

Planning Department Transportation Development Services Section

May 2, 2008

Treveston Elliott, Registered Architect 811 12th Street NW Albuquerque, NM 87102

Re: Certification Submittal for Final Building Certificate of Occupancy for

Mountain Road Town Homes, [J-13 / D013A]

1130 Mountain Road

Architect's Stamp Dated 04/29/08

Dear Mr. Elliott:

Sincerely,

PO Box 1293

The TCL / Letter of Certification submitted on May 1, 2008 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Albuquerque

NM 87103

www.cabq.gov

Nijo Z. Salgado-Fernandez, P.E.

Sénior Traffig Engineer

Development and Building Services

Planning Department

C:

Engineer
Hydrology file
CO Clerk

W.

811 12 TH Street NW Albuquerque New Mexico 87102 505.246.9608 p 505.259.4617 c 1.866.258.9138 f treyeston@comcast.net

Traffic Certification

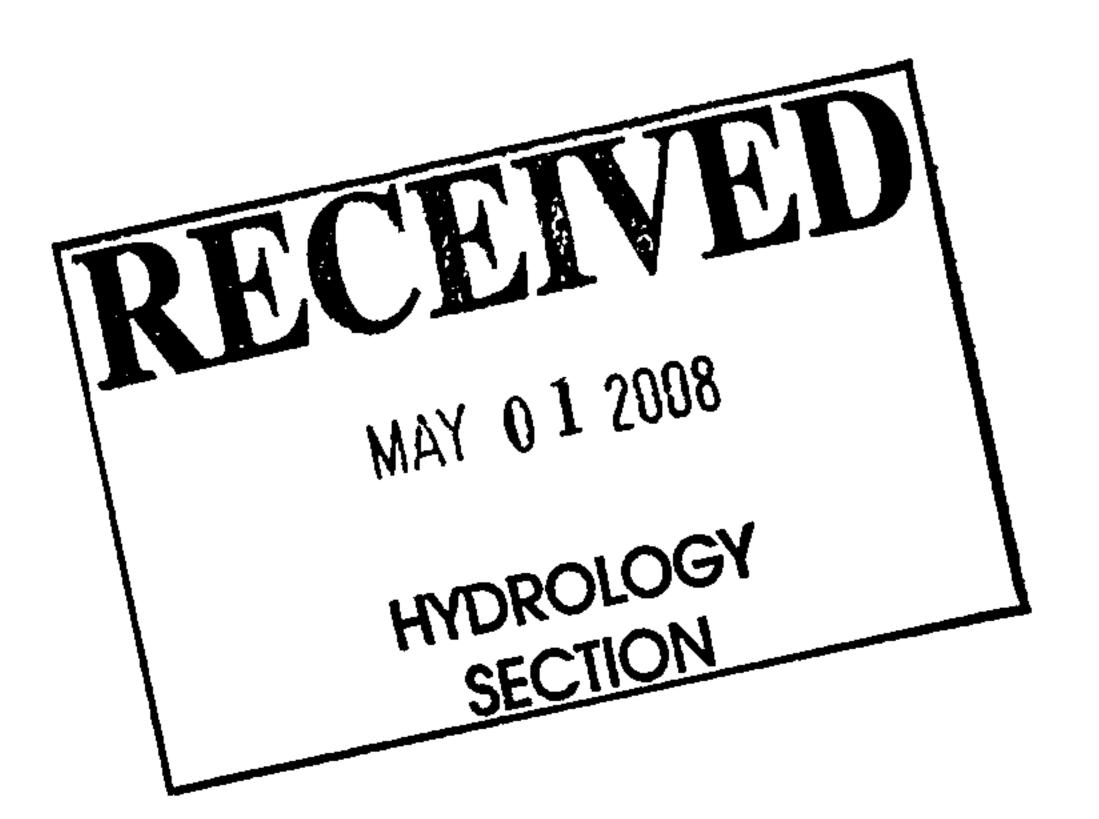
I Treveston Elliott NMRA, of the firm WorkShop Architects, hereby certify that this project is in substantial compliance with and in accordance with the design intent of the TCL approved plan dated 08-30-2006. The record information edited onto the original design document has been obtained by Treveston Elliott of the firm WorkShop Architects. I further certify that I have personally visited the project site on April 29, 2008 and have determined by visual inspection that the survey data provided is representative of the actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Certificate of Occupancy.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Treveston Elliott Architect

April 29, 2008

TREVESTON F. CO THE VESTON F. CO ELLIOTT No. 4138



811 12 TH Street NW
Albuquerque New Mexico 87102
505.246.9608 p
505.259.4617 c
1.866.258.9138 f
treyeston@comcast.net

Traffic Certification

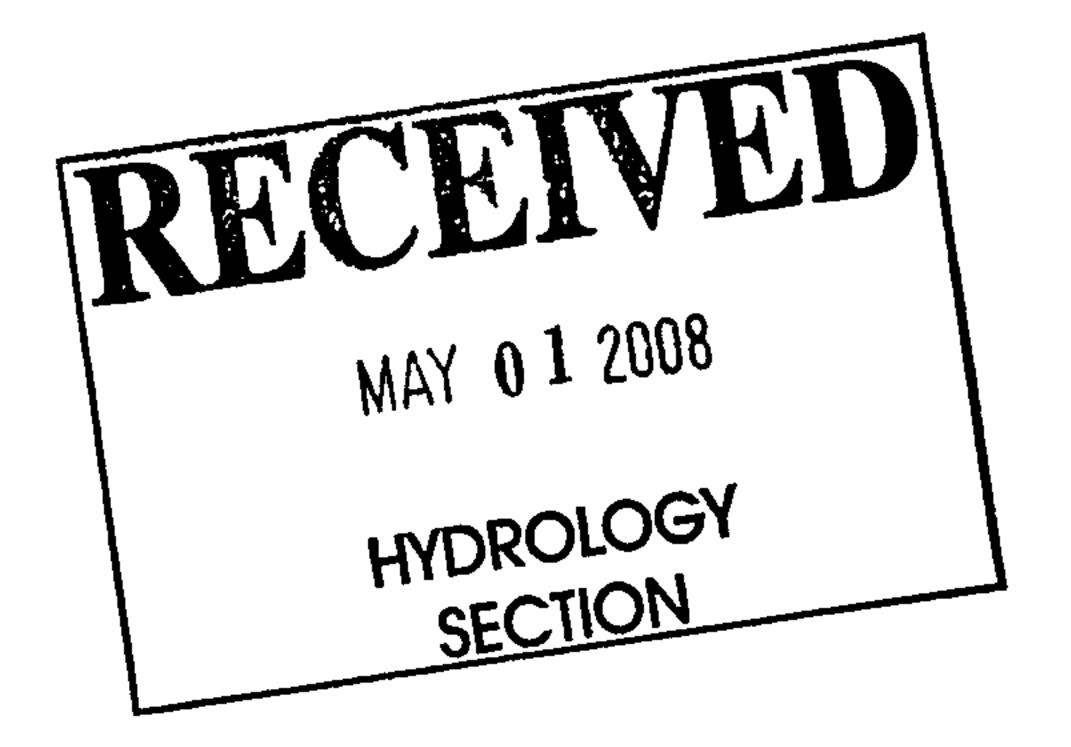
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Treveston Elliott Architect

April 29, 2008





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Traffic Certification

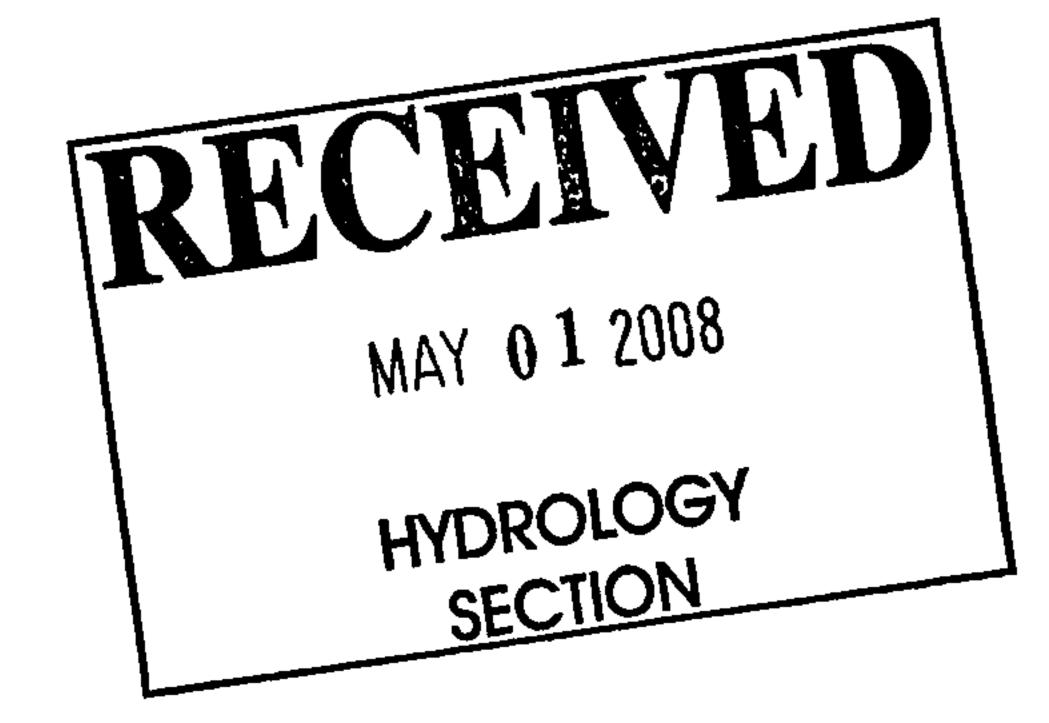
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Treveston Elliott Architect

