAN  
NTS

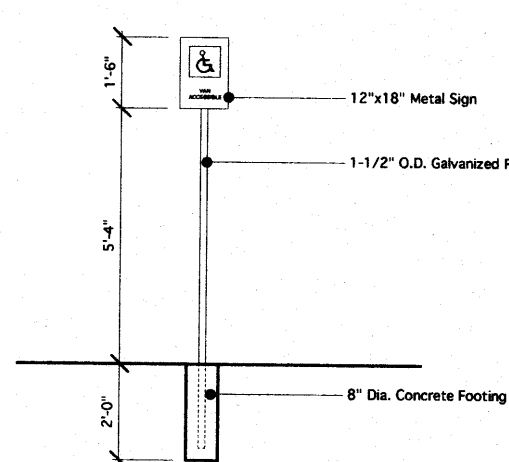
Traffic Control Layout  
Scale 1" = 10'-0"

General Notes:

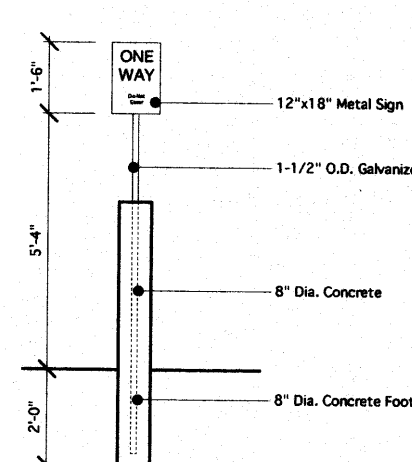
1. Remove existing sidewalk and driveway entrance's. Replace with new Conc. Sidewalk and driveway entrance. Patch Curb and Gutter where required. Conform to city Specs. Paving Sidewalk Details DWG 2430 Curb Type Sidewalk
2. Conform to City Specs. Paving and Sidewalk Details DWG 2415A Standard 8" Curb and Gutter
3. New Driveway to conform to City Specs. DWG 2425
4. Contractor is responsible for coordinating all site utility relocations and is responsible for providing all required placement and clearances.
5. Existing Driveway re-slope sidewalk transition to conform to City Specs. DWG 2425



1 Refuse Bin Enclosure  
Scale 1/2" = 1'-0"



2 HC Sign Detail  
Scale 1/2" = 1'-0"



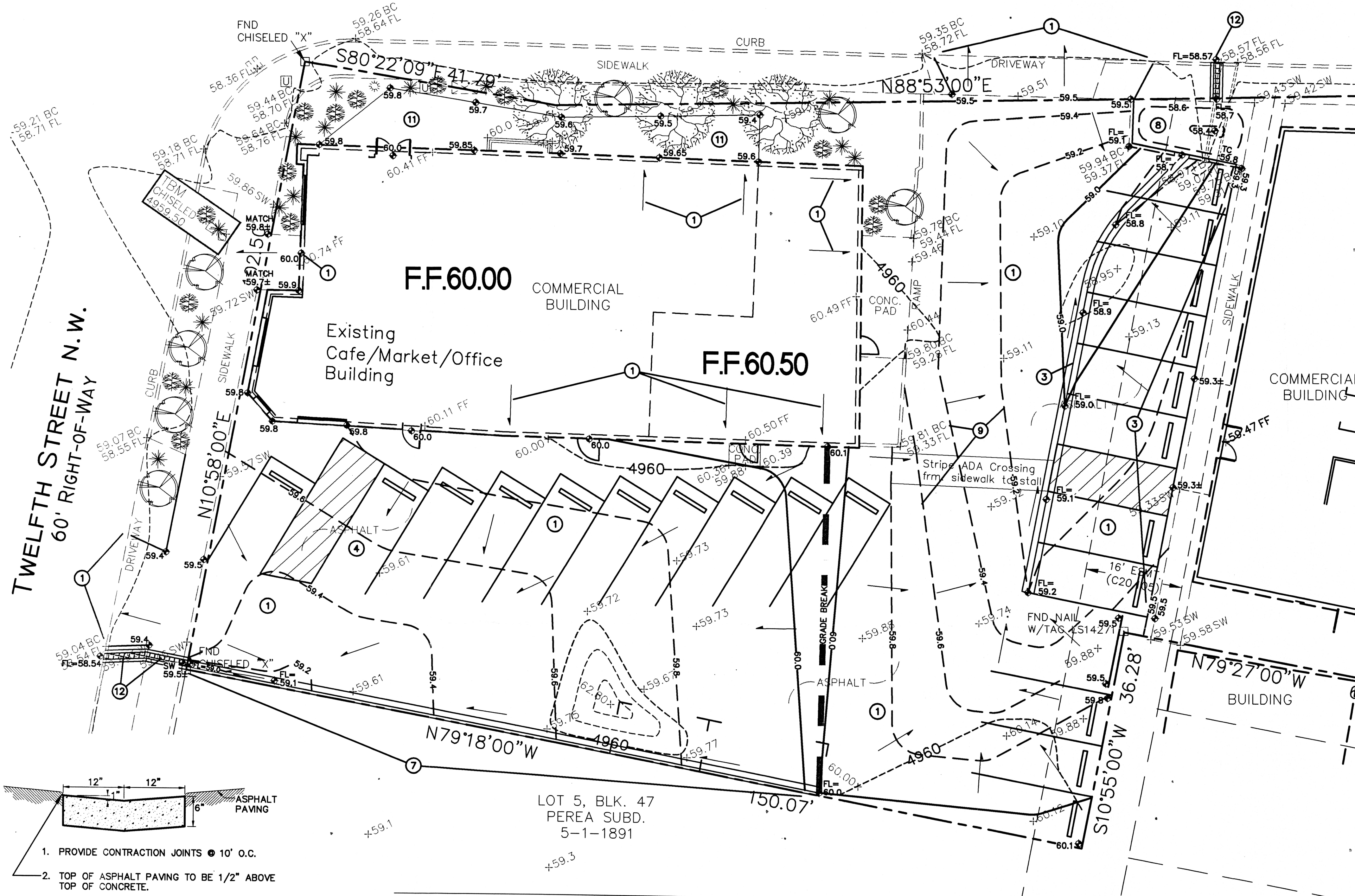
3 One Way Sign Detail  
Scale 1/2" = 1'-0"

A-083

RECEIVED  
SEP 20 2006  
HYDROLOGY SECTION



1134 MOUNTAIN ROAD N.W.  
RIGHT-OF-WAY VARIES



PROJECT DATA

PROJECT SCOPE:

THE PROPOSED IMPROVEMENTS INCLUDE REMOVAL / REPAVING OF THE EXISTING ASPHALT PARKING LOT FOR THIS PROPERTY IN CONJUNCTION WITH A INTERIOR BUILDING REMODEL (CURRENTLY UNDER CONSTRUCTION). THE PURPOSE OF THE REPAVING IS TO REDEFINE DRAINAGE TO MEET NEW STANDARDS, PROVIDE POSITIVE DRAINAGE AWAY FROM THE EXISTING STRUCTURE AND ELIMINATE EXISTING BIRDBATHS.

THE SITE IS LOCATED AT THE SOUTHEAST CORNER OF MOUNTAIN ROAD AND 12TH STREET NW, DEVELOPED RESIDENTIAL ADJUTS THE PROPERTY TO THE SOUTH AND DEVELOPED COMMERCIAL TO THE EAST. THE SURROUNDING AREA IS FULLY DEVELOPED.

DRAINAGE PLAN CONCEPT: THE PORTION OF THE PROPERTY INCLUDED IN THIS PROPOSAL IS DIVIDED INTO TWO SUB-BASINS WHICH FOLLOW THE DRAINAGE CONCEPT OF THE EXISTING DEVELOPMENT. A PORTION OF THE BUILDING AND SOUTHERNMOST PAVEMENT WILL DISCHARGE WEST TO 12TH STREET THROUGH A PROPOSED COVERED SIDEWALK CULVERT AT THE SOUTHWEST CORNER. THE REMAINDER OF THE MAIN BUILDING AS WELL AS A EASTERNMOST PAVED PARKING WILL DISCHARGE TO MOUNTAIN ROAD THROUGH A PROPOSED COVERED SIDEWALK CULVERT AT THE NORTHEAST CORNER. DISCHARGE WILL THEN FOLLOW HISTORIC FLOWPATHS TO ENTER THE PUBLIC STORM DRAIN SYSTEM SERVING THE AREA.

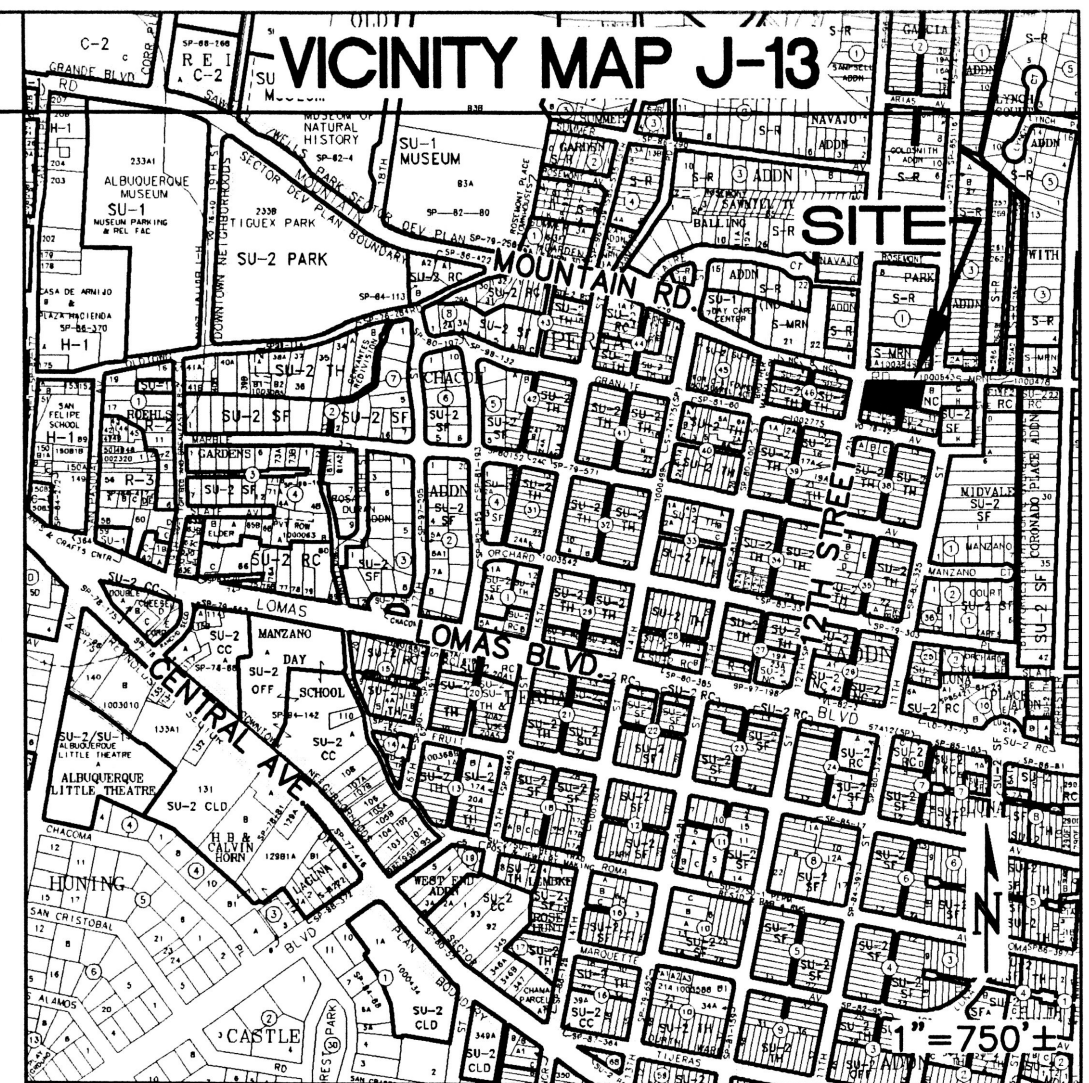
LEGAL: A PORTION OF TRACT A-1, BLOCK 47, PEREA SUBDIVISION, CITY OF ALBUQUERQUE, NEW MEXICO

BENCHMARK: ACS BENCHMARK 18-J13, THE PUBLISHED ELEVATION OF WHICH IS 4857.08. THE BENCHMARK IS LOCATED IN THE WEST SWHST QUADRANT OF THE INTERSECTION OF LOMAS BLVD. NW AND ELEVENTH ST. NW.

FLOODZONE: PER FIRM MAP 331, THE SITE IS LOCATED WITHIN A FLOODZONE 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 100-YEAR FLOOD.

EROSION CONTROL: THE CONTRACTOR IS RESPONSIBLE FOR RETAINING ON-SITE ALL SEDIMENT GENERATED DURING CONSTRUCTION BY MEANS OF TEMPORARY EARTH BERMS OR SILT FENCES AND THE PREPARATION OF AND COMPLIANCE WITH SWPPP IF REQUIRED.

