

# CITY OF ALBUQUERQUE



**Planning Department  
Transportation Development Services Section**

May 2, 2008

Treveston Elliott, Registered Architect  
811 12th Street NW  
Albuquerque, NM 87102

Re: Certification Submittal for Final Building Certificate of Occupancy for  
Mountain Road Town