April 29, 2008

OF PIEWSTON F. CO.
ELLIOTT
No. 1136
OF PIEWSTON F. CO.
A->9.08

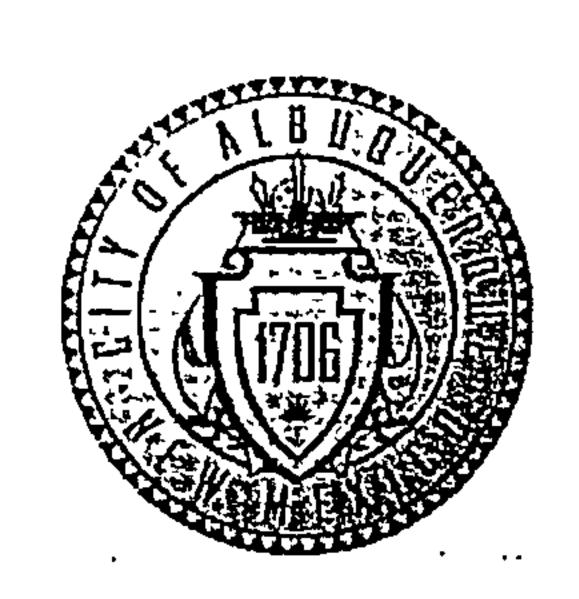


DRAINAGE AND TRANSPO	RTATION INFORMATION SHEET
ROJECT TITLE: 1/30 Mourain Roda	v. 12/2005)
in the following	17 HOMES 1 12/12/
ROJECT TITLE: //30 /V/OUTAIN & COAN	ZONE MAP/DRG. FILE #
)RB#: EPC#:	WORK ORDER#:
EGAL DESCRIPTION: 1/30 MONATON ROOM 120AD	
TTY ADDRESS: //30 MOVATOIN 120AD	
NGINEERING FIRM:	CONTACT:
ADDRESS:	PHONE: ZIP CODE:
CITY, STATE:	
WNER:	CONTACT:
ADDRESS:	PHONE:
CITY, STATE:	ZIP CODE:
~~~~~ <del>~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~</del>	
RCHITECT: WORKSHOP ARCUITECTS	CONTACT: I REVESTOD ELLOTT
ADDRESS: 311 1272 ST. NW.	CONTACT: I REVESTOD ELLOTT PHONE: 247.0756
CITY, STATE: A BUOUFROUP NEW M	ZIP CODE: 37102
	•
<u>URVEYOR:</u>	CONTACT:
ADDRESS:	PHONE:
CITY, STATE:	ZIP CODE:
CAPTO A CTOOD.	CONTRA CTP.
ONTRACTOR: ADDRESS:	CONTACT: PHONE:
CITY, STATE:	ZIP CODE:
YPE OF SUBMITTAL:	CHECK TYPE OF APPROVAL SOUGHT:
DRAINAGE REPORT	SIA/FINANCIAL GUARANTEE RELEASE
DRAINAGE PLAN 1st SUBMITTAL	PRELIMINARY PLAT APPROVAL
DRAINAGE PLAN RESUBMITTAL	S. DEV. PLAN FOR SUB'D APPROVAL
CONCEPTUAL G & D PLAN	S. DEV. FOR BLDG. PERMIT APPROVAL
GRADING PLAN	SECTOR PLAN APPROVAL
EROSION CONTROL PLAN	FINAL PLAT APPROVAL
ENGINEER'S CERT (HYDROLOGY)	FOUNDATION PERMIT APPROVAL
CLOMR/LOMRTRAFFIC CIRCULATION LAYOUT	BUILDING PERMIT APPROVAL  CERTIFICATE OF OCCUPANCY OFFINA
ENGINEER'SVARCHITECT'S CERT (TCL)	CERTIFICATE OF OCCUPANCY (PERM)  CERTIFICATE OF OCCUPANCY (TEMP)
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OTHER	PAVING PERMIT APPROVID LA HAR
	WORK ORDER APPROVAL
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	MAY 0 1 2008
'AS A PRE-DESIGN CONFERENCE ATTENDED:	
YES	
	HYDROLOGY
COPY PROVIDED	SECTION
TDAMPRED DV.	
JBMITTED BY:	DATE: 4.29.08

equests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The sticular nature, location and scope to the proposed development defines the degree of drainage detail. One or more of the following vels of submittal may be required based on the following:

- Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.

Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more. 3.



March 28, 2008

Fred C. Arfman, P.E.

Isaacson & Arfman, P.A.

128 Monroe Street N.E.

Albuquerque, NM 87108

Re: Mountain Road Town Homes, 1130 Mountain Rd. NW,

Approval of Permanent Certificate of Occupancy (C.O.), Engineer's Stamp dated 3/23/06 & 6-19-07 (J-13/D013A)

Certification dated 3/21/08 & 3-28-08

Mr. Arfinan:

PO Box 1293

Based upon the information provided in your submittal received 3/21/08 & 3-28-08, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

Albuquerque

If you have any questions, you can contact me at 924-3982.

NM 87103

V =#

Sincerely/

www.cabq.gov

Timothy E. Sims

Plan Checker

Development and Building Services

C: CO Clerk – Katrina Sigala

File

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Cocumency by Hydrology.

Been a redement certific that everywoved for release of Perm racial Certificate of

Mar Argentin

HYDROLOGY



May 3, 2006

Fred Arfman, P.E.
Isaacson & Arfman, P.A.
128 Monroe St. NE
Albuquerque, NM 87108

Re: Mountain Road Townhomes, 1130 Mountain Road NW, Grading and Drainage Plan

Engineer's Stamp dated 3-23-06 (J13-D<del>13).</del>

Dear Mr. Arfman,

Based upon the information provided in your submittal received 3-24-06, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

A separate permit (SO#19) is required for construction within City Right of Way. A copy of this approval letter must be on hand when applying for the excavation permit. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

New Mexico 87103

www.cabq.gov

P.O. Box 1293

Albuquerque

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro, P.E.

Senior Engineer, Planning Dept.

Development and Building Services

C: Edward Elwell, DMD Street / Storm Maintenance Liz Sanchez, Excavation Permits File

#### DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: Mountain Road Town Homes	ZONE MAP / DRG. FILE #: 1-13 / 13
DRB #:EPC #:	WORK ORDER #:
LUCAL DESCRIPTIONAL LOS D. Disola 47. Dense Addisina Albara	
LEGAL DESCRIPTION: . Lot B, Block 47, Perea Addition, Albuq CITY ADDRESS: 1130 Mountain Road, Nw	
CITTINDICE TIDO MODINAMI I TOUGH, I TV	
ENGINEERING FIRM: Isaacson & Arfman, P.A.	CONTACT:
ADDRESS: 128 Monroe St. NE	PHONE: 268-8828
CITY, STATE: Albuquerque, NM	ZIP CODE: 87108