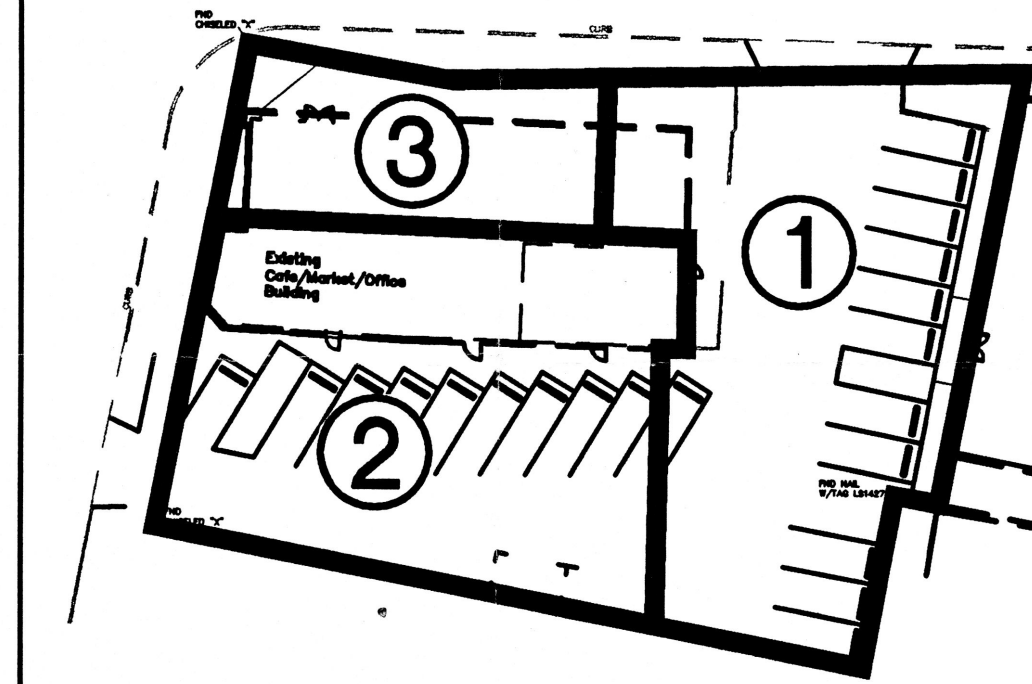
VICINITY MAP J-13



KEYED NOTES

- EXISTING SITE ENTRANCE TO BE MODIFIED. SEE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION.
- REMOVE EXISTING ASPHALT, PREPARE SUBGRADE AND INSTALL NEW ASPHALT PAVING AT GRADES SHOWN. PROVIDE SMOOTH TRANSITION TO EXISTING SITE FEATURES TO REMAIN. SEE ARCHITECTURAL FOR EXTENTS OF NEW PAVEMENT, PAVING SECTIONS, STRIPING, ETC.
- NEW ASPHALT PAVING TO BE FLUSH WITH EXISTING CONCRETE WALK THIS AREA. SEE ARCHITECTURAL FOR WHEEL STOPS, STRIPING, ETC.
- SLOPES WITHIN HANDICAP PARKING AREA TO MEET ADA REQUIREMENTS. MAX. SLOPE = 2% IN ANY DIRECTION.
- CONSTRUCT CONCRETE ALLEY GUTTER AT ELEVATIONS SHOWN (MIN. SLOPE = 0.5%). SEE SECTION THIS SHEET.
- EXISTING ROOF DRAINAGE DISCHARGE LOCATION. PROVIDE CONCRETE SPLASH PAD WITHIN LANDSCAPED AREAS. OWNER TO MAINTAIN ALL EROSION PROTECTION FEATURES AND PROVIDE ADDITIONAL EROSION PROTECTION AS REQUIRED.
- CONSTRUCT CONCRETE MOUNTABLE MEDIAN CURB AT 1% SLOPE PER DETAIL THIS SHEET TO DIRECT SITE DISCHARGE TO PROPOSED SIDEWALK CULVERT (ADJACENT PROPERTY - SAME OWNER).
- LANDSCAPED STILLING BASIN TO COLLECT SITE DISCHARGE AND RELEASE EXCESS TO MOUNTAIN ROAD. REMOVE EXISTING 4" DRAIN LINES.
- PROPOSED CONTOURS SHOWN ARE AT 0.2' INCREMENTS TO CLEARLY DELINEATE DRAINAGE PATTERNS. TYPICAL.
- EXISTING BUILDING F.F. ELEVATION TO BE LOWERED TO PROVIDE ACCESSIBLE ROUTE FROM 12TH STREET MAIN ENTRANCE AS SHOWN.
- CONSTRUCT CONCRETE PATIO. PROVIDE 2% SLOPE TO DRAIN AWAY FROM BUILDING.
- CONSTRUCT 1' WIDE CONCRETE SIDEWALK CULVERT WITH STEEL PLATE TOP PER C.O.A. STD. DWS. 2236 TO PASS FLOW TO STREET.
- INSTALL 6" DIA. CONCRETE FILLED BOLLARD TO PROTECT ENTRANCE TO DRAINAGE CULVERT.

SUB-BASINS



S.O.19 : NOTICE TO CONTRACTORS

- AN EXCAVATION / CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE #7 AMENDMENT 1.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC / STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVAL NAME DATE  
INSPECTOR

GENERAL NOTES

- COORDINATE WORK WITH SITE PLAN AND DETAILS.
- DO NOT SCALE THIS PLAN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY EXISTING CONDITIONS AND THE LOCATIONS OF ALL ITEMS PRIOR TO CONSTRUCTION. REPORT ALL DISCREPANCIES TO THE ARCHITECT AND VERIFY THE ARCHITECT'S INTENT BEFORE PROCEEDING.
- WHERE PROPOSED GRADES MEET EXISTING GRADES, TRANSITION SHALL BE SMOOTH AND LEVEL.
- GRADES SHOWN WITHIN LANDSCAPED AREAS INDICATE TOP OF LANDSCAPE MATERIAL. SUBGRADE TO BE GRADED TO ELEVATION SHOWN MINUS LANDSCAPE MATERIAL THICKNESS.
- ADJUST EXISTING UTILITY FEATURES AS NECESSARY TO MATCH NEW GRADES. TYPICAL CONTRACTOR TO FIELD VERIFY AND PROTECT ALL EXISTING UTILITIES WITHIN AREA TO BE IMPROVED.

ISAACSON & ARFMAN, P.A.  
Consulting Engineering Associates  
128 Monroe Street N.E.  
Albuquerque, New Mexico 87108  
Ph. 505-268-8828 Fax. 505-268-2632  
1577GRD.dwg Nov 20,2006

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SUNSHINE CAFE / MARKET  
PAVING IMPROVEMENTS  
WORKSHOP ARCHITECTS

GRADING AND DRAINAGE PLAN

Date:	No.	Revision:	Date:	Job No.
11-17-06				1577
Drawn By:				C-101
BJB				
Ckd By:				SH OF
FCA				

NOV 21 2006  
HYDROLOGY SECTION

CALCULATIONS: Sunshine Market : November 20, 2006			
Based on Drainage Design Criteria for City of Albuquerque Section 22.2, DPM, Vol 2, dated Jan., 1993			
ON-SITE			
AREA OF SITE:	17559 SF	=	0.4 Ac.
HISTORIC FLOWS:			
On-Site Historic Land Condition	On-Site Developed Land Condition	EXCESS PRECIP:	Precip. Zone 2
Area a = 0 SF	Area a = 0 SF	Ea = 0.53	
Area b = 878 SF	Area b = 1756 SF	Eb = 0.78	
Area c = 1756 SF	Area c = 878 SF	Ec = 1.13	
Area d = 14925 SF	Area d = 14925 SF	Ed = 2.12	
Total Area = 17559 SF	Total Area = 17559 SF		
On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)			
Weighted E =	EaAa + EbAb + EcAc + EdAd		
	Aa + Ab + Ac + Ad		
Historic E =	1.95 in.	Developed E =	1.94 in.
On-Site Volume of Runoff: V360 = E*A / 12			
Historic V360 =	2859 CF	Developed V360 =	2834 CF
On-Site Peak Discharge Rate: Qp = QpaAa+QpbAb+QpcAc+QpdAd / 43,560			
For Precipitation Zone 2			
Qpa = 1.56	Qpc = 3.14		
Qpb = 2.28	Qpd = 4.70		
Historic Qp =	1.8 CFS	Developed Qp =	1.8 CFS

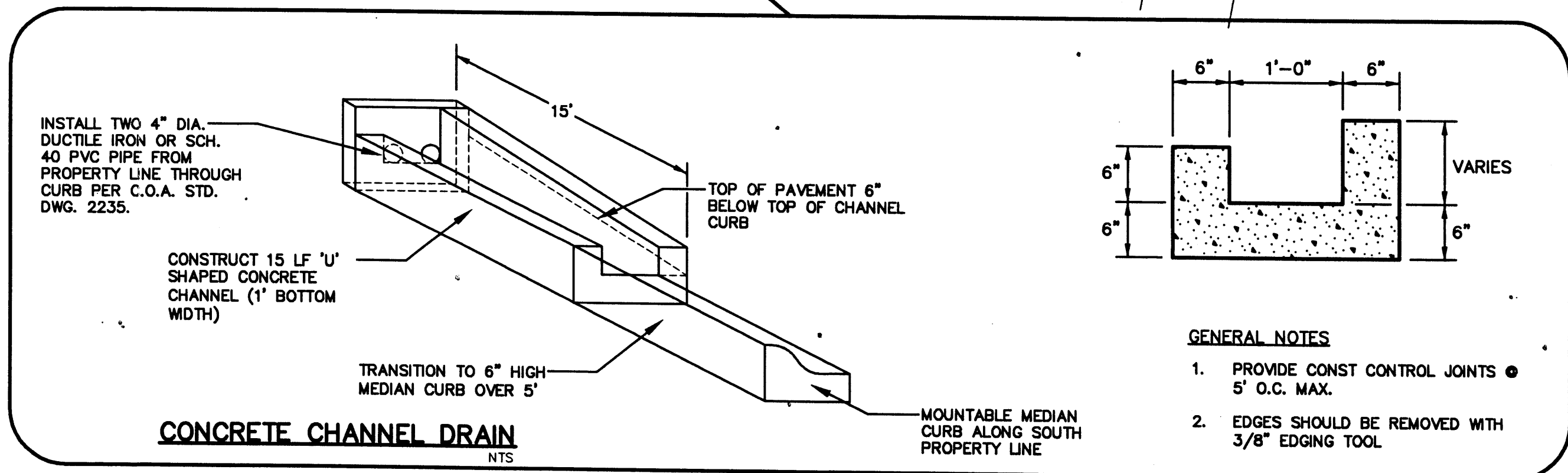
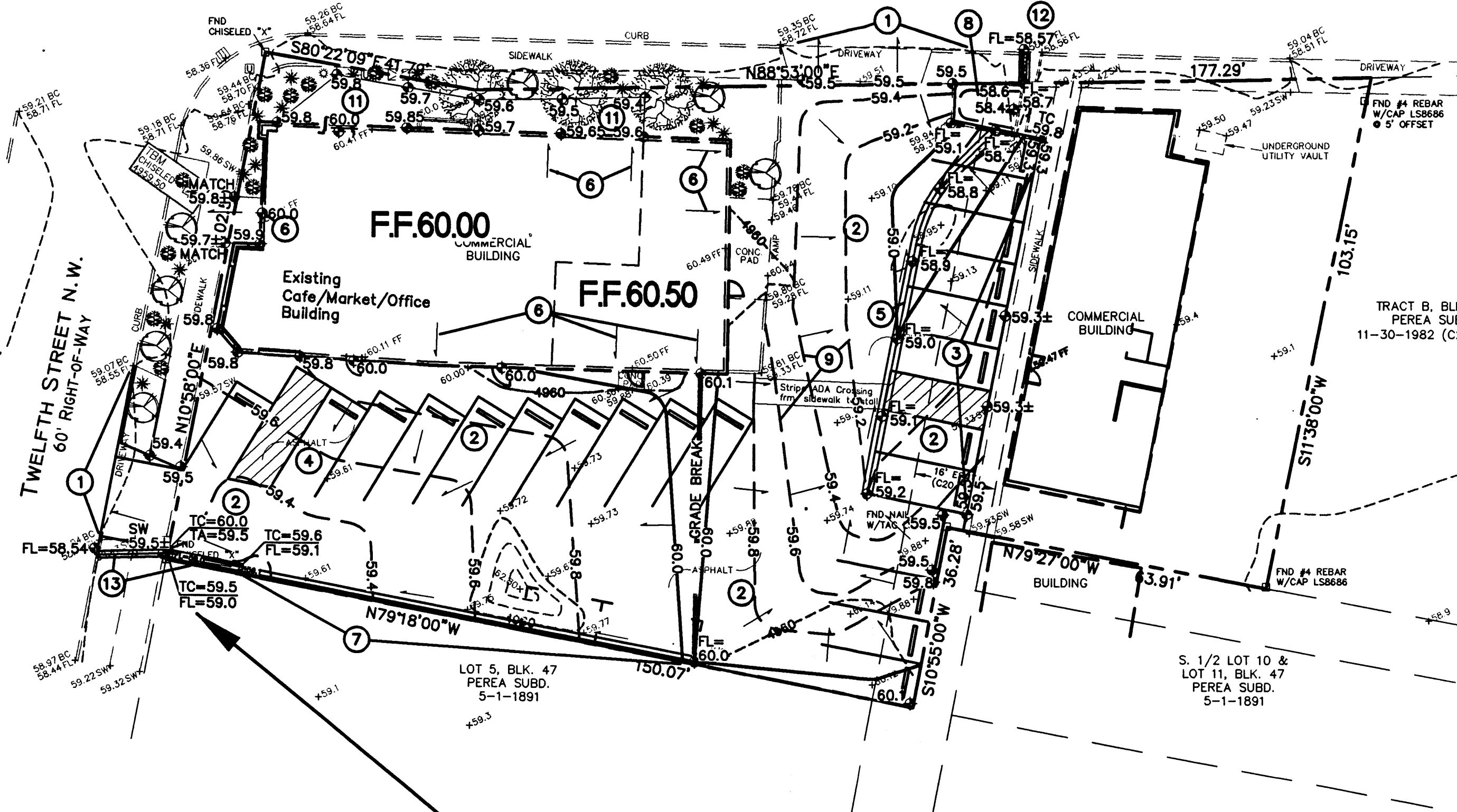
BASIN NO.	DESCRIPTION	AREA	TREATMENT
1	Area of basin flows = 7610 SF	0.2 Ac.	
The following calculations are based on Treatment areas as shown in table to the right			
Sub-basin Weighted Excess Precipitation (see formula above)	Weighted E = 2.00 in.		
Sub-basin Volume of Runoff (see formula above)	V360 = 1271 CF		
Sub-basin Peak Discharge Rate: (see formula above)	Qp = 0.8 cfs		
2	Area of basin flows = 7380 SF	0.2 Ac.	
The following calculations are based on Treatment areas as shown in table to the right			
Sub-basin Weighted Excess Precipitation (see formula above)	Weighted E = 2.12 in.		
Sub-basin Volume of Runoff (see formula above)	V360 = 1304 CF		
Sub-basin Peak Discharge Rate: (see formula above)	Qp = 0.8 cfs		
3	Area of basin flows = 2568 SF	0.1 Ac.	
The following calculations are based on Treatment areas as shown in table to the right			
Sub-basin Weighted Excess Precipitation (see formula above)	Weighted E = 1.82 in.		
Sub-basin Volume of Runoff (see formula above)	V360 = 389 CF		
Sub-basin Peak Discharge Rate: (see formula above)	Qp = 0.2 cfs		

THE PROPOSED PORTION OF THE PROPERTY TO BE PAVED MAINTAINS HISTORIC DISCHARGE RATES AND DISCHARGE POINTS. THE PROPERTY IS DIVIDED INTO THREE SUB-BASINS (SEE SUB-BASIN MAP INSERT THIS SHEET). SUB-BASIN 1 OF 0.8 CFS WILL CONTINUE TO DRAIN TO MOUNTAIN ROAD VIA A NEW SIDEWALK CULVERT REPLACING TWO PIPE DRAINS. SUB-BASIN 2 OF 0.8 CFS WILL CONTINUE TO DRAIN TO 12TH STREET VIA A NEW SIDEWALK CULVERT AND SUB-BASIN 3 OF 0.2 CFS WILL CONTINUE TO DRAIN TO MOUNTAIN ROAD.