ATTA IPD.	
OWNER:	CONTACT:
ADDRESS:	PHONE:
CITY, STATE:	ZIP CODE:
ARCHITECT: Workshop Architects	CONTACT: Treveston Elliott
ADDRESS: 811 12 th Street NW	PHONE: 246-9608
CITY, STATE: Albuquerque, New Mexico	ZIP CODE: <u>87102</u>
CLIDA/CAZOD. Comesses Constituted to the	001m10m10m111m
SURVEYOR: Surveys Southwest, LTD	CONTACT: Mitchell Reynolds NMLS #11224
ADDRESS: 333 Lomas Blvd. NE	PHONE: 998-0303
CITY, STATE: <u>Albuquerque, New Mexico</u>	ZIP CODE: <u>87102</u>
CONTRACTOR:	CONTACT:
ADDRESS:	PHONE:
CITY, STATE:	ZIP CODE:
CHECK TYPE OF SUBMITTAL: DRAINAGE REPORT  XDRAINAGE PLAN 1ST REQUIRES TCL or equal DRAINAGE PLAN RESUBMITTAL CONCEPTUAL GRADING & DRAINAGE PLAN GRADING PLAN EROSION CONTROL PLAN ENGINEER'S CERTIFICATION (HYDROLOGY) CLOMR / LOMR TRAFFIC CIRCULATION LAYOUT (TCL) ENGINEER'S CERTIFICATION (TCL) ENGINEER'S CERTIFICATION (DRB APPR, SITE PLAN) OTHER  WAS A PRE-DESIGN CONFERENCE ATTENDED: YES NO COPY PROVIDED	CHECK TYPE OF APPROVAL SOUGHT:  SIA / FINANCIAL GUARANTEE RELEASE  PRELIMINARY PLAT APPROVAL  S. DEV. PLAN FOR SUB'D APPROVAL  S. DEV. PLAN FOR BLDG. PERMIT APPR.  SECTOR PLAN APPROVAL  FINAL PLAT APPROVAL  FOUNDATION PERMIT APPROVAL  CERTIFICATE OF OCCUPANCY (PERM)  CERTIFICATE OF OCCUPANCY (TEMP)  GRADING PERMIT APPROVAL  PAVING PERMIT APPROVAL  WORK ORDER APPROVAL  OTHER
DATE SUBMITTED: Thursday, March 23, 2006	BY: Bryan Bobrick
	Isaacson & Arfman, P.A.
Requests for approvals of Site Development Plans and / or Subdivision Plats shall scope of the proposed development defines the degree of drainage detail. One or not 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans and / or Subdivision Plats shall scope of the proposed development defines the degree of drainage detail. One or not provide the proposed development defines the degree of drainage detail.	nore of the following levels of submittal may be required based on the following

2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five acres 3. Drainage Report: Required for subdivisions containing more than ten (10) lots or constituting five acres or more.



March 28, 2008

Fred C. Arfman, P.E.

Isaacson & Arfman, P.A.

128 Monroe Street N.E.

Albuquerque, NM 87108

Re: Mountain Road Town Homes, 1130 Mountain Rd. NW,

Approval of Permanent Certificate of Occupancy (C.O.), Engineer's Stamp dated 3/23/06 & 6-19-07 (J-13/D013A)

Certification dated 3/21/08 & 3-28-08

Mr. Arfman:

PO Box 1293

Based upon the information provided in your submittal received 3/21/08 & 3-28-08, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

Albuquerque

If you have any questions, you can contact me at 924-3982.

NM 87103

Sincerely

www.cabq.gov

Timothy E. Sims
Plan Checker

Development and Building Services

C:

CO Clerk – Katrina Sigala File

### DRAINAGE AND TRANSPORTATION INFORMATION SHEET (Rev. 12/05)

PROJECT TITLE: Mountain Road Laundry Repaying	ZONE MAP/DRG. FILE # J-13 /D 6) 3 A-
DRB#: EPC#:	WORK ORDER#:
LEGAL DESCRIPTION: Tract A-1, Block 47, Perea Addition	
CITY ADDRESS:1134 Mountain Road NW, Albuque	rque, NM
ENGINEERING FIRM: Isaacson & Arfman, P.A.	CONTACT: Fred Arfman
ADDRESS: 128 Monroe Street NE	PHONE: 268-8828
CITY, STATE: Albuquerque, NM	ZIP CODE: 87108
OWNER: SG PROPERTIES ADDRESS: SI MARQUETTE	CONTACT: <u>SEAN GILLIGAN</u> PHONE: <u>248-9900</u>
CITY, STATE: ABO. NH 87102	ZIP CODE:
CITT, DIATE	
ARCHITECT: Workshop Architects	CONTACT: Treveston Elliott
ADDRESS: 811 12th Street NW	PHONE: 246-9608
CITY, STATE: Albuquerque, NM	ZIP CODE: 87102
SURVEYOR: Surveys Southwest, Ltd.	CONTACT: Mitchell Reynolds
ADDRESS: 333 Lomas Blvd. NE	PHONE: 998-0303
CITY, STATE: Albuquerque, NM	ZIP CODE: 87102
CONTRACTOR: (SSE OWNER)	CONTACT:
ADDRESS:	PHONE:
CITY, STATE:	ZIP CODE:
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TYPE OF SUBMITTAL:  CHECK DRAINAGE REPORT	TYPE OF APPROVAL SOUGHT: SIA/FINANCIAL GUARANTEE RELEASE
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DRAINAGE PLAN I SUBMITTAL PRELIMINARY PLAY APPROVAL  DRAINAGE PLAN RESUBMITTAL S. DEV. PLAN FOR SUB'D APPROVAL	
CONCEPTUAL G & D PLAN  ———————————————————————————————————	
GRADING PLAN  SECTOR PLAN APPROVAL	
EROSION CONTROL PLAN	FINAL PLAT APPROVAL
ENGINEER'S CERT (HYDROLOGY)	FOUNDATION PERMIT APPROVAL
CLOMR/LOMR	BUILDING PERMIT APPROVAL
TRAFFIC CIRCULATION LAYOUT X	CERTIFICATE OF OCCUPANCY (PERM)
ENGINEER/ARCHITECT CERT (TCL)	CERTIFICATE OF OCCUPANCE TEMPS TO THE
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	PAVING PERMIT APPROVAL
OTHER (SPECIFY)	WORK ORDER APPROVAL OTHER (SPECIFY) SO 19 MAR 2 8 2008
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WAS A PRE-DESIGN CONFERENCE ATTENDED:	HYDROLOGY
YES	
NO	<u>SECTION</u>
COPY PROVIDED	~? ? () ()
OF FOR ATTOMICS TO SEE TO 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	03-28-08,
SUBMITTED BY: Bryan J. Bobrick  for Isaacson & Arfman P A	DATE: June 28, 2007

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



March 26, 2008

Fred C. Arfman, P.E. Isaacson & Arfman, P.A. 128 Monroe Street N.E. Albuquerque, NM 87108

Mountain Road Town Homes, 1130 Mountain Rd. NW, Re:

> Approval of 90 Day Temporary Certificate of Occupancy (C.O.), Engineer's Stamp dated 3/23/06 (J-13/D013A)

Certification dated 3/21/08

Mr. Arfman:

PO Box 1293

Based upon the information provided in your submittal received 3/21/08, the above referenced certification is approved for release of 90-day Temporary Certificate of Occupancy by Hydrology.

Albuquerque

There is an additional plan, dated 6-19-07, that will need to be certified prior to final certification of occupancy.

NM 87103

If you have any questions, you can contact me at 924-3982.

www.cabq.gov

Timothy E. Sims Plan Checker

Sincerely

Development and Building Services

CO Clerk – Katrina Sigala File

#### DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: Mountain Road Town Homes	ZONE MAP / DRG. FILE #: J-13 (Dol3 A
DRB #:EPC #:	WORK ORDER #:
TECAL DESCRIPTIONS. Let D. Dieek 47. Dence Addition. Albumane	
LEGAL DESCRIPTION: Lot B, Block 47, Perea Addition, Albuquerq CITY ADDRESS: 1130 Mountain Road, Nw	·
CITI ADDICESS. 1130 MOUNTAIN IQUA, 14W	
ENGINEERING FIRM: Isaacson & Arfman, P.A.	CONTACT:
ADDRESS: 128 Monroe St. NE	PHONE: 268-8828
CITY, STATE: Albuquerque, NM	ZIP CODE: 87108
OWNER:	CONTACT:
ADDRESS:	PHONE:
CITY, STATE:	_ ZIP CODE:
ADCLITECT: Workshop Architects	
ARCHITECT: Workshop Architects  ADDRESS: 811 12 th Street NW	CONTACT: <u>Treveston Elliott</u>
CITY, STATE: Albuquerque, New Mexico	PHONE: <u>246-9608</u> ZIP CODE: <u>87102</u>
CITT, DIMIL. Mibuguelque, New Michie	ZIF CODE. 87102
SURVEYOR: Surveys Southwest, LTD	CONTACT: Mitchell Reynolds NMLS #11224
ADDRESS: 333 Lomas Blvd. NE	PHONE: 998-0303
CITY, STATE: Albuquerque, New Mexico	ZIP CODE: 87102
CONTRACTOR:	_ CONTACT:
ADDRESS:	_ PHONE:
CITY, STATE:	_ ZIP CODE:
CHECK TYPE OF SUBMITTAL:	CHECK TYPE OF APPROVAL SOUGHT:
DRAINAGE REPORT	SIA / FINANCIAL GUARANTEE RELEASE
DRAINAGE PLAN 1 ST REQUIRES TCL or equal	PRELIMINARY PLAT APPROVAL
DRAINAGE PLAN RESUBMITTAL	S. DEV. PLAN FOR SUB'D APPROVAL
CONCEPTUAL GRADING & DRAINAGE PLAN	S. DEV. PLAN FOR BLDG. PERMIT APPR.
GRADING PLAN	SECTOR PLAN APPROVAL
EROSION CONTROL PLAN  X ENGINEER'S CERTIFICATION (HYDROLOGY)	FINAL PLAT APPROVAL
X ENGINEER'S CERTIFICATION (HYDROLOGY) CLOMR / LOMR	FOUNDATION PERMIT APPROVAL
TRAFFIC CIRCULATION LAYOUT (TCL)	BUILDING PERMIT APPROVAL  X CERTIFICATE OF OCCUPANCY (PERM)
ENGINEER'S CERTIFICATION (TCL)	CERTIFICATE OF OCCUPANCY (TEMP)
ENGINEER'S CERTIFICATION (DRB APPR, SITE PLAN)	GRADING PERMIT APPROVAL
OTHER	PAVING PERMIT APPROVAL
	WORK ORDER APPROVAL
WAS A PRE-DESIGN CONFERENCE ATTENDED:	
YES	MAR 2 1 2008
NO	MIMIN
COPY PROVIDED	
•	HYDROLOGY
	HYDROLOGY SECTION .
DATE SUBMITTED: Friday, March 21, 2008	BY: Free Arfman
	Tananan Pr Arfman D A

Isaacson & Ariman, P.A.

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- 3. Drainage Report: Required for subdivisions containing more than ten (10) lots or constituting five acres or more.

July 11, 2007

Fred C. Arfman, PE Isaacson & Arfman, PA 128 Monroe St. NE. Albuquerque, NM 87108



Re: Mountain Road Laundry Repaving, 1134 Mountain Rd. NW Grading and Drainage Plan Engineer's Stamp dated 6-19-07 (J-13/D013)

Dear Mr. Arfman,

Based upon the information provided in your submittal received 6-28-07, the above referenced plan is approved for paving Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

A separate permit (SO#19) is required for construction within City Right of Way. A copy of this approval letter must be on hand when applying for the excavation permit. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

P.O.Box 1293

Albuquerque

If you have any questions, you can contact me at 924-3977.

New Mexico 87103

www.cabq.gov

C: file

Planning Department.
Building and Development Services

Rudy E. Rael, Associate Engineer