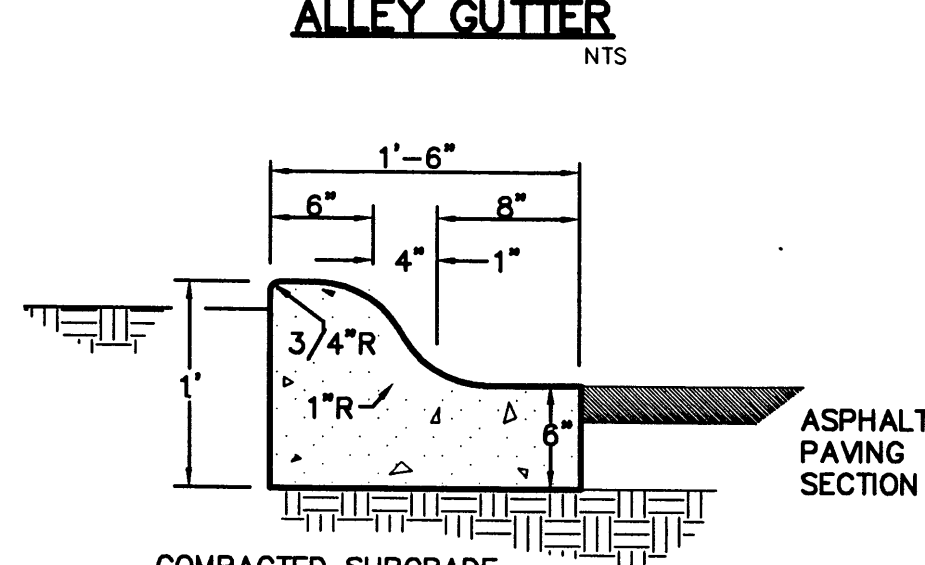
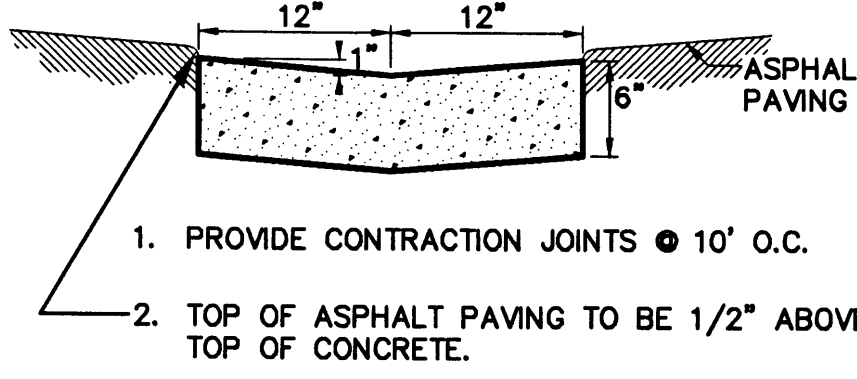
1 NORTH ARROW  
2 SCALE  
3 NARRATIVE DATES 2BASINS  
4 LEGEND SYMBOLS  
5 SW CULV + EX CONTOURS  
6 DRIVEWAY AS PER 2425.5 SHOWN  
7 SHOW VG.  
8 SHOW EX TRENCHES OF CULV R/R  
9 VG AS PER 2425.5  
10 REVISE KEYED NOTE 2 TO REFER TO THE CORRECT ELEVATION. NOTE 1 USED EXTENSIVELY  
11 NOTE 5 SHOWN READ "VALLEY GUTTER"



1134 MOUNTAIN ROAD N.W.  
RIGHT-OF-WAY VARIES



- GENERAL NOTES**
1. PROVIDE CONST. CONTROL JOINTS @ 5' O.C. MAX.
  2. EDGES SHOULD BE REMOVED WITH 3/8" EDGING TOOL.



**GENERAL NOTES**

1. PROVIDE CONST. CONTROL JOINTS @ 6' O.C. MAX. AND 1/2" EXPANSION JOINTS @ 48' O.C. MAX.
2. EDGES SHOULD BE REMOVED WITH 3/8" EDGING TOOL.
3. MEDIAN C & G REQUIRE FULL FORM ON ALL FACES

**MOUNTABLE MEDIAN CURB**

CALCULATIONS: Sunshine Market : November 20, 2006			
Based on Drainage Design Criteria for City of Albuquerque Section 22.2, DPM, Vol 2, dated Jan., 1993			
ON-SITE			
AREA OF SITE:	17559 SF	=	0.4 Ac.
HISTORIC FLOWS:			
On-Site Historic Land Condition	Area a = 0 SF	Area b = 878 SF	Area c = 1756 SF
	Area d = 14925 SF	Total Area = 17559 SF	
DEVELOPED FLOWS:			
On-Site Developed Land Condition	Area a = 0 SF	Area b = 1756 SF	Area c = 878 SF
	Area d = 14925 SF	Total Area = 17559 SF	
EXCESS PRECIP:			
Precip. Zone 2	Ea = 0.53	Eb = 0.78	Ec = 1.13
	Ed = 2.12		
On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)	Weighted E = $\frac{EaAa + EbAb + EcAc + EdAd}{Aa + Ab + Ac + Ad}$		
Historic E	= 1.95 in.	Developed E	= 1.94 in.
On-Site Volume of Runoff: V360 =	$E \cdot A / 12$		
Historic V360	= 2859 CF	Developed V360	= 2834 CF
On-Site Peak Discharge Rate: Qp = QpaAa + QpbAb + QpcAc + QpdAd / 43,560			
For Precipitation Zone 2	Qpa = 1.56	Qpb = 3.14	Qpc = 4.70
Historic Qp	= 1.8 CFS	Developed Qp	= 1.8 CFS

BASIN NO.	1	DESCRIPTION
Area of basin flows =	7610 SF	= 0.2 Ac.
The following calculations are based on Treatment areas as shown in table to the right		
Sub-basin Weighted Excess Precipitation (see formula above)	Weighted E = 2.00 in.	TREATMENT
Sub-basin Volume of Runoff (see formula above)	V360 = 1271 CF	A = 0%
Sub-basin Peak Discharge Rate: (see formula above)	Qp = 0.8 cfs	B = 5%
		C = 5%
		D = 90%
BASIN NO.	2	DESCRIPTION
Area of basin flows =	7380 SF	= 0.2 Ac.
The following calculations are based on Treatment areas as shown in table to the right		
Sub-basin Weighted Excess Precipitation (see formula above)	Weighted E = 2.12 in.	TREATMENT
Sub-basin Volume of Runoff (see formula above)	V360 = 1304 CF	A = 0%
Sub-basin Peak Discharge Rate: (see formula above)	Qp = 0.8 cfs	B = 0%
		C = 0%
		D = 100%
BASIN NO.	3	DESCRIPTION
Area of basin flows =	2568 SF	= 0.1 Ac.
The following calculations are based on Treatment areas as shown in table to the right		
Sub-basin Weighted Excess Precipitation (see formula above)	Weighted E = 1.82 in.	TREATMENT
Sub-basin Volume of Runoff (see formula above)	V360 = 389 CF	A = 0%
Sub-basin Peak Discharge Rate: (see formula above)	Qp = 0.2 cfs	B = 15%
		C = 10%
		D = 75%

THE PROPOSED PORTION OF THE PROPERTY TO BE PAVED MAINTAINS HISTORIC DISCHARGE RATES AND DISCHARGE POINTS. THE PROPERTY IS DIVIDED INTO THREE SUB-BASINS (SEE SUB-BASIN MAP INSERT THIS SHEET). SUB-BASIN 1 OF 0.8 CFS WILL CONTINUE TO DRAIN TO MOUNTAIN ROAD VIA A NEW SIDEWALK CULVERT REPLACING TWO PIPE DRAINS. SUB-BASIN 2 OF 0.8 CFS WILL CONTINUE TO DRAIN TO 12TH STREET VIA A NEW SIDEWALK CULVERT AND SUB-BASIN 3 OF 0.2 CFS WILL CONTINUE TO DRAIN TO MOUNTAIN ROAD.

**PROJECT DATA**

**PROJECT SCOPE:**  
THE PROPOSED IMPROVEMENTS INCLUDE REMOVAL / REPAVING OF THE EXISTING ASPHALT PARKING LOT FOR THIS PROPERTY IN CONJUNCTION WITH AN INTERIOR BUILDING REMODEL (CURRENTLY UNDER CONSTRUCTION). THE PURPOSE OF THE REPAVING IS TO REDEFINE DRAINAGE TO MEET NEW STANDARDS, PROVIDE POSITIVE DRAINAGE AWAY FROM THE EXISTING STRUCTURE AND ELIMINATE EXISTING BIRDBATHS.

THE SITE IS LOCATED AT THE SOUTHEAST CORNER OF MOUNTAIN ROAD AND 12TH STREET NW. DEVELOPED RESIDENTIAL ADJUTS THE PROPERTY TO THE SOUTH AND DEVELOPED COMMERCIAL TO THE EAST. THE SURROUNDING AREA IS FULLY DEVELOPED.

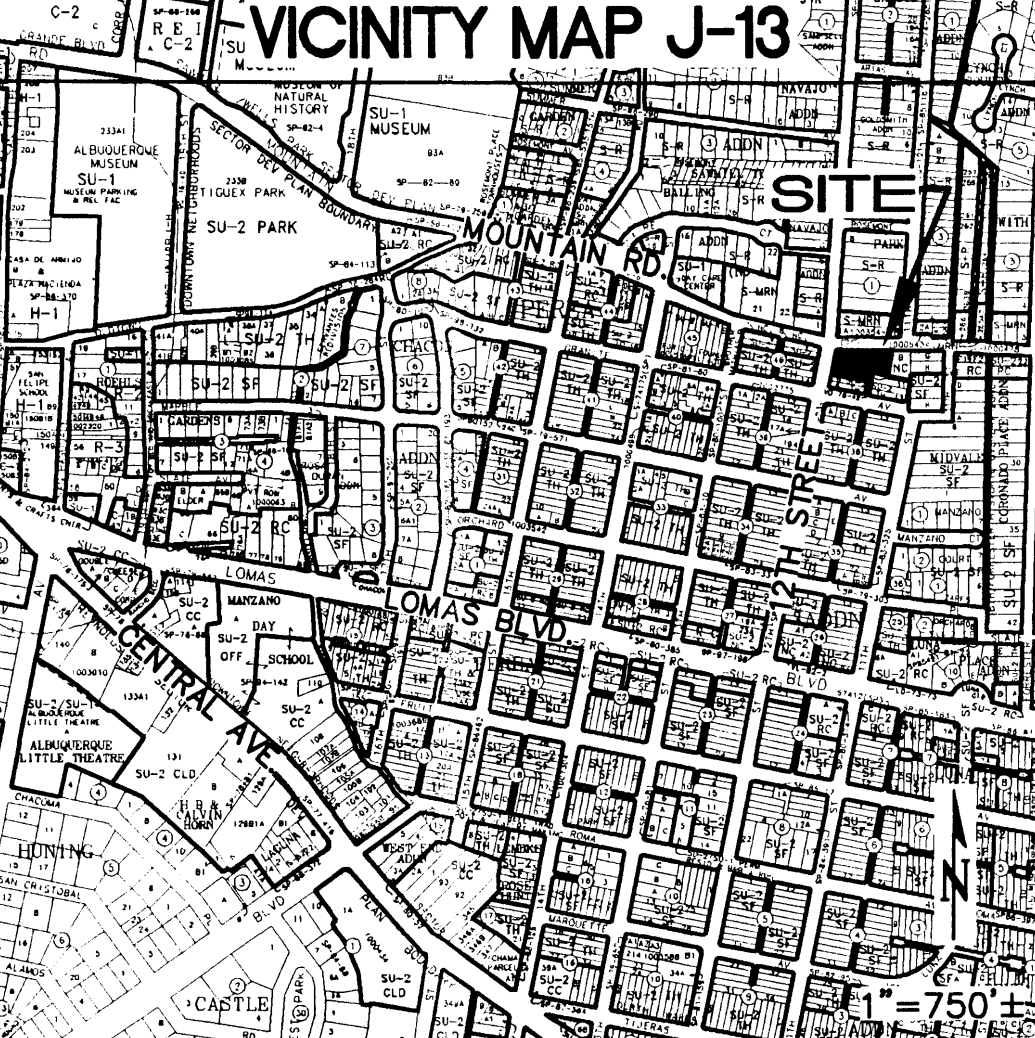
**DRAINAGE PLAN CONCEPT:** THE PORTION OF THE PROPERTY INCLUDED IN THIS PROPOSAL IS DIVIDED INTO THREE SUB-BASINS WHICH FOLLOW THE DRAINAGE CONCEPT OF THE EXISTING DEVELOPMENT. A PORTION OF THE BUILDING AND SOUTHERNMOST PAVEMENT WILL DISCHARGE WEST TO 12TH STREET THROUGH A PROPOSED COVERED SIDEWALK CULVERT AT THE SOUTHWEST CORNER. THE REMAINDER OF THE MAIN BUILDING AS WELL AS THE EASTERNMOST PAVED PARKING WILL DISCHARGE TO MOUNTAIN ROAD THROUGH A PROPOSED COVERED SIDEWALK CULVERT AT THE NORTHEAST CORNER. THE AREA NORTH OF THE BUILDING WILL CONTINUE TO DRAIN TO MOUNTAIN ROAD. DISCHARGE WILL THEN FOLLOW HISTORIC FLOWPATHS TO ENTER THE PUBLIC STORM DRAIN SYSTEM SERVING THE AREA.

**LEGAL:** A PORTION OF TRACT A-1, BLOCK 47, PEREA SUBDIVISION, CITY OF ALBUQUERQUE, NEW MEXICO

**BENCHMARK:** ACS BENCHMARK 18-J13, THE PUBLISHED ELEVATION OF WHICH IS 4957.09. THE BENCHMARK IS LOCATED IN THE WEST SOUTHWEST QUADRANT OF THE INTERSECTION OF LOMAS BLVD. NW AND ELEVENTH ST. NW.

**FLOODZONE:** PER FIRM MAP 331, THE SITE IS LOCATED WITHIN A FLOODZONE "X" DESIGNATED AS "AREAS OF 500-YEAR FLOOD; AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 100-YEAR FLOOD.

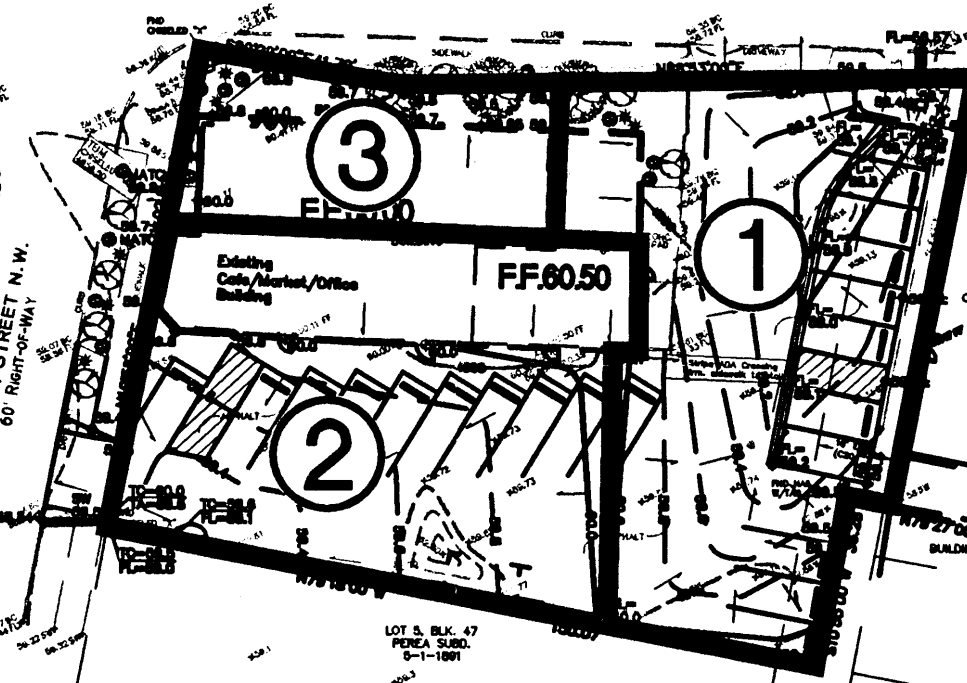
**EROSION CONTROL:** THE CONTRACTOR IS RESPONSIBLE FOR RETAINING ON-SITE ALL SEDIMENT GENERATED DURING CONSTRUCTION BY MEANS OF TEMPORARY EARTH BERMS OR SILT FENCES AND THE PREPARATION OF AND COMPLIANCE WITH SWPPP IF REQUIRED.



**KEYED NOTES**

1. RECONSTRUCT DRIVEPADS TO COMPLY WITH C.O.A. STD. DWG. 2425. CONSTRUCT STANDARD CURB AND GUTTER WITHIN TWELFTH STREET AND MOUNTAIN ROAD PER C.O.A. STD. DWG. 2414A. SEE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION.
2. REMOVE EXISTING ASPHALT, PREPARE SUBGRADE AND INSTALL NEW ASPHALT PAVING AT GRADES SHOWN. PROVIDE SMOOTH TRANSITION TO EXISTING SITE FEATURES TO REMAIN. SEE ARCHITECTURAL FOR EXTENTS OF NEW PAVEMENT, PAVING SECTIONS, STRIPING, ETC.
3. NEW ASPHALT PAVING TO BE FLUSH WITH EXISTING CONCRETE WALK THIS AREA. SEE ARCHITECTURAL FOR WHEEL STOPS, STRIPING, ETC.
4. SLOPES WITHIN HANDICAP PARKING AREA TO MEET ADA REQUIREMENTS. MAX. SLOPE = 2% IN ANY DIRECTION.
5. CONSTRUCT CONCRETE ALLEY GUTTER AT ELEVATIONS SHOWN (MIN. SLOPE = 0.5%). SEE SECTION THIS SHEET.
6. EXISTING ROOF DRAINAGE DISCHARGE LOCATION. PROVIDE CONCRETE SPLASH PAD WITHIN LANDSCAPED AREAS. OWNER TO MAINTAIN ALL EROSION PROTECTION FEATURES AND PROVIDE ADDITIONAL EROSION PROTECTION AS REQUIRED.
7. CONSTRUCT CONCRETE MOUNTABLE MEDIAN CURB AT 1% SLOPE PER DETAIL THIS SHEET TO DIRECT SITE DISCHARGE TO PROPOSED SIDEWALK CULVERT (ADJACENT PROPERTY - SAME OWNER).
8. LANDSCAPED STILLING BASIN TO COLLECT SITE DISCHARGE AND RELEASE EXCESS TO MOUNTAIN ROAD. REMOVE EXISTING 4" DRAIN LINES.
9. PROPOSED CONTOURS SHOWN ARE AT 0.2' INCREMENTS TO CLEARLY DELINEATE DRAINAGE PATTERNS. TYPICAL.
10. EXISTING BUILDING F.F. ELEVATION TO BE LOWERED TO PROVIDE ACCESSIBLE ROUTE FROM 12TH STREET MAIN ENTRANCE AS SHOWN.
11. CONSTRUCT CONCRETE PATIO. PROVIDE 2% SLOPE TO DRAIN AWAY FROM BUILDING.
12. CONSTRUCT 1' WIDE CONCRETE SIDEWALK CULVERT WITH STEEL PLATE TOP PER C.O.A. STD. DWG. 2236 TO PASS FLOW TO STREET.
13. INSTALL 'U' SHAPED CONCRETE CHANNEL THIS AREA PER DETAIL THIS SHEET. INSTALL TWO 4" DIA. DRAINLINES TO 12TH STREET FLOWLINE PER C.O.A. STD. DWG. 2235.

**SUB-BASINS**



**S.O.19 : NOTICE TO CONTRACTORS**

1. AN EXCAVATION / CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE #7 AMENDMENT 1.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC / STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVAL	NAME	DATE
INSPECTOR		

**LEGEND**

- EXISTING CONTOUR
- 60--- PROPOSED CONTOUR
- 78.3 PROPOSED SPOT ELEVATION
- FLOW ARROW
- FF = 6881.0 FINISH FLOOR ELEVATION
- SIDEWALK CULVERT
- INV=72.5 INVERT ELEVATION

**GENERAL NOTES**

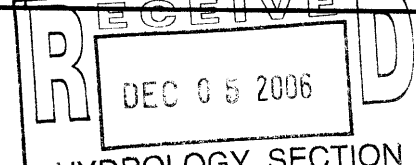
- A. COORDINATE WORK WITH SITE PLAN AND DETAILS.
- B. DO NOT SCALE THIS PLAN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY EXISTING CONDITIONS AND THE LOCATIONS OF ALL ITEMS PRIOR TO CONSTRUCTION. REPORT ALL DISCREPANCIES TO THE ARCHITECT AND VERIFY THE ARCHITECT'S INTENT BEFORE PROCEEDING.
- C. WHERE PROPOSED GRADES MEET EXISTING GRADES, TRANSITION SHALL BE SMOOTH AND LEVEL.
- D. GRADES SHOWN WITHIN LANDSCAPED AREAS INDICATE TOP OF LANDSCAPE MATERIAL. SUBGRADE TO BE GRADED TO ELEVATION SHOWN MINUS LANDSCAPE MATERIAL THICKNESS.
- E. ADJUST EXISTING UTILITY FEATURES AS NECESSARY TO MATCH NEW GRADES. TYPICAL CONTRACTOR TO FIELD VERIFY AND PROTECT ALL EXISTING UTILITIES WITHIN AREA TO BE IMPROVED.

**ISAACSON & ARFMAN, P.A.**  
Consulting Engineering Associates  
128 Monroe Street N.E.  
Albuquerque, New Mexico 87108  
Ph: 505-268-8828 Fax: 505-268-2632  
1577GRD.dwg Dec 04, 2006

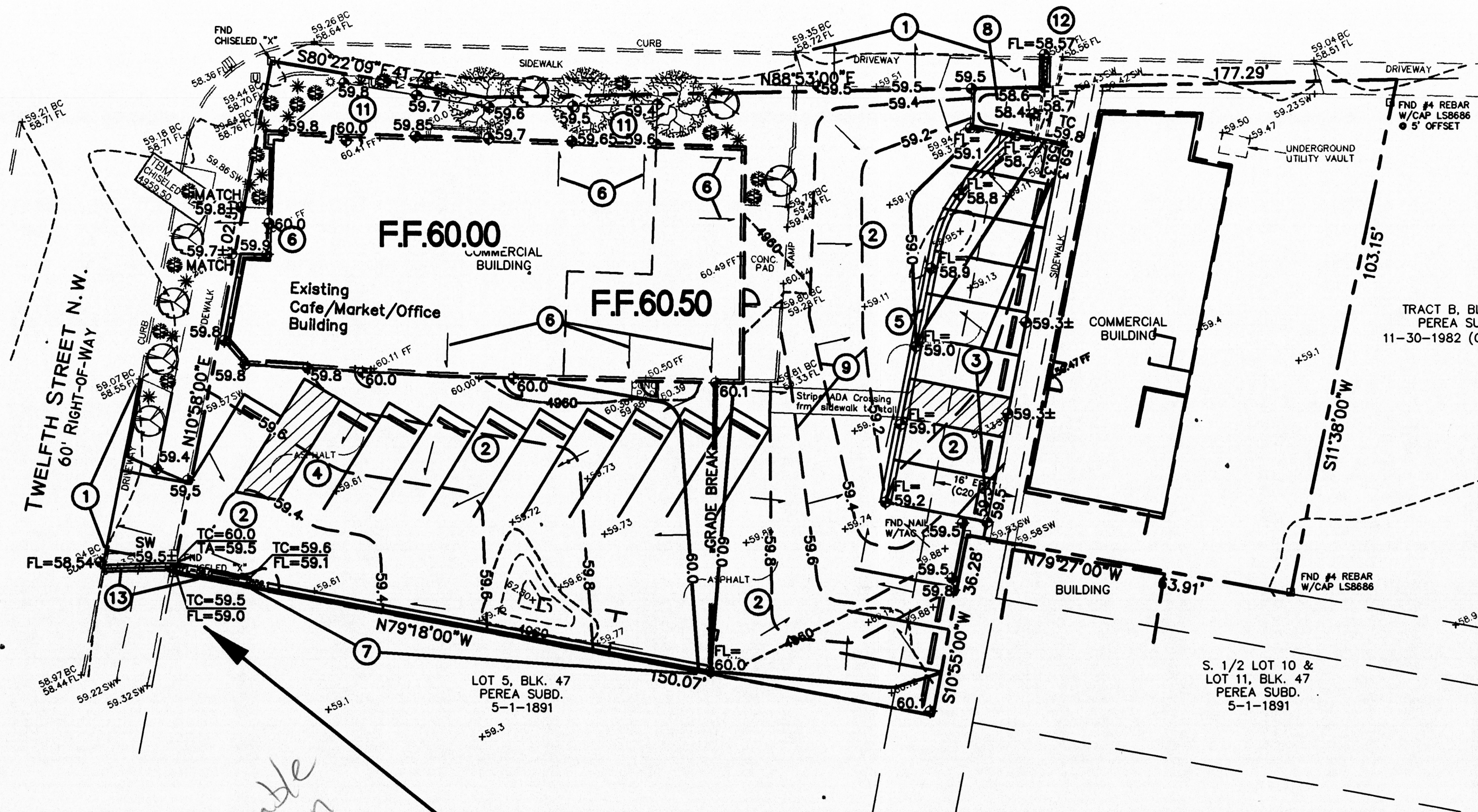
**SUNSHINE CAFE / MARKET  
PAVING IMPROVEMENTS  
WORKSHOP ARCHITECTS**

**GRADING AND DRAINAGE PLAN**

Date:	No.	Revision	Date	Job No.
11-17-06				1577
Drawn By:				C-101
Check By:				SH. OF





1134 MOUNTAIN ROAD N.W.  
RIGHT-OF-WAY VARIES

INSTALL TWO 4" DIA. DUCTILE IRON OR SCH. 40 PVC PIPE FROM PROPERTY LINE THROUGH CURB PER C.O.A. STD. DWG. 2235.