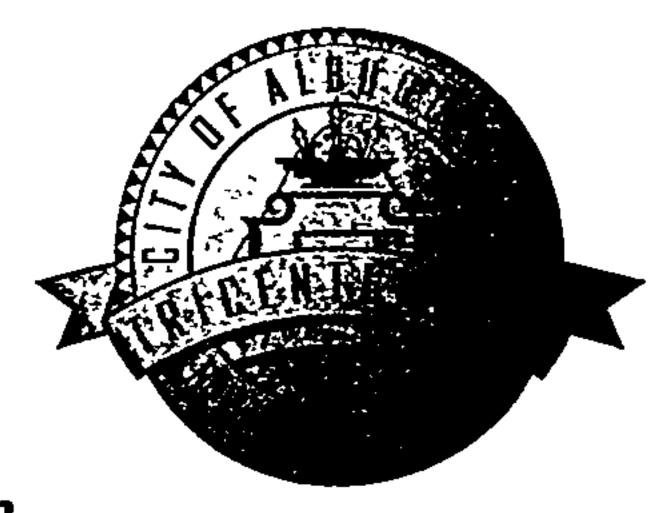
Sincerely.

### DRAINAGE AND TRANSPORTATION INFORMATION SHEET (Rev. 12/05)

LEGAL DESCRIPTION:  Tract A-1, Block 47, Perea Addition  CITY ADDRESS:  1134 Mountain Road NW, Albaquerque, NM  ENGINEERING FIRM:  LSaacson & Arfman, P.A.  CONTACT:  Fred Arfman  ADDRESS:  CITY, STATE:  ADDRESS:  ARCHITECT:  Workshop Architects  CONTACT:  Treveston Elliout  ADDRESS:  311 12th Street NW  PHONE:  246-9608  CITY, STATE:  ADDRESS:  331 Lomas Blvd. NE  PHONE:  998-0303  CITY, STATE:  ADDRESS:  333 Lomas Blvd. NE  PHONE:  998-0303  CITY, STATE:  ADDRESS:  ADDRESS:  ADDRESS:  ADDRESS:  BIRVEYOR:  Surveys Southwest, Ltd.  CONTACT:  ADDRESS:  CONTACTO:  ADDRESS:  CITY, STATE:  ADRANGE PLAN IA SUBMITTAL:  DRAINAGE PLAN IA SUBMITTAL  CONCEPTUAL G & D PLAN  EROSION CONTROL PLAN  GRADING PERMIT APPROVAL  CERTIFICATE OF OCCUPANCY (TEMP)  EROSION CONTROL PLAN  GRADING PERMIT APPROVAL  A PAYING PERMIT APPROVAL  A PAYI	PROJECT TITLE: DRB#:	Mountain Road Laundry RepavingEPC#:		LE # J-13 (DOF3
ENGINEERING FIRM: Isaacson & Arfman, P.A.  ENGINEERING FIRM: Isaacson & Arfman, P.A.  ADDRESS: 128 Monroe Street NE CITY, STATE: Albuquerque, NM  OWNER: CONTACT: Pred Arfman ADDRESS: PHONE: 268-8828  CITY, STATE: Albuquerque, NM  CONTACT: Pred Arfman ADDRESS: PHONE: 21P CODE: 87108  CONTACT: ADDRESS: PHONE: 21P CODE: 21P COD	I ECAL DESCRIPTIONS			
ENGINEERING FIRM: Isaacson & Arfman, P.A.  ADDRESS: 128 Monroe Street NE CITY, STATE: Albuquerque, NM  OWNER:  ADDRESS: PHONE: 268-8828  CITY, STATE: CONTACT: PHONE: 268-8828  CITY, STATE: CONTACT: PHONE: 268-8828  CITY, STATE: CONTACT: PHONE: CONTACT: PHONE: CONTACT: PHONE: CONTACT: PHONE: CONTACT: PHONE: CONTACT: Treveston Elliott  ADDRESS: B11 12th Street NW CITY, STATE: Albuquerque, NM  SURVEYOR: Surveys Southwest, Ltd. CONTACT: Mitchell Reynolds  ADDRESS: 333 Lomas Blvd. NE ADDRESS: GITY, STATE: Albuquerque, NM  CONTACTOR: CONTACT: PHONE: PHONE: PHONE: PHONE: PHONE: CITY, STATE: Albuquerque, NM  CONTACTOR: CONTACT: PHONE: CONTACT: PHONE: CITY, STATE: CITY, STATE: DEATH CONTACT: PHONE: CITY, STATE: CITY, STA				· · · · · · · · · · · · · · · · · · ·
ADDRESS: 128 Monroe Street NE CITY, STATE: Albuquerque, NM  COWNER: CONTACT: ADDRESS: CITY, STATE: Albuquerque, NM  CONTACT: PHONE: ZIP CODE:  ARCHITECT: Workshop Architects ADDRESS: 811 12th Street NW ADDRESS: 813 Lornas Blvd. NE ADDRESS: 333 Lornas Blvd. NE ADDRESS: 333 Lornas Blvd. NE ADDRESS: 333 Lornas Blvd. NE ADDRESS: 313 Lornas Blvd. NE ADDRESS: 3102  CONTACT: Mitchell Reynolds PHONE: 998-0303  CITY, STATE: Albuquerque, NM  ZIP CODE: 87102  CONTACT: Mitchell Reynolds PHONE: 998-0303  CITY, STATE: Albuquerque, NM  ZIP CODE: 87102  CONTACT: Mitchell Reynolds PHONE: 998-0303  CITY, STATE: Albuquerque, NM  ZIP CODE: 87102  CONTACT: Mitchell Reynolds PHONE: 12th Contact: PHONE: 12th Code: 12th C	CITI MDDICEOD.	TIDT MOUNTAIN ROAD IN W. MIDE	iqueique, ivivi	<u> </u>
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				JUN -
for Isaacson & Arfman, P.A.	SUBMITTED BY:	Bryan J. Bobrick		E: DONADA SECTION
		for Isaacson & Arfman, P.A.	LANI	DEAFFOLIAITY

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



**4** *

### Planning Department Transportation Development Services Section

August 30, 2006

Treveston Elliott
Workshop Architects
811 12th Street NW
Albuquerque, NM 87102

Re: Traffic Circulation Layout (TCL) Submittal for Building Permit Approval for Offices and Warehouse for Mountain Town Homes [J-13/D-13Arr] (1130 Mountain Rd), Albuquerque, NM Engineer's/Architect's Stamp Dated 08-29-2006

Dear Mr. Elliott,

The TCL submittal dated August 23, 2006 is approved for building permit. The plan is stamped and signed as approved. Two copies of the plan that is stamped as approved will be required: one for each of the building permit plans and the original to be kept by you to be used for certification of the site for final C.O. for Transportation. *Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.* 

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

If a temporary CO is needed then a copy of the original TCL that was stamped as approved by the City which includes a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance". This statement requires a NM registered architect or engineer stamp to be dated. Submit this TCL with a completed <u>Drainage and Transportation Information Sheet</u> to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer needs stamp and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Wilfred A. Gallegos, PE