CONSTRUCT 15 LF 'U' SHAPED CONCRETE CHANNEL (1' BOTTOM WIDTH)

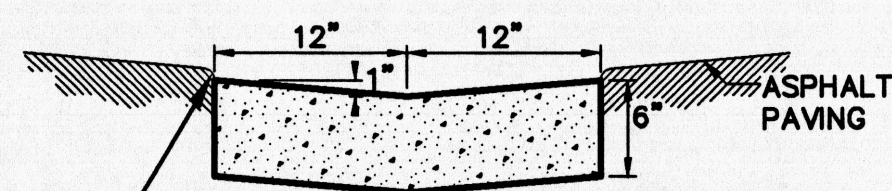
TRANSITION TO 6" HIGH MEDIAN CURB OVER 5'

**CONCRETE CHANNEL DRAIN**

MOUNTABLE MEDIAN CURB ALONG SOUTH PROPERTY LINE

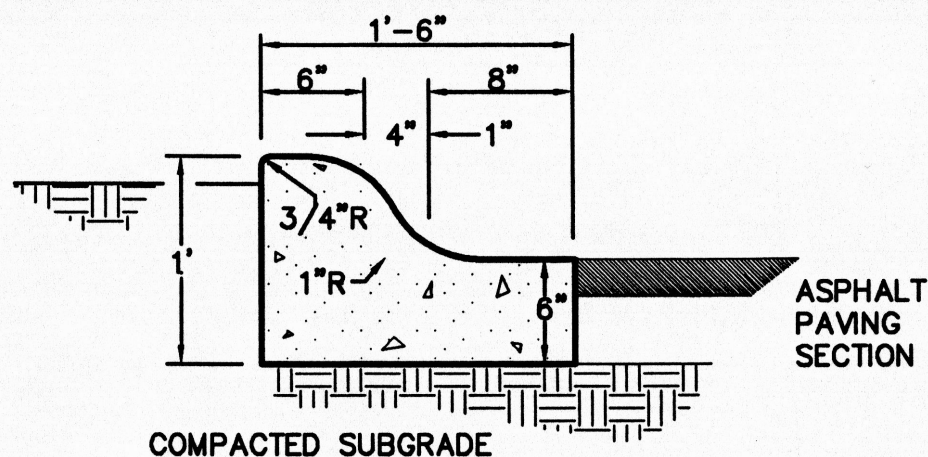
## GENERAL NOTES

1. PROVIDE CONST CONTROL JOINTS @ 5' O.C. MAX.
2. EDGES SHOULD BE REMOVED WITH 3/8" EDGING TOOL



1. PROVIDE CONTRACTION JOINTS @ 10' O.C.
2. TOP OF ASPHALT PAVING TO BE 1/2" ABOVE TOP OF CONCRETE.

## ALLEY GUTTER



COMPACTED SUBGRADE

## GENERAL NOTES

1. PROVIDE CONST. CONTROL JOINTS @ 6' O.C. MAX. AND 1/2" EXPANSION JOINTS @ 48' O.C. MAX
2. EDGES SHOULD BE REMOVED WITH 3/8" EDGING TOOL
3. MEDIAN C & G REQUIRE FULL FORM ON ALL FACES

## MOUNTABLE MEDIAN CURB

NTS

CALCULATIONS: Sunshine Market : November 20, 2006				
Based on Drainage Design Criteria for City of Albuquerque Section 22.2, DPM, Vol 2, dated Jan., 1993				
ON-SITE				
AREA OF SITE:	17559	SF	=	0.4 Ac.
HISTORIC FLOWS:				
On-Site Historic Land Condition		On-Site Developed Land Condition		EXCESS PRECIP:
Area a	=	0	SF	Ea = 0.53
Area b	=	878	SF	Eb = 0.78
Area c	=	1756	SF	Ec = 1.13
Area d	=	14925	SF	Ed = 2.12
Total Area	=	17559	SF	
On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)				
Weighted E	=	EaAa + EbAb + EcAc + EdAd		
	=	Aa + Ab + Ac + Ad		
Historic E	=	1.95 in.	Developed E	= 1.94 in.
On-Site Volume of Runoff: V360 = E*A / 12				
Historic V360	=	2859	CF	Developed V360 = 2834 CF
On-Site Peak Discharge Rate: Qp = QpaAa + QpbAb + QpcAc + QpdAd / 43,560				
For Precipitation Zone 2				
Qpa	=	1.56	Qpc	= 3.14
Qpb	=	2.28	Qpd	= 4.70
Historic Qp	=	1.8 CFS	Developed Qp	= 1.8 CFS

BASIN NO.	1	DESCRIPTION	
Area of basin flows =	7610	SF	= 0.2 Ac.
The following calculations are based on Treatment areas as shown in table to the right			
Sub-basin Weighted Excess Precipitation (see formula above)			
Weighted E	=	2.00 in.	
Sub-basin Volume of Runoff (see formula above)	V360	=	1271 CF
Sub-basin Peak Discharge Rate: (see formula above)	Qp	=	0.8 cfs
TREATMENT			
A	=	0%	
B	=	5%	
C	=	5%	
D	=	90%	
BASIN NO.	2	DESCRIPTION	
Area of basin flows =	7380	SF	= 0.2 Ac.
The following calculations are based on Treatment areas as shown in table to the right			
Sub-basin Weighted Excess Precipitation (see formula above)			
Weighted E	=	2.12 in.	
Sub-basin Volume of Runoff (see formula above)	V360	=	1304 CF
Sub-basin Peak Discharge Rate: (see formula above)	Qp	=	0.8 cfs
TREATMENT			
A	=	0%	
B	=	0%	
C	=	0%	
D	=	100%	
BASIN NO.	3	DESCRIPTION	
Area of basin flows =	2568	SF	= 0.1 Ac.
The following calculations are based on Treatment areas as shown in table to the right			
Sub-basin Weighted Excess Precipitation (see formula above)			
Weighted E	=	1.82 in.	
Sub-basin Volume of Runoff (see formula above)	V360	=	389 CF
Sub-basin Peak Discharge Rate: (see formula above)	Qp	=	0.2 cfs
TREATMENT			
A	=	0%	
B	=	15%	
C	=	10%	
D	=	75%	

THE PROPOSED PORTION OF THE PROPERTY TO BE PAVED MAINTAINS HISTORIC DISCHARGE RATES AND DISCHARGE POINTS. THE PROPERTY IS DIVIDED INTO THREE SUB-BASINS (SEE SUB-BASIN MAP INSERT THIS SHEET). SUB-BASIN 1 OF 0.8 CFS WILL CONTINUE TO DRAIN TO MOUNTAIN ROAD VIA A NEW SIDEWALK CULVERT REPLACING TWO PIPE DRAINS. SUB-BASIN 2 OF 0.8 CFS WILL CONTINUE TO DRAIN TO 12TH STREET VIA A NEW SIDEWALK CULVERT AND SUB-BASIN 3 OF 0.2 CFS WILL CONTINUE TO DRAIN TO MOUNTAIN ROAD.

## PROJECT DATA

## PROJECT SCOPE:

THE PROPOSED IMPROVEMENTS INCLUDE REMOVAL / REPAVING OF THE EXISTING ASPHALT PARKING LOT FOR THIS PROPERTY IN CONJUNCTION WITH A INTERIOR BUILDING REMODEL (CURRENTLY UNDER CONSTRUCTION). THE PURPOSE OF THE REPAVING IS TO REDEFINE DRAINAGE TO MEET NEW STANDARDS, PROVIDE SMOOTH TRANSITION FROM THE EXISTING STRUCTURE AND ELIMINATE EXISTING BIRDBATHS.

THE SITE IS LOCATED AT THE SOUTHEAST CORNER OF MOUNTAIN ROAD AND 12TH STREET NW. DEVELOPED RESIDENTIAL ADJUTS THE PROPERTY TO THE SOUTH AND DEVELOPED COMMERCIAL TO THE EAST. THE SURROUNDING AREA IS FULLY DEVELOPED.

DRAINAGE PLAN CONCEPT: THE PORTION OF THE PROPERTY INCLUDED IN THIS PROPOSAL IS DIVIDED INTO THREE SUB-BASINS WHICH FOLLOW THE DRAINAGE CONCEPT OF THE EXISTING DEVELOPMENT. A PORTION OF THE BUILDING AND SOUTHERNMOST PAVEMENT WILL DISCHARGE WEST TO 12TH STREET THROUGH A PROPOSED COVERED SIDEWALK CULVERT AT THE SOUTHWEST CORNER. THE REMAINDER OF THE MAIN BUILDING AS WELL AS THE EASTERNMOST PAVED PARKING WILL DISCHARGE TO MOUNTAIN ROAD THROUGH A PROPOSED COVERED SIDEWALK CULVERT AT THE NORTHEAST CORNER. THE AREA NORTH OF THE BUILDING WILL CONTINUE TO DRAIN TO MOUNTAIN ROAD. DISCHARGE WILL THEN FOLLOW HISTORIC FLOWPATHS TO ENTER THE PUBLIC STORM DRAIN SYSTEM SERVICING THE AREA.

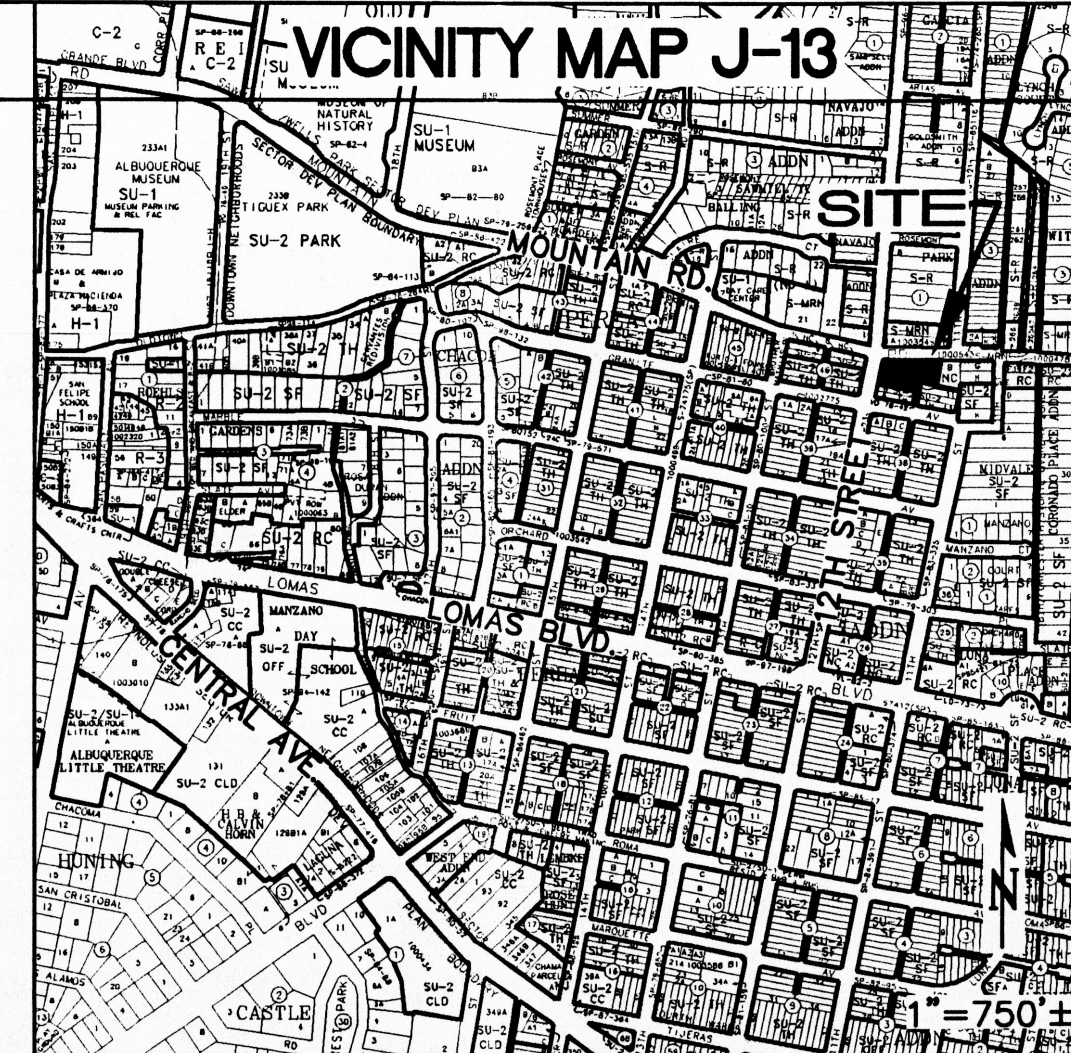
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FLOODZONE: PER FIRM MAP 331, THE SITE IS LOCATED WITHIN A FLOODZONE "X" DESIGNATED AS "AREAS OF 500-YEAR FLOOD: AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 100-YEAR FLOOD.

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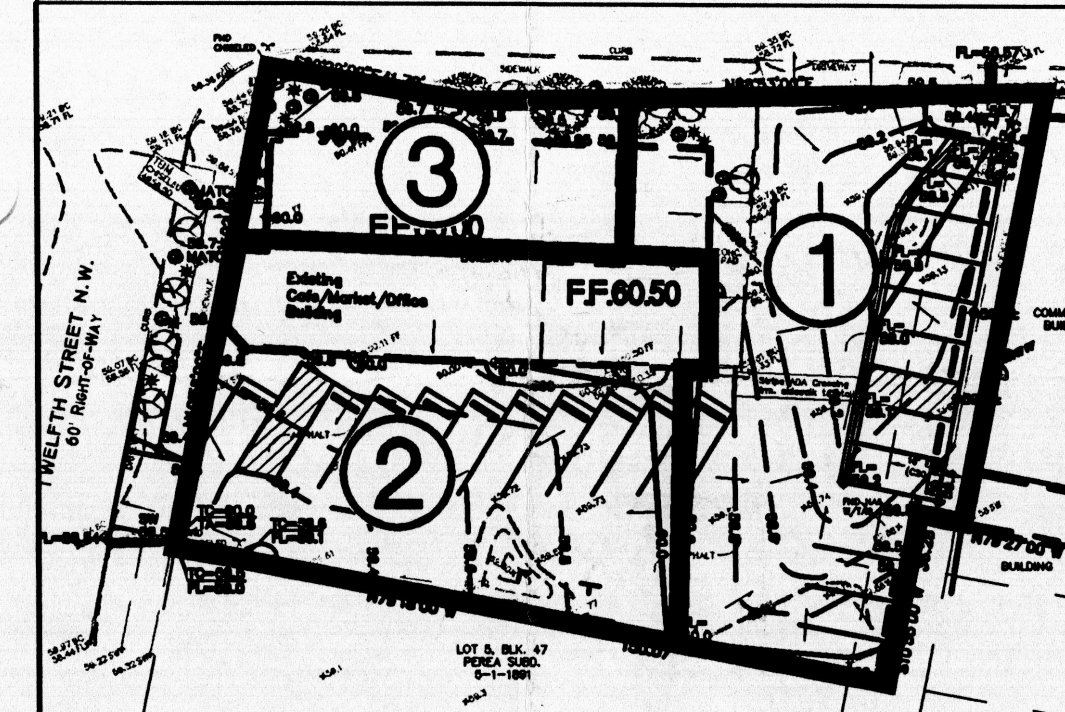
## VICINITY MAP J-13



## KEYED NOTES

1. RECONSTRUCT DRIVEPADS TO COMPLY WITH C.O.A. STD. DWG. 2425. CONSTRUCT STANDARD CURB AND GUTTER WITHIN TWELFTH STREET AND MOUNTAIN ROAD PER C.O.A. STD. DWG. 2414A. SEE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION.
2. REMOVE EXISTING ASPHALT. PREPARE SUBGRADE AND INSTALL NEW ASPHALT PAVING AT GRADES SHOWN. PROVIDE SMOOTH TRANSITION TO EXISTING SITE FEATURES TO REMAIN. SEE ARCHITECTURAL FOR EXTENTS OF NEW PAVEMENT, PAVING SECTIONS, STRIPING, ETC.
3. NEW ASPHALT PAVING TO BE FLUSH WITH EXISTING CONCRETE WALK THIS AREA. SEE ARCHITECTURAL FOR WHEEL STOPS, STRIPING, ETC.
4. SLOPES WITHIN HANDICAP PARKING AREA TO MEET ADA REQUIREMENTS. MAX. SLOPE = 2% IN ANY DIRECTION.
5. CONSTRUCT CONCRETE ALLEY GUTTER AT ELEVATIONS SHOWN (MIN. SLOPE = 0.5%). SEE SECTION THIS SHEET.
6. EXISTING ROOF DRAINAGE DISCHARGE LOCATION. PROVIDE CONCRETE SPLASH PAD WITHIN LANDSCAPED AREAS. OWNER TO MAINTAIN EROSION PROTECTION FEATURES AND PROVIDE ADDITIONAL EROSION PROTECTION AS REQUIRED.
7. CONSTRUCT CONCRETE MOUNTABLE MEDIAN CURB AT 1% SLOPE PER DETAIL THIS SHEET TO DIRECT SITE DISCHARGE TO PROPOSED SIDEWALK CULVERT (ADJACENT PROPERTY - SAME OWNER).
8. LANDSCAPED STILLING BASIN TO COLLECT SITE DISCHARGE AND RELEASE EXCESS TO MOUNTAIN ROAD. REMOVE EXISTING 4" DRAIN LINES.
9. PROPOSED CONTOURS SHOWN ARE AT 0.2' INCREMENTS TO CLEARLY DELINEATE DRAINAGE PATTERNS. TYPICAL.
10. EXISTING BUILDING F.F. ELEVATION TO BE LOWERED TO PROVIDE ACCESSIBLE ROUTE FROM 12TH STREET MAIN ENTRANCE AS SHOWN.
11. CONSTRUCT CONCRETE PATIO. PROVIDE 2% SLOPE TO DRAIN AWAY FROM BUILDING.
12. CONSTRUCT 1' WIDE CONCRETE SIDEWALK CULVERT WITH STEEL PLATE TOP PER C.O.A. STD. DWG. 2236 TO PASS FLOW TO STREET.
13. INSTALL 'U' SHAPED CONCRETE CHANNEL THIS AREA PER DETAIL THIS SHEET. INSTALL TWO 4" DIA. DRAINLINES TO 12TH STREET FLOWLINE PER C.O.A. STD. DWG. 2235.

## SUB-BASINS



## S.O.19 : NOTICE TO CONTRACTORS

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2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE #7 AMENDMENT 1.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC / STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVAL NAME DATE  
INSPECTOR

## LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR
- ◆ 78.3 PROPOSED SPOT ELEVATION
- FLOW ARROW
- FF = 6881.0 FINISH FLOOR ELEVATION
- INVERT ELEVATION

## GENERAL NOTES

- A. COORDINATE WORK WITH SITE PLAN AND DETAILS.
- B. DO NOT SCALE THIS PLAN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY EXISTING CONDITIONS AND THE LOCATIONS OF ALL ITEMS PRIOR TO CONSTRUCTION. REPORT ALL DISCREPANCIES TO THE ARCHITECT AND VERIFY THE ARCHITECT'S INTENT BEFORE PROCEEDING.
- C. WHERE PROPOSED GRADES MEET EXISTING GRADES, TRANSITION SHALL BE SMOOTH AND LEVEL.
- D. GRADES SHOWN WITHIN LANDSCAPED AREAS INDICATE TOP OF LANDSCAPE MATERIAL. SUBGRADE TO BE GRADED TO ELEVATION SHOWN MINUS LANDSCAPE MATERIAL THICKNESS.
- E. ADJUST EXISTING UTILITY FEATURES AS NECESSARY TO MATCH NEW GRADES. TYPICAL CONTRACTOR TO FIELD VERIFY AND PROTECT ALL EXISTING UTILITIES WITHIN AREA TO BE IMPROVED.

**ISAACSON & ARFMAN, P.A.**  
Consulting Engineering Associates  
128 Monroe Street N.E.  
Albuquerque, New Mexico 87108  
Ph: 505-268-8828 Fax: 505-268-2632  
1577GRD.dwg Dec 04, 2006

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# SUNSHINE CAFE / MARKET

## PAVING IMPROVEMENTS

### WORKSHOP ARCHITECTS

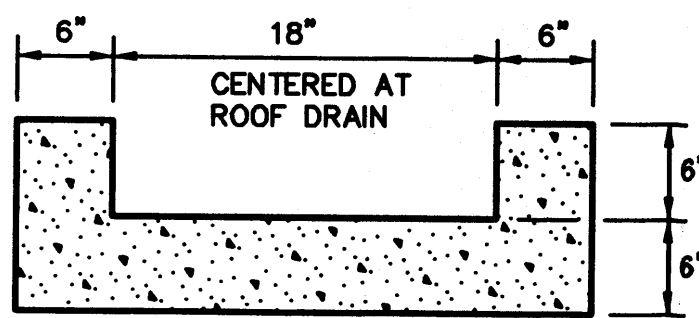
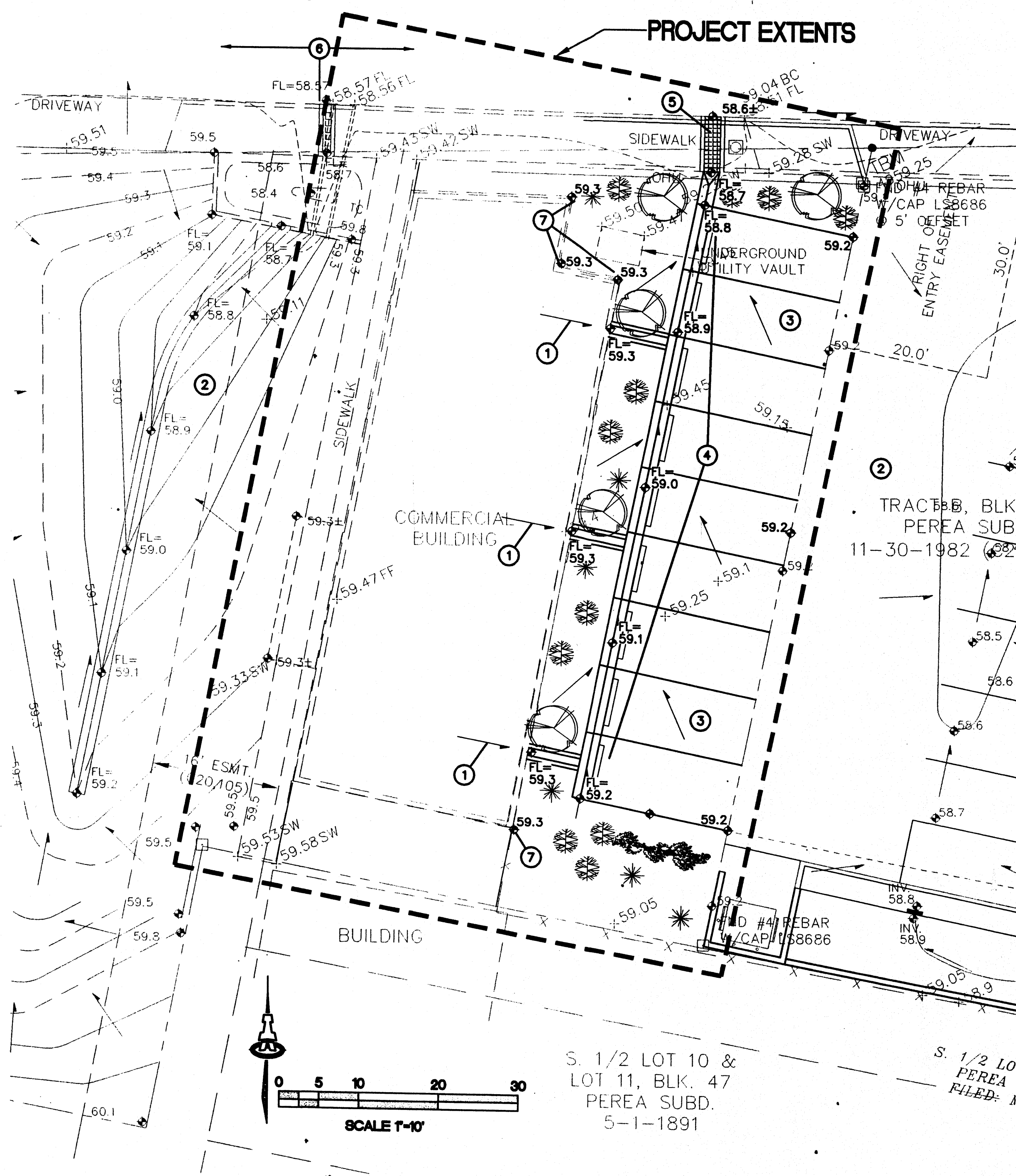
## GRADING AND DRAINAGE PLAN

Date: 11-17-06	No. 1	Revised	Date	Job No. 1577
Drawn By: BJB				C-101
Chk By: FCA				SL OF

RECEIVED  
DEC 05 2006  
HYDROLOGY SECTION



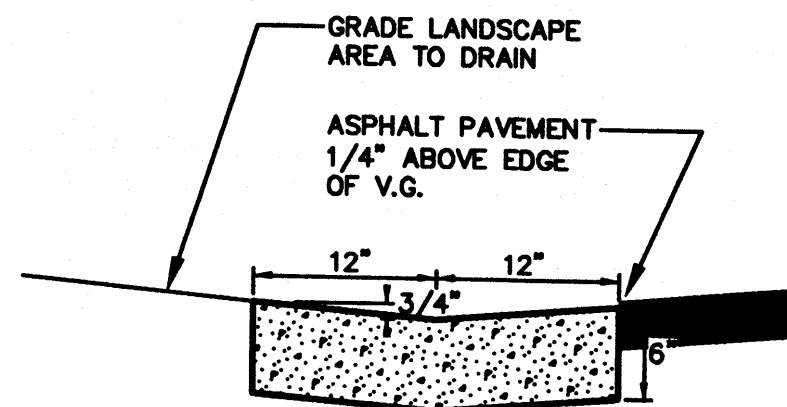
MOUNTAIN ROAD N.W.  
RIGHT-OF-WAY VARIES



GENERAL NOTES

1. PROVIDE CONST CONTROL JOINTS @ 7' O.C. MAX.
2. EDGES SHOULD BE REMOVED WITH 3/8" EDGING TOOL

'U' SHAPED CONC. CHANNEL  
N.T.S.



GENERAL NOTES

1. PROVIDE CONST CONTROL JOINTS @ 7' O.C. MAX.
2. EDGES SHOULD BE REMOVED WITH 3/8" EDGING TOOL

CONCRETE ALLEY GUTTER  
N.T.S.