Development and Building Services

cc: Hydrology file

File

#### DRAINAGE AND TRANSPORTATION INFORMATION SHEET

Mountain Road Town Homes (Rev. 1) PROJECT TITLE: 130 Mountain RD	2/2005) A B-
PROJECT TITLE: 130 Months KD	ZONE MAP/DRG. FILE # 1-13 - D-13 A.
DRB#: EPC#:	WORK ORDER#:
LEGAL DESCRIPTION:	
CITY ADDRESS: 1130 MOUNTAIN 20. 8710	<u>.</u>
ENGINEERING FIRM:	CONTACT:
ADDRESS:	PHONE:
CITY, STATE:	ZIP CODE:
~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~	
OWNER:	CONTACT:
ADDRESS:	PHONE:
CITY, STATE:	ZIP CODE:
ARCHITECT: WORKSHOP ARCHITECTS	CONTACT: TREMESTON ELLENT
ADDRESS: 311 1274 37. NW.	PHONE: 247.0756
CITY, STATE: ALBUQUEROUP NEW Max	ZIP CODE: 37107
SURVEYOR:	CONTACT:
ADDRESS:	PHONE:
CITY, STATE:	ZIP CODE:
CONTRACTOR:	CONTACT:
ADDRESS:	PHONE:
CITY, STATE:	ZIP CODE:
	CK TYPE OF APPROVAL SOUGHT:
DRAINAGE REPORT	SIA/FINANCIAL GUARANTEE RELEASE
DRAINAGE PLAN 1 st SUBMITTAL	PRELIMINARY PLAT APPROVAL
DRAINAGE PLAN RESUBMITTAL	S. DEV. PLAN FOR SUB'D APPROVAL
CONCEPTUAL G & D PLAN	S. DEV. FOR BLDG. PERMIT APPROVAL
GRADING PLAN	SECTOR PLAN APPROVAL
EROSION CONTROL PLAN	FINAL PLAT APPROVAL
ENGINEER'S CERT (HYDROLOGY)	FOUNDATION PERMIT APPROVAL
CLOMR/LOMR	BUILDING PERMIT APPROVAL
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ENGINEER'S ARCHITECT'S CERT (TCL)	CERTIFICATE OF OCCUPANCY (TEMP)
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VAS A PRE-DESIGN CONFERENCE ATTENDED:	n AUG 2 3 2006 U
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COPY PROVIDED	LAND DEVELOPMENT SECTION
IIRMITTED BY.	DATE: 92.19.16

equests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The articular nature, location and scope to the proposed development defines the degree of drainage detail. One or more of the following vels of submittal may be required based on the following:

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- 3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

PERMANENT EASEMENT

Grant of Permanent Easement, between Sean Gilligan, Managing Member of SG Properties, LLC ("Grantor"), whose address is 811 Marquette NW, Albuquerque, New Mexico 87102, and the City of Albuquerque, a New Mexico municipal corporation ("City"), whose address is P.O. Box 1293, Albuquerque, New Mexico 87103.

Grantor grants to the City an exclusive, permanent easement ("Easement") in, over, upon and across the real property described on Exhibit "A" attached hereto ("Property") for the construction, installation, maintenance, repair, modification, replacement and operation of a Six (6') foot Public Sidewalk Easement, together with the right to remove trees, bushes, undergrowth and any other obstacles upon the Property if the City determines they interfere with the appropriate use of this Easement.

In the event Grantor constructs any improvements ("Improvements") within the Easement, the City has the right to enter upon Grantor's property at any time and perform whatever inspection, installation, maintenance, repair, modification or removal ("Work") it deems appropriate without liability to the City. If the Work effects any Improvements or encroachments made by the Grantor, the City will not be financially or otherwise responsible for rebuilding or repairing the Improvements or encroachments. If in the opinion of the City, the Work performed by the City could endanger the structural integrity or otherwise damage the Improvements or encroachments, the Grantor shall, at its own expense, take whatever protective measures are required to safeguard the Improvements or encroachments.

Grantor covenants and warrants the Grantor is the owner in fee simple of the Property, that Grantor has a good lawful right to convey the Property or any part thereof and that Grantor will forever warrant and defend the title to the Property against all claims from all persons or entities.

The grant and other provisions of this Easement constitute covenants running with the Property for the benefit of the City and its successors and assigns utilities until terminated.

This Easement shall not be effective until approved by the City Engineer as shown in the signature block below.

WITNESS my hand and seal this 21^{SI} day of 3006.



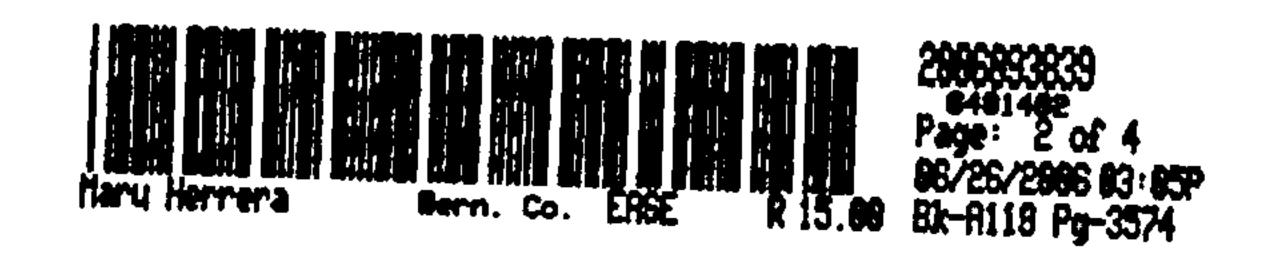
APPROVED

City Engineer

Dated 6-23-06

til lebzslow

By:(Individual)
(Individual)