CALCULATIONS: Mountain Road Laundry Paving : June 18, 2007				
Based on Drainage Design Criteria for City of Albuquerque Section 22.2, DPM, Vol 2, dated Jan., 1993				
ON-SITE				
AREA OF SITE:	6150	SF	=	0.1 Ac.
HISTORIC FLOWS:		DEVELOPED FLOWS:		EXCESS PRECIP:
On-Site Historic Land Condition		On-Site Developed Land Condition		Precip. Zone 2
Area a =	0 SF	Area a =	0 SF	Ea = 0.53
Area b =	0 SF	Area b =	0 SF	Eb = 0.78
Area c =	615 SF	Area c =	923 SF	Ec = 1.13
Area d =	5535 SF	Area d =	5228 SF	Ed = 2.12
Total Area =	6150 SF	Total Area =	6150 SF	
On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)				
Weighted E =		$\frac{EaAa + EbAb + EcAc + EdAd}{Aa + Ab + Ac + Ad}$		
Historic E =	2.02 in.	Developed E =	1.97 in.	
On-Site Volume of Runoff: V360 = $\frac{E \cdot A}{12}$				
Historic V360 =	1036 CF	Developed V360 =	1010 CF	
On-Site Peak Discharge Rate: $Qp = \frac{QpaAa + QpbAb + QpcAc + QpdAd}{43,560}$				
For Precipitation Zone 2				
Qpa =	1.56	Qpc =	3.14	
Qbb =	2.28	Qpd =	4.70	
Historic Qp =	0.64 CFS	Developed Qp =	0.63 CFS	

GENERAL NOTES

- COORDINATE WORK WITH SITE PLAN, DEMOLITION PLAN AND LANDSCAPE PLAN.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION. REPORT ALL DISCREPANCIES TO THE ARCHITECT AND VERIFY THE ARCHITECT'S INTENT BEFORE PROCEEDING.
- ADJUST RIMS OF EXISTING UTILITY FEATURES AS NECESSARY TO MATCH NEW GRADES. TYPICAL CONTRACTOR TO FIELD VERIFY AND PROTECT ALL EXISTING UTILITIES WITHIN AREA TO BE IMPROVED.
- ALL NEW PAVEMENT SURFACES SHALL BE CONSTRUCTED WITH POSITIVE SLOPE AWAY FROM BUILDINGS AND POSITIVE SLOPE TOWARD EXISTING / PROPOSED DRAINAGE PATHS. WHERE NEW GRADES ARE SHOWN AS '±', TRANSITION TO EXISTING SHALL BE SMOOTH AND LEVEL.
- WATER SHALL NOT POND ON PAVED AREAS. WHERE NEW/EXIST. GRADES ARE SHOWN AS 'MATCH', TRANSITION SHALL BE SMOOTH AND LEVEL.
- FINAL GRADES SHOWN REPRESENT TOP OF FINISH MATERIAL (I.E. TOP OF CONCRETE, TOP OF CONCRETE BUILDING PAD, TOP OF PAVEMENT MATERIAL, TOP OF LANDSCAPING MATERIAL, ETC.). CONTRACTOR SHALL GRADE, COMPACT SUBGRADE AND DETERMINE EARTHWORK ESTIMATES BASED ON ELEVATIONS SHOWN MINUS MATERIAL THICKNESSES.

PROJECT DATA

THE PROPOSED IMPROVEMENTS INCLUDE REMOVAL / REPLACEMENT OF EXISTING ASPHALT PAVING AND ASSOCIATED SITE LANDSCAPING.

THE SITE IS LOCATED ON SOUTH SIDE OF MOUNTAIN ROAD WEST OF 12TH STREET. (VICINITY MAP J-13). MOUNTAIN ROAD BORDERS THE PROPERTY TO THE NORTH, DEVELOPED COMMERCIAL TO THE EAST AND WEST (SAME OWNER BOTH SIDES), AND DEVELOPED RESIDENTIAL TO THE SOUTH. THE SURROUNDING AREA IS FULLY DEVELOPED.

THE PRESENT SITE IS A DEVELOPED COMMERCIAL PROPERTY WITH EXISTING STRUCTURES, ASPHALT PAVEMENT AND COMPACTED EARTH THROUGHOUT.

THE INTENT OF THIS PLAN IS TO SHOW:

- GRADING RELATIONSHIPS BETWEEN THE EXISTING GROUND ELEVATIONS AND PROPOSED FINISHED ELEVATIONS IN ORDER TO FACILITATE POSITIVE DRAINAGE TO DESIGNATED DISCHARGE POINTS.
- THE EXTENT OF PROPOSED SITE IMPROVEMENTS, INCLUDING BUILDINGS, WALKS AND PAVEMENT.
- THE FLOW RATE/VOLUME OF RAINFALL RUNOFF ACROSS OR AROUND THESE IMPROVEMENTS AND METHODS OF HANDLING THESE FLOWS TO MEET CITY OF ALBUQUERQUE REQUIREMENTS FOR DRAINAGE MANAGEMENT.
- THE RELATIONSHIP OF ON-SITE IMPROVEMENTS WITH EXISTING NEIGHBORING PROPERTY TO INSURE AN ORDERLY TRANSITION BETWEEN PROPOSED AND SURROUNDING GRADES.

DRAINAGE PLAN CONCEPT:

THE SITE HISTORICALLY FREE DISCHARGES TO MOUNTAIN ROAD WHERE FLOW ENTERS THE PUBLIC STORM SEWER SYSTEM. THE PROPOSED IMPROVEMENTS WILL GENERATE NO ADDITIONAL DISCHARGE DURING THE 100-YEAR, 6-HOUR STORM EVENT (SEE CALCULATIONS THIS SHEET) AND WILL CONTINUE TO FREE DISCHARGE TO MOUNTAIN ROAD.

LEGAL: TRACT A-1, BLOCK 47, PEREA ADDITION, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

BENCHMARK: THE BASIS OF ELEVATIONS FOR THIS SURVEY IS ACS BENCHMARK 18-J13, THE PUBLISHED ELEVATION OF WHICH IS 4957.09 (BAVD88). BENCHMARK IS LOCATED IN THE SOUTHWEST QUADRANT OF THE INTERSECTION OF LOMAS BLVD. NW AND ELEVENTH ST. NW.

FLOODZONE: PER FIRM MAP 331, THE SITE IS NOT LOCATED WITHIN A FLOODZONE 100 YEAR FLOOD ZONE.

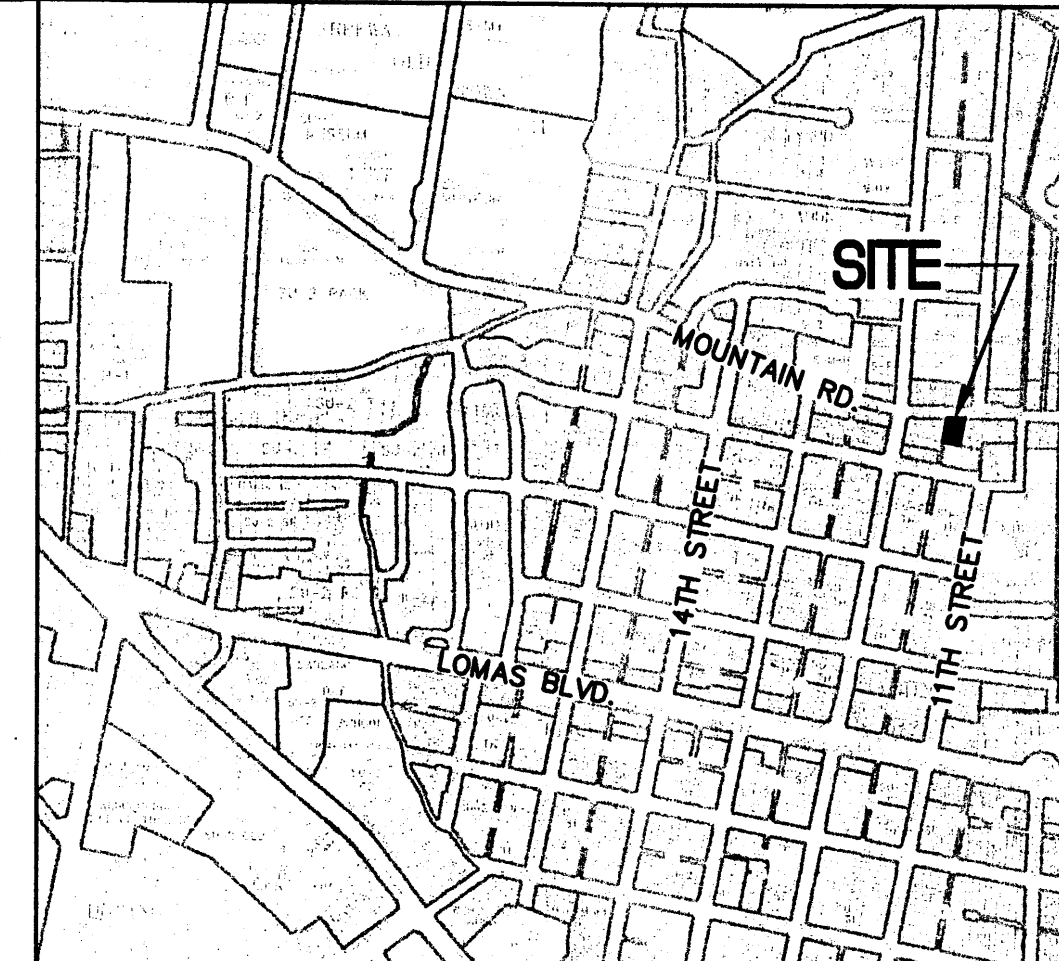
EROSION CONTROL: THE CONTRACTOR IS RESPONSIBLE FOR RETAINING ON-SITE ALL SEDIMENT GENERATED DURING CONSTRUCTION BY MEANS OF TEMPORARY EARTH BERMS OR SILT FENCES AND THE PREPARATION OF AND COMPLIANCE WITH SWPPP AS REQUIRED BY ENVIRONMENTAL PROTECTION AGENCY.

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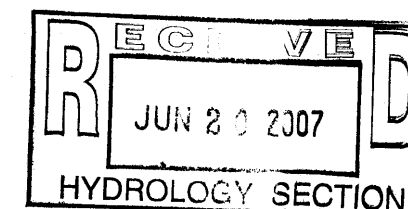
APPROVAL NAME DATE  
INSPECTOR

VICINITY MAP J-13



KEYED NOTES

- CONSTRUCT 18" WIDE (BOTTOM WIDTH) 'U' SHAPED CONCRETE CHANNEL TO DRAIN ROOF DISCHARGE FROM EDGE OF BUILDING TO CONCRETE ALLEY GUTTER. PROVIDE SMOOTH TRANSITION TO PASS FLOW.
- ADJACENT PROPERTIES EAST AND WEST - SAME OWNER. PAVING FOR ALL THREE PROPERTIES TO OCCUR SIMULTANEOUSLY (ADJACENT PROPERTIES CURRENTLY UNDER CONSTRUCTION).
- CONSTRUCT ASPHALT PAVING AT ELEVATIONS SHOWN. SEE SITE PLAN FOR PARKING LAYOUT.
- CONSTRUCT 2' WIDE CONCRETE ALLEY GUTTER AT ELEVATIONS SHOWN. SLOPE = 0.5% FIELD ADJUST USING MOUNTAIN ROAD GUTTER FLOWLINE AS BASE FLOWLINE ELEVATION. TOP OF ADJACENT ASPHALT TO BE 1/2" ABOVE EDGE OF ALLEY GUTTER TO ENSURE DRAINAGE. SEE DETAIL THIS SHEET.
- CONSTRUCT 2' WIDE (BOTTOM WIDTH) COVERED SIDEWALK CULVERT PER C.O.A. STD. DWG. 22368 AT ELEVATIONS SHOWN TO PASS FLOW TO MOUNTAIN ROAD. NOTE: PROVIDE FLUSH (NO CROWN) TRANSITION BETWEEN ALLEY GUTTER AND SIDEWALK CULVERT.
- BASED ON SITE INSPECTION AND TOPOGRAPHIC SURVEY, MOUNTAIN ROAD HIGH POINT THIS AREA. FLOWS DIRECTED EAST AND WEST.
- TOP OF GRADE ADJACENT TO BUILDING TO BE 0.2' MIN. BELOW F.F. ELEVATION. FINE GRADE LANDSCAPING TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING.



LEGEND

- +65.7 EXISTING SPOT ELEVATION
- 20 EXISTING CONTOUR
- ±55.5 PROPOSED SPOT ELEVATION
- 58 PROPOSED CONTOUR
- SURFACE FLOW DIRECTION
- RIM INLET RIM ELEVATION
- INV. INVERT ELEVATION
- TC TOP OF CURB
- FL FLOW LINE
- F.F. FINISHED FLOOR

FRED C. ARFMAN  
NEW MEXICO  
7322  
LICENSED PROFESSIONAL ENGINEER

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Consulting Engineering Associates  
128 Monroe Street N.E.  
Albuquerque, New Mexico 87108  
Ph. 505-268-8828 Fax. 505-268-2632  
1516.1GRD.dwg Jun 19, 2007

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MOUNTAIN ROAD  
TOWN HOMES  
WORKSHOP ARCHITECTS

DRAINAGE AND GRADING PLAN

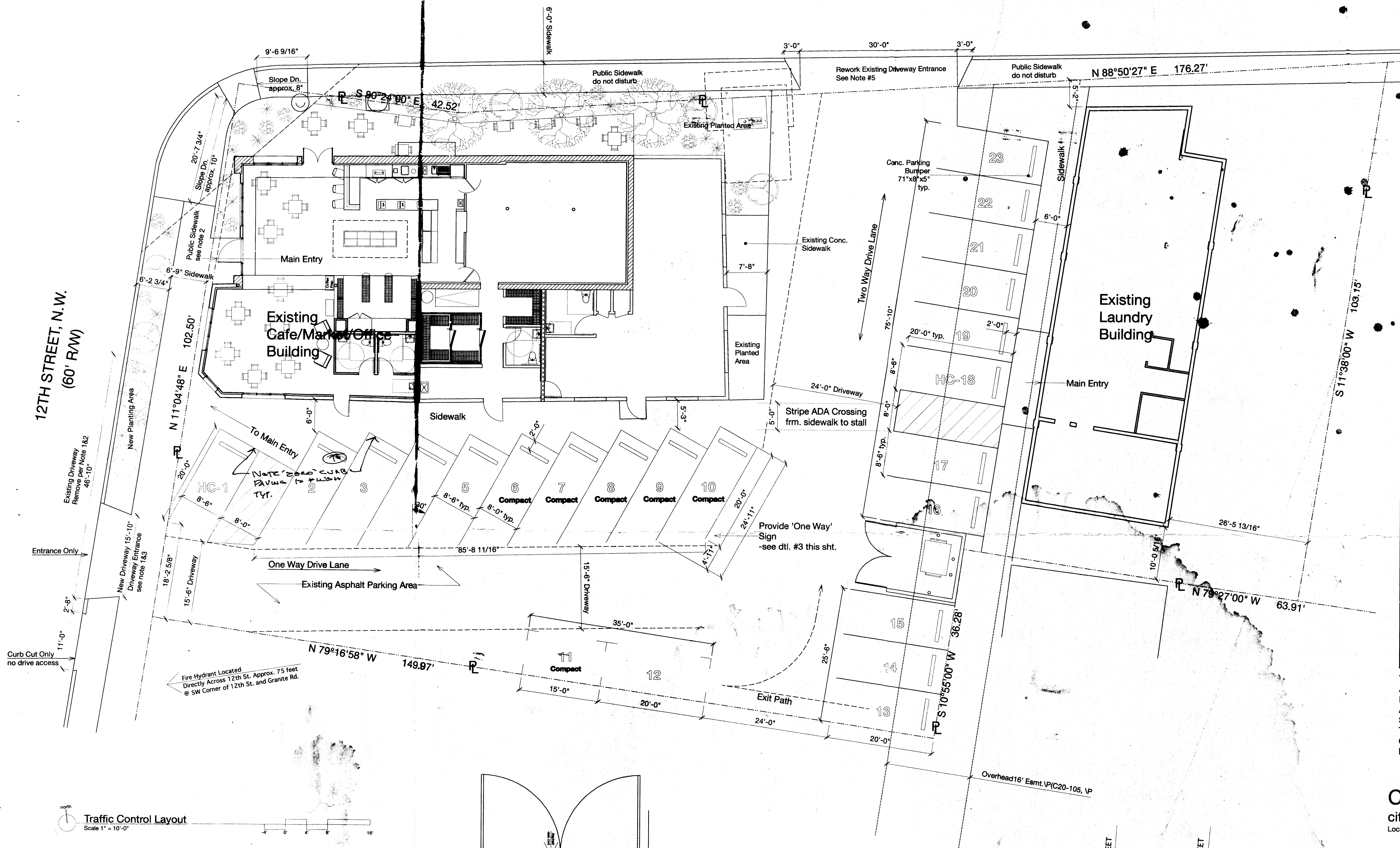
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06-18-07				1516.1
Drawn By:				C-01
BJB				
Chk By:				SH. OF
FCA				