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Print Name:
Date:
GRANTOR: ()
By:
(Corporation on Partnership)
Print Name: 37, PHONERYIES LC
Title: MANACANIC MARKETTO
Print Name: St. Propreyies Le Title: MANACANA MINISTRE Date: 1.21.60



INDIVIDUAL'S NOTARY

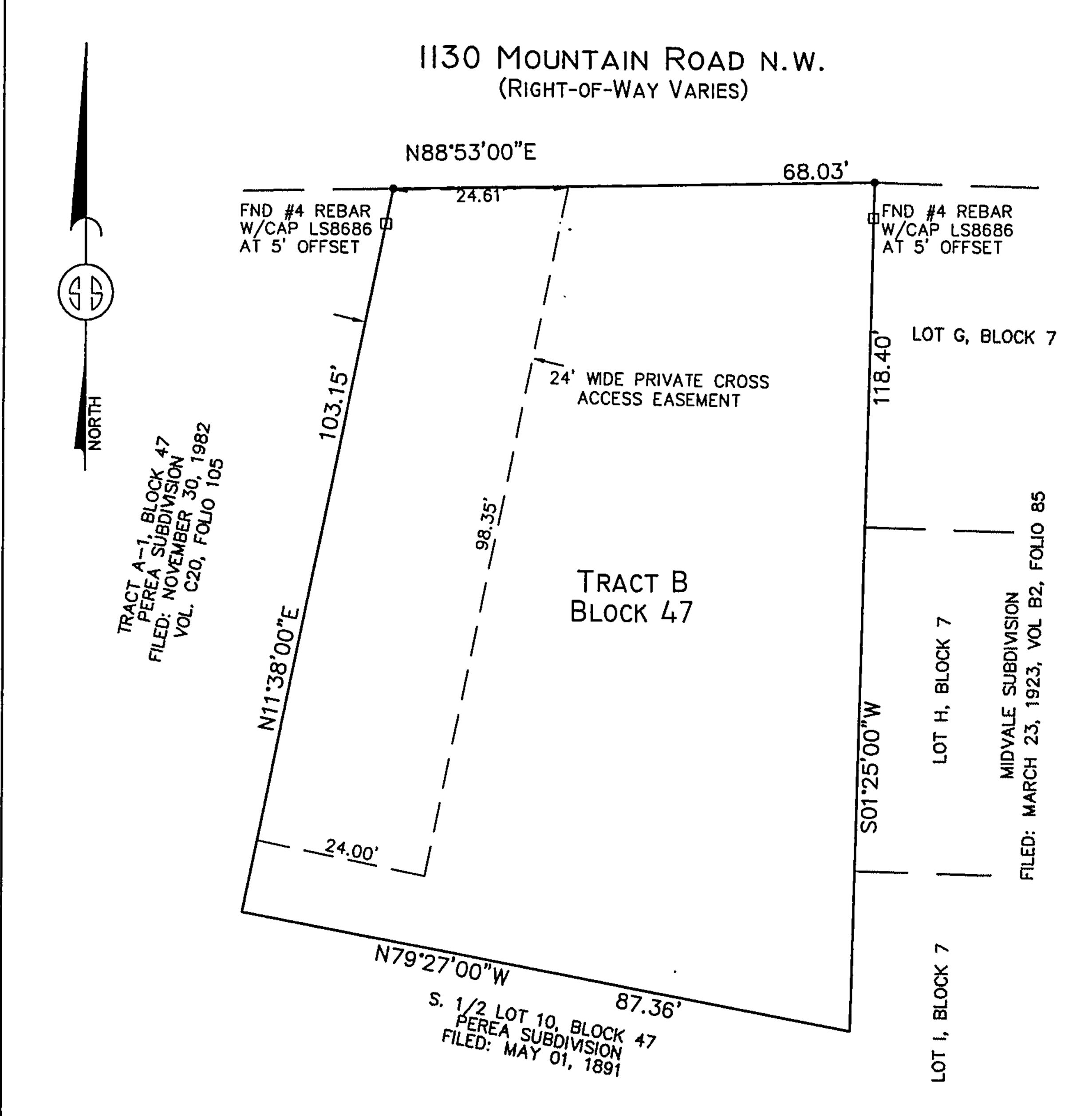
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COUNTY OF)63	
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(SEAL)		
My Commission Expires:	Notary Public	•
$1 - \infty$	CORPORATION'S NOTARY	
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(SEAL)		
My Commission Expires:	Notary Public	
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STATE OF)	
COUNTY OF)ss)	
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···	partner(s), on behalf of a partnership.	
SEAL)		•
ly Commission Expires:		
	Notary Public	
(E	XHIBIT "A" ATTACHED)	
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1" = 30'PROJECT NO. 0504RS22 DRAWN BY EH ZONE ATLAS: J-13-Z





GRANT OF PRIVATE CROSS-LOT ACCESS EASEMENT

The undersigned owner does hereby grant a Twenty-four foot (24') wide private cross access easement situate within Tract B, Block 47 of the Summary plat showing Tracts A-1 and B of the PEREA ADDITION, as the same is shown and designated on the plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico on November 30-, 1982 in Volume C20, folio 105 for the benefit and use by and for the owners of Tracts A-1 and B of said PEREA ADDITION and to be maintained by said owners; Said easement more particularly described in Exhibit A.

Owners(s)

ACKNOWLEDGEMENT STATE OF NEW MEXICO

COUNTY OF BERNALILLO

).ss

OFFICIAL SEAL. Sarah Amato **NOTARY PUBLIC** STATE (IF NEW MEXICO My Commission Expires

COUNTY OF BERNALILLO

This instrument was acknowledged before me this 23th day of AUGUST 2006, by: SEALI GILLIAALI

My Commission Expires:

Notary Public

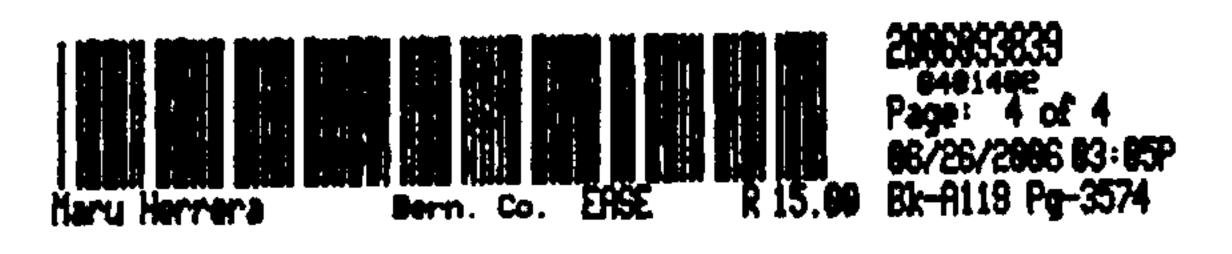
SURVEYS SOUTHWEST, LTD.

333 LOMAS BLVD., N.E. ALBUQUERQUE, NEW MEXICO 87102

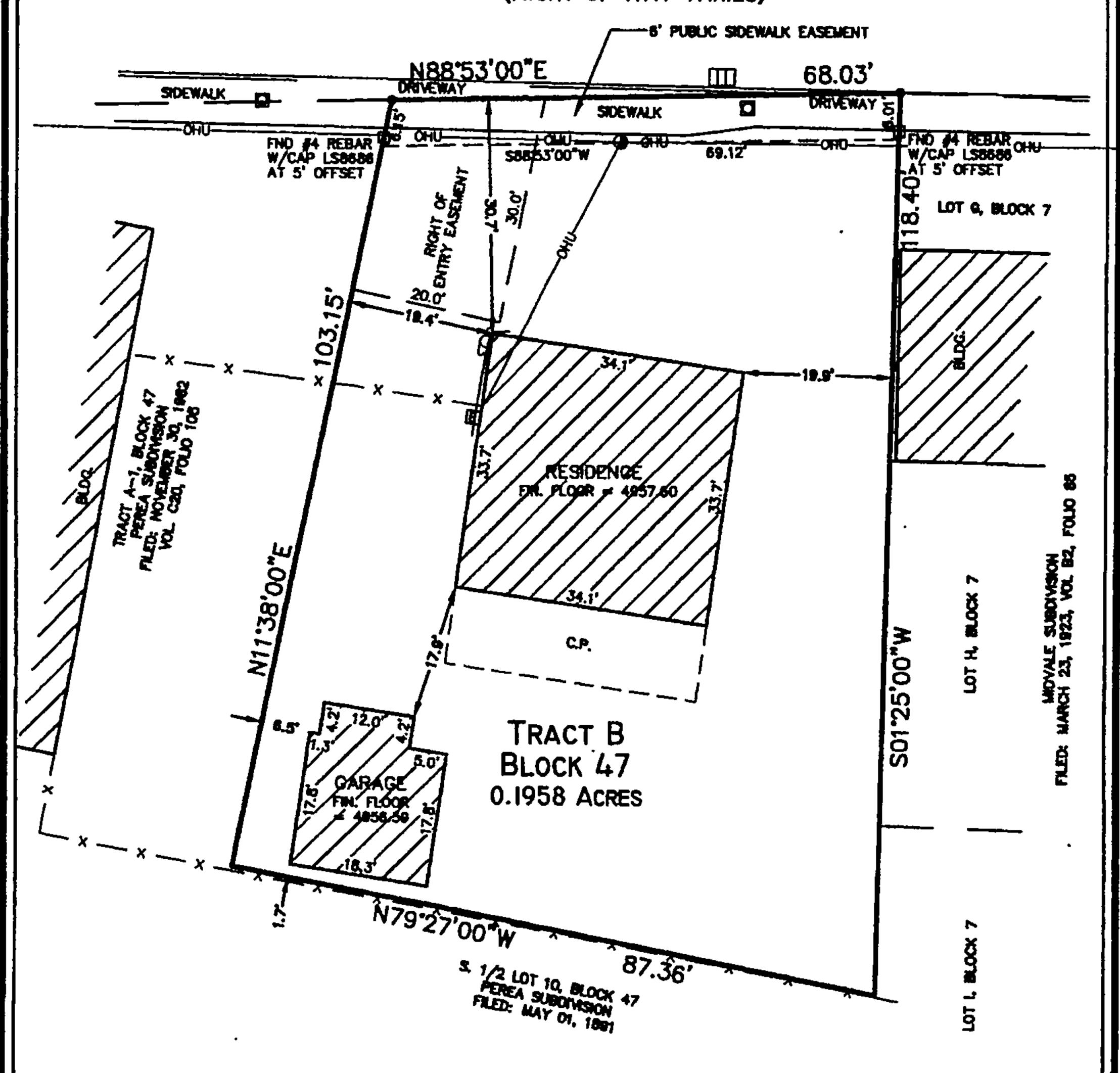
PHONE: (505) 998-0303 FAX: (505) 998-0306

T10N R3E SEC. 18





1130 MOUNTAIN ROAD N.W. (RIGHT-OF-WAY VARIES)

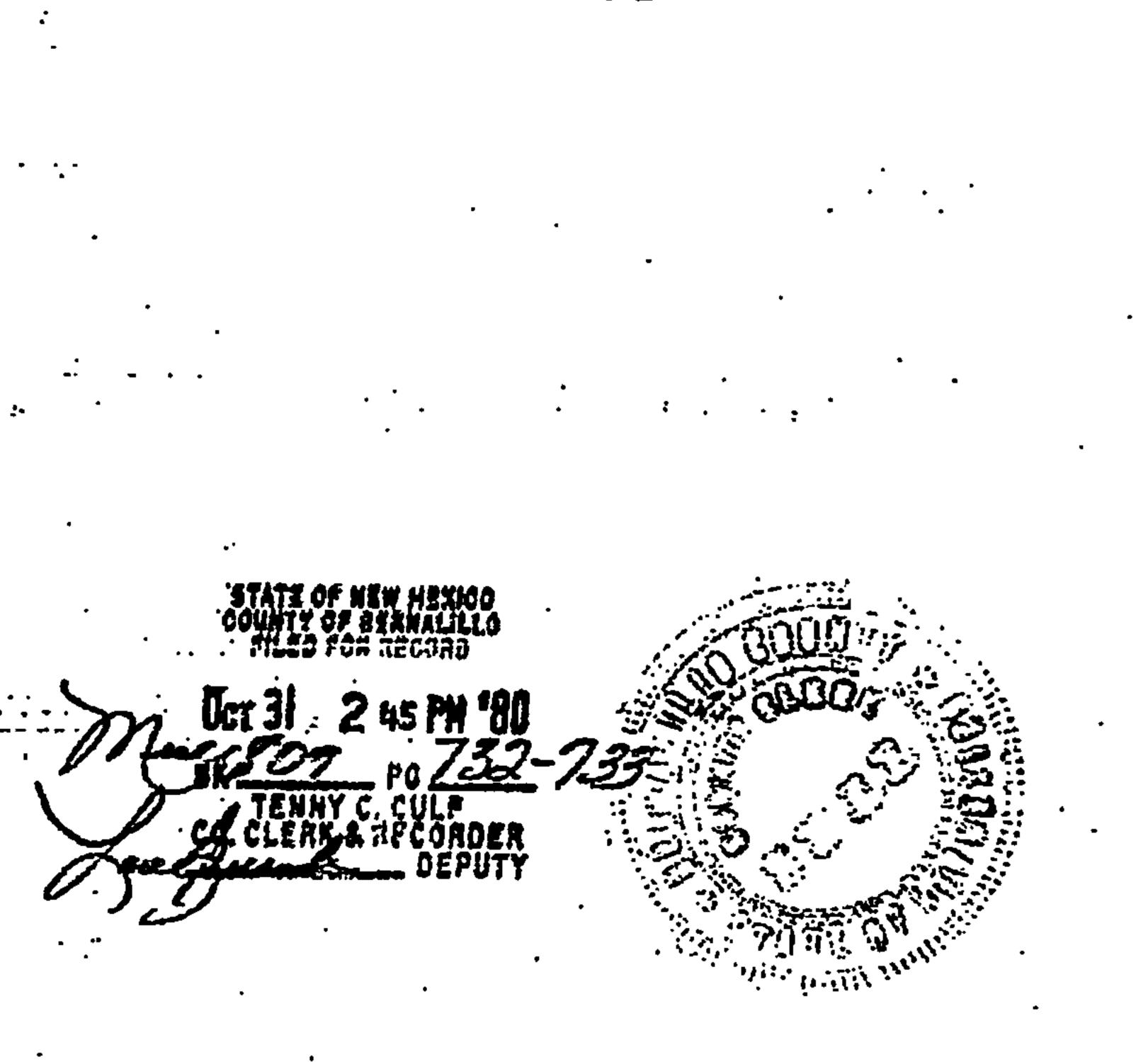


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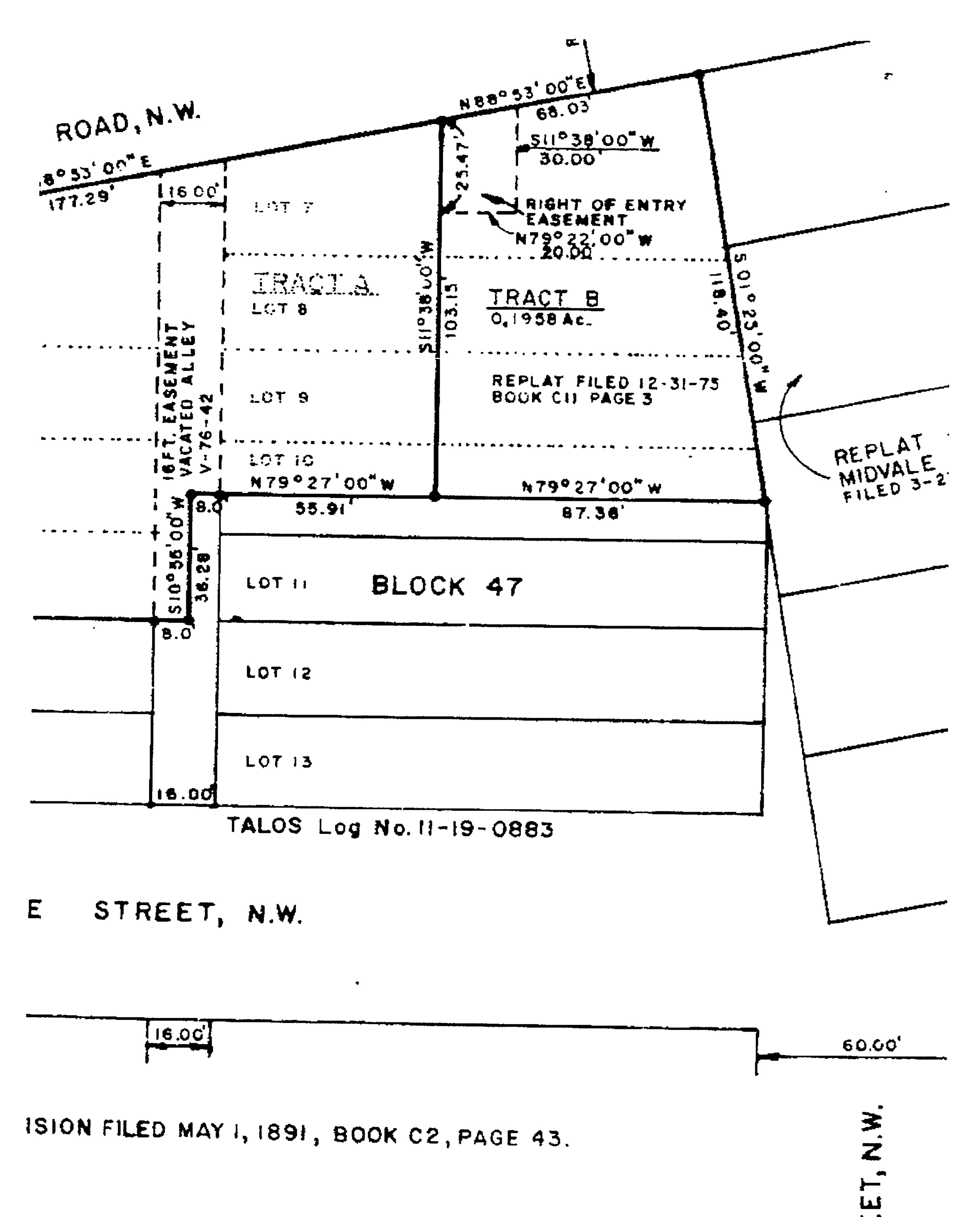
333 LOMAS BLVD., N.E. ALBUQUERQUE, NEW MEXICO 87102

PHONE: (505) 998-0303 FAX: (505) 998-0306

Perea Subdivision



4 3~



THE CURSES! THE POSECOING ESPLAY OF THAT CENTAIN TRACT OF LAND SITUATED IN THE CITY OF ALBUQUENCE. MEN HEXICO. COMPRISING ALL OF LOTS 1, 2, 3, AND 4, AND PORTICUS OF LOTS 7, 8, 9, AND 10, ALL OF MACK 47 OF "ME PEPEA SUBLIVISION FILED FOR MESSAU IN THE OFFICE OF THE COUNTY CLERK OF BEBUALITIES CENTY, NEW MEXICO, CY MAY 1, 1891, TOCETHER WITH TRUCTS A AND B AS SHOWN ON THE REPLAT OF SAID SURDIVISION AS FILED IN SAID OFFICE ON DECEMBER DI. 1975. NOW REPLATTED AND DESIGNATES TRACT A-1 AND TRACT 3 AS THE SAME APPEARS PERSON IS WITH THE PREZ CONSEST AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERTRONED OWNERS AND PROPRESTORS THEREOF:

MUCE PUCIETIE (TRUSTEE) JCKY P.COMITI (TRANSE) STATE OF HEW MEXICO)
COUNTY OF BENKALIZED) 53: THE PORECOING INSTRUMENT WAS ACCUMULATION REPORT HE THIS . 1962, BY MANCY PUCCETT! (TRISTER) AND JIMM PUCCETT! (CRUSTER). IN VITNESS WEREOF, I HAVE MEREDINIO SET MY HAND AND SEAL ON THE DAY AND DATE LAST ABOVE WHITTEN. THE NOISELAND EXELUTED AND THE NOTAPY PUBLIC _ 12.15

SURVEY I, SECRIE 7. COEM, MEN MEXICO MEGISTERES PROFESSIONAL EMPIREE AND LAWS SURVEYOR, THE LAYS OF NEW MEXICO, CENTIFY THAT I AM A FRORESSICULAL LAND BURNEYOR AND THAT THIS PLAT WAS PROPARED BY ME OR CHICKS MY SUPERVISION, SHOWS ALL EASENEMIS OF ACCORE, PEETS THE HINTHEN REQUIREMENTS FOR MONUMENTATION AND SUNFEYS OF THE ALBUQUERCUE SUEETITISTON ORETHANCE AND IS THEE AND ACCURATE TO THE BEST OF ME KNOYLEDGE AND BELLEY.

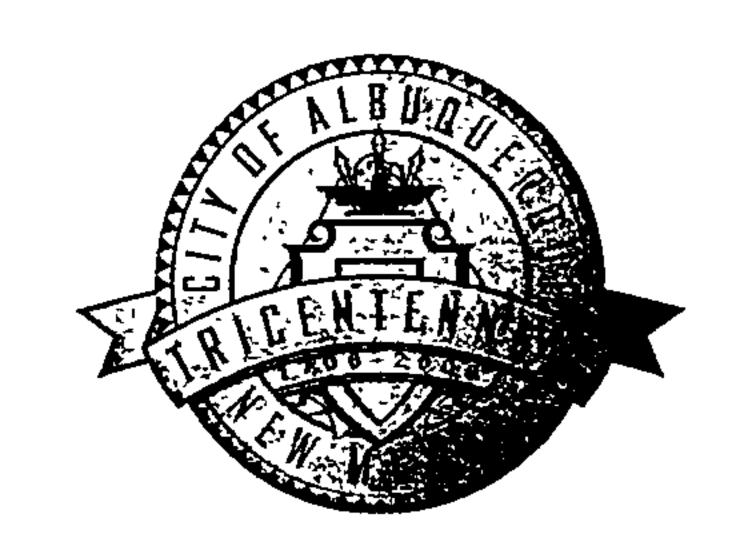
ದಯದ 7. ಜವ್ 3.3.2.E. AND 1.5. NO. 3092 APPROVAL AND CONCITIONAL ACCORPTANCE

as specified by the Albuquerque Subdivision Ordinance 11/20/82 FLANCIC DIRECTOR / PARTER RESCURIES COPARTIENT, CITY THE OF ALBUARREDE, MEN MEXICO OF ALECTESQUE, NEW MEXICO

FROMERTY YAKAGER, CETT OF ALBUSTERGIE,

ANTE STATE OF STATES, PLANE OF STATES, E. Elle

LACE AND METALLICH DEPARTMENT, SITY OF ALBERT METALLICH DEPARTMENT, SITY OF



July 13, 2006

Treveston Elliott, R.A.

Workshop Architects
811 12th Street NW
Albuquerque, NM 87102