MOUNTAIN ROAD, N.W.  
(R/W VARIES)

WORKSHOP  
ARCHITECTS

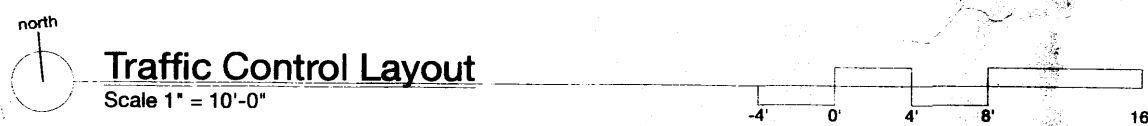
811 12TH ST. NW  
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87102  
PH. 505.246.9608  
tredesign@earthlink.net



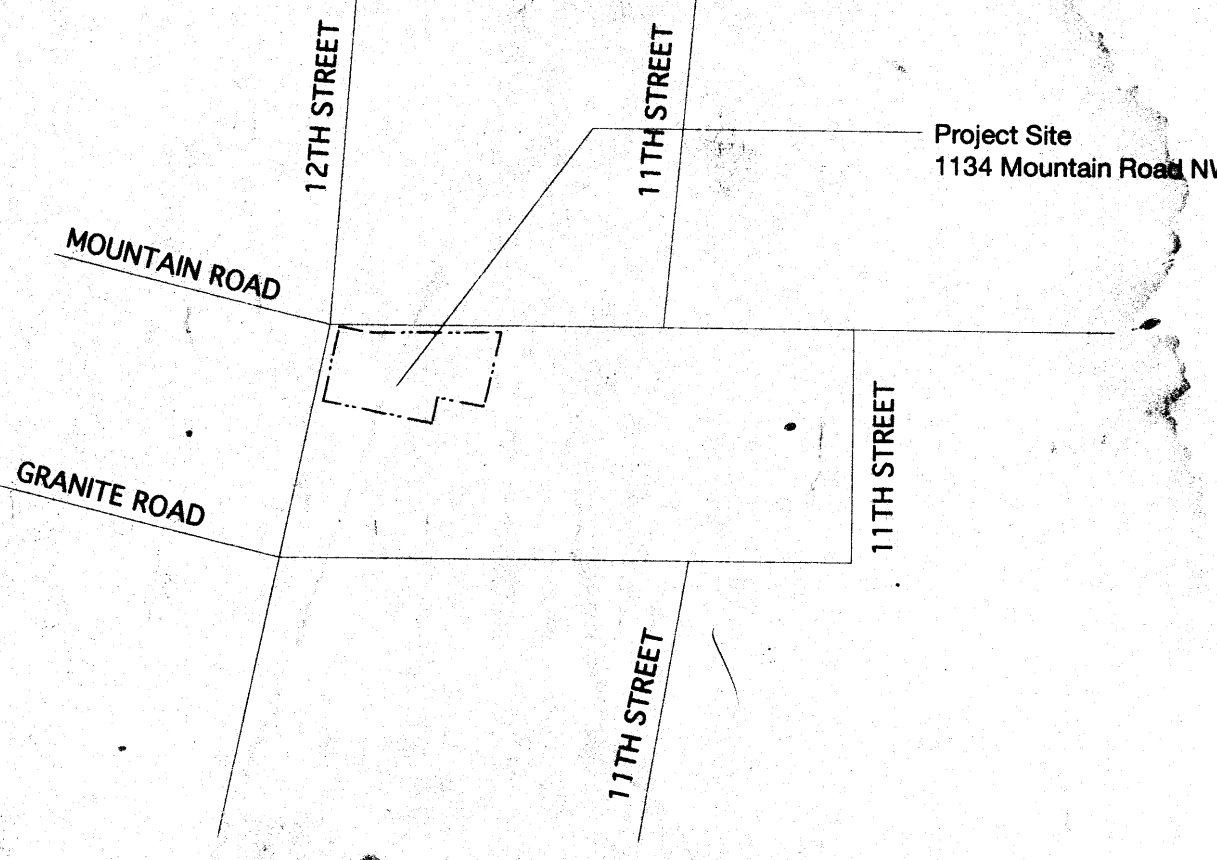
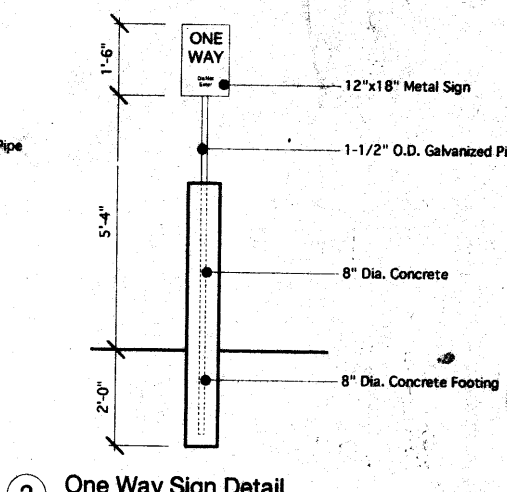
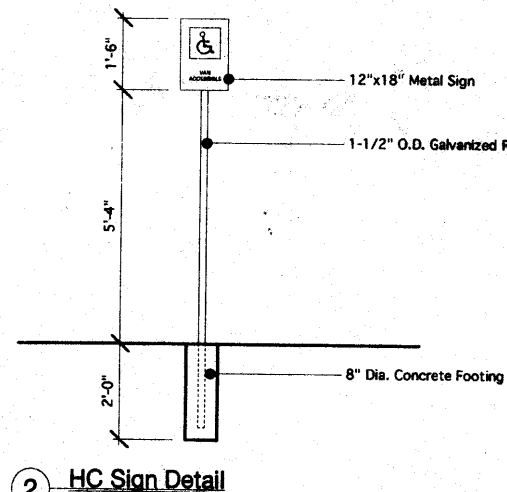
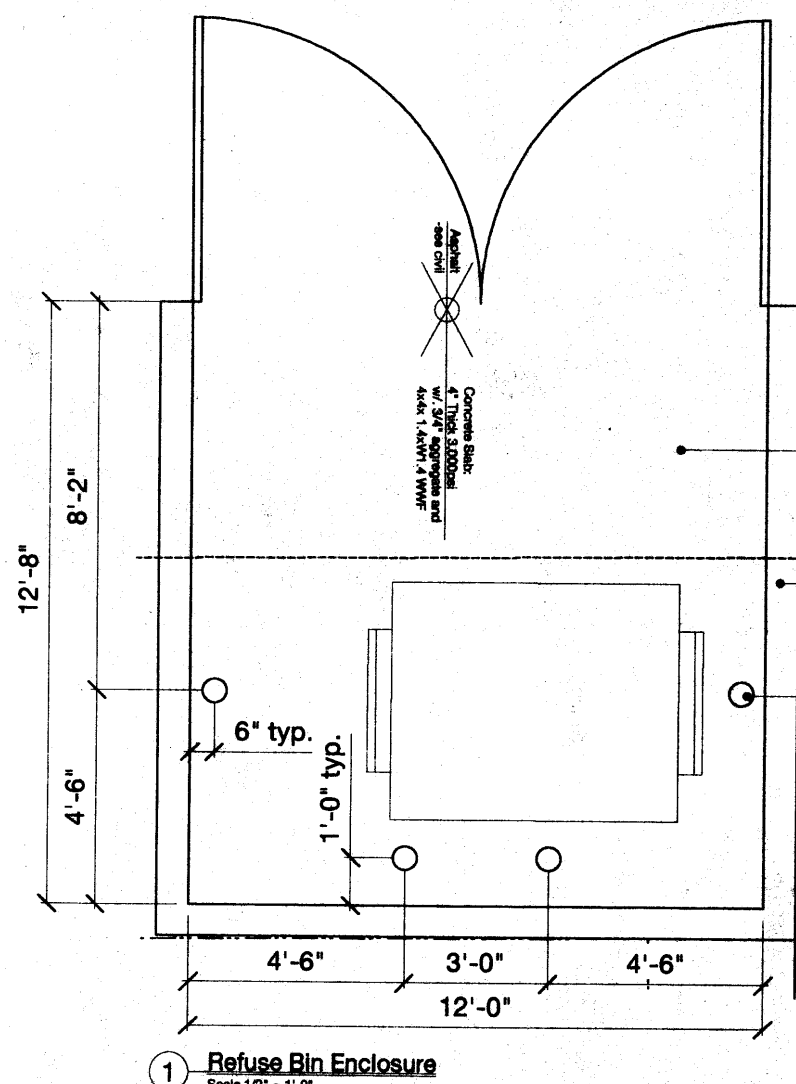
TRACT "A-1" OF A PORTION OF LOTS 1, 2, 3, AND 4 AND PORTIONS OF 7, 8, 9 AND 10 OF BLOCK NUMBERED FORTY-SEVEN (47), OF THE PEREA ADDITION OF THE CITY OF ALBUQUERQUE, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON NOVEMBER 30, 1982, IN MAP BOOK C20, PAGE 105.

Sunshine Cafe/Market  
1134 MOUNTAIN ROAD NW  
ALBUQUERQUE, NEW MEXICO 87102

TRAFFIC CIRCULATION LAYOUT  
APPROVED  
4/5 9/26/06  
Signed Date



- General Note:
1. Remove existing sidewalk and driveway entrance's. Replace with new Conc. Sidewalk and driveway entrance. Patch Curb and Gutter where required. Conform to city Specs. Paving Sidewalk Details DWG 2430 Curb Type Sidewalk.
  2. Conform to City Specs. Paving and Sidewalk Details DWG 2415A Standard 8" Curb and Gutter.
  3. New Driveway to conform to City Specs. DWG 2425
  4. Contractor is responsible for coordinating all site utility relocations and is responsible for providing all required placement and clearances.
  5. Existing Driveway re-slope sidewalk transition to conform to City Specs. DWG 2425

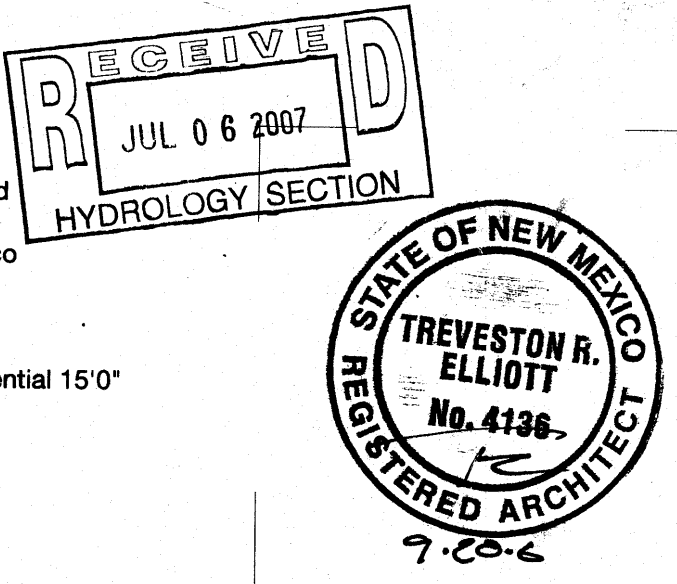


CODE DATA  
city of albuquerque

Location: Downtown Neighborhood  
Albuquerque, New Mexico  
Zoning: NC = C-1  
Zoning Atlas Page: J-13-Z  
Setbacks: Corner and Side 5'-0"  
Side or Rear abuts residential 15'-0"  
Height: 26 Feet  
Parking Required: 1 per 4 seats in cafe  
1 per 200 sq.ft. market  
1 per 200 sq.ft. office  
1 per 200 sq.ft. laundry  
Parking Actual: 48 seats in cafe =12  
200 sq.ft. market =1  
985 sq.ft. office =5  
1,000 sq.ft. laundry =5  
Total Spaces =23

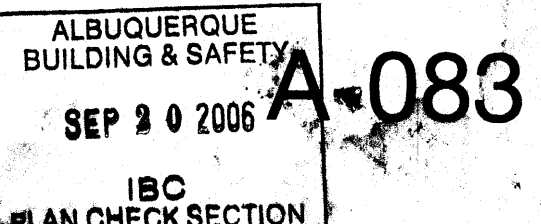
I.B.C.

Occupancy Classification: New Cafe/ Market A-2  
Existing office B  
Existing Laundry B  
Existing CMU and Adobe New Vb  
NA  
Separation: 1 Stories 6,000 sq.ft.  
Allowable Area: YES  
Sprinkler:



Date:  
September 13, 2006  
Sheet:

Traffic Control Layout



VICINITY PLAN  
NTS

A-083