Re: 1130 Mountain Rd NW, Mountain Road Town Homes, Traffic Circulation Layout, Architect's Stamp dated 05-11-06 (J13-D13Ar)

Dear Mr. Elliott,

Based upon the information provided in your submittal received 07-10-06, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Provide Solid waste approval.

2. Explain why the drive aisle is 30' at the entrance and narrows to 22' 4.5".

3. Include a copy of the Right of Entry Easement.

4. The scale on the plan will need to be set to an engineer's scale.

Albuquerque

P.O. Box 1293

If you have any questions, you can contact me at 924-3991.

Sincerely,

New Mexico 87103

www.cabq.gov

Wilfred Gallegos, P.E.

Traffic Engineer, Planning Dept.

Development and Building Services

C: file

Albuquerque - Making History 1706-2006

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PROJECT TITLE: 130 Marian Road Town (Rev. 1)	$\frac{2/2005)}{mes}$
PROJECT TITLE: \\ \\ \\ \\ \\ \\ \\ \\ \\ \\ \\ \\ \\	ZONE MAP/DRG. FILE #
LEGAL DESCRIPTION: Bus. #47 TRACT CITY ADDRESS: 1130 MOUNTAIN ROAD	BY PEREA SUBDIVISOR
ENGINEERING FIRM: ADDRESS: CITY, STATE:	CONTACT: PHONE: ZIP CODE:
OWNER:ADDRESS:	CONTACT: PHONE:
ARCHITECT: WORKSHOP ARCUITECTS ADDRESS: 311 1274 - 57. NW. CITY, STATE: ALBUQUEROUP NEW Max	CONTACT: REVESTON ELLOTT PHONE: 247.0756 ZIP CODE: 37107
SURVEYOR:ADDRESS:CITY, STATE:	CONTACT: PHONE: ZIP CODE:
CONTRACTOR: ADDRESS: CITY, STATE:	CONTACT: PHONE: ZIP CODE:
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VAS A PRE-DESIGN CONFERENCE ATTENDED: YESNOCOPY PROVIDED UBMITTED BY:	RE SUBMITTAL DATE: 7/10/4
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DRAINAGE AND TRANSPORTATION INFORMATION SHEET

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- 3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

- COPY of EMSERNE CORP. SCALE

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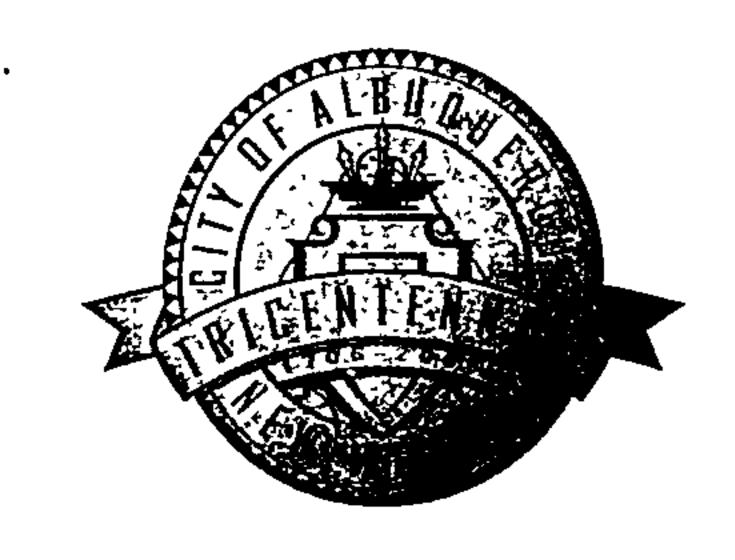
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June 5, 2006

Treveston Elliott, R.A.

Workshop Architects
811 12th Street NW
Albuquerque, NM 87102

Re: 1130 Mountain Rd NW, Traffic Circulation Layout

DISA

Architect's Stamp dated 05-11-06 (J13-P13)

Dear Mr. Elliott,

Based upon the information provided in your submittal received 02-17-06, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

- 1. Provide verification that the lot lines were removed, if not a re-plat to remove lot lines is required before TCL can be approved.
- 2. See attached plan for additional comments for future submittals.

If you have any questions, you can contact me at 924-3630.

Sincerely,

Nilo Salgado-Fernandez, P.E.

Senior Traffic Engineer, Planning Dept.

Development and Building Services

C: file

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

PROJECT TITLE: 1130 Mountain Road Town tomes	
PROJECT TITLE: 1/30 // OU FROM CAST	ZONE MAP/DRG. FILE # 1-13/D13 WORK ORDER#:
LEGAL DESCRIPTION: BLK. #47 TRACT'B' PECITY ADDRESS: 1130 MOUNTAIN ROAP NW	
CITTADDRESS: 1150 MOUNTAIN ROAD NW	**************************************
ENGINEERING FIRM:	
ADDRESS:	CONTACT:PHONE:
CITY, STATE:	ZIP CODE:
OWNER:	CONTACT:
ADDRESS:	PHONE:
CITY, STATE:	ZIP CODE:
ARCHITECT: WORKSHOP ARCHITECTS	
ADDRESS:	CONTACT: TREVESTON ELLIOTT PHONE: 246.9608
CITY, STATE: A.B. NW.	ZIP CODE: <u>87187</u>
SURVEYOR:	CONTACT:
ADDRESS:	PHONE:
CITY, STATE:	ZIP CODE:
CONTRACTOR:	
ADDRESS:	CONTACT:
CITY, STATE:	PHONE: ZIP CODE:
TYPE OF SUBMITTAL:	TYPE OF APPROVAL SOUGHT:
DRAINAGE REPORT	SIA/FINANCIAL GUARANTEE RELEASE
DRAINAGE PLAN 1 st SUBMITTAL	_PRELIMINARY PLAT APPROVAL
DRAINAGE PLAN RESUBMITTALCONCEPTUAL G & D PLAN	S. DEV. PLAN FOR SUB'D APPROVAL
GRADING PLAN	S. DEV. FOR BLDG. PERMIT APPROVAL
EROSION CONTROL PLAN	_ SECTOR PLAN APPROVAL _ FINAL PLAT APPROVAL
ENGINEER'S CERT (HYDROLOGY)	FOUNDATION PERMIT APPROVAL
CLOMR/LOMR	BUILDING PERMIT APPROVAL
TRAFFIC CIRCULATION LAYOUT	CERTIFICATE OF OCCUPANCY (PERM)
ENGINEER'S/ARCHITECT'S CERT (TCL)	CERTIFICATE OF OCCUPANCY (TEMP)
ENGINEER'S CERT (DRB SITE PLAN)	_ GRADING PERMIT APPROVAL
OTHER	PAVING PERMIT APPROVAL
	_ WORK ORDER APPROVAL
	OTHER (SPECIFY)
WAS A PRE-DESIGN CONFERENCE ATTENDED:	
YES	MAY 1 1 2006 11 11
NO	MAY 1 1 2006 /
COPY PROVIDED	
CURATURD DV.	HYDROLOGY SECTION
SUBMITTED BY:	DATE:DATE:

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.

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- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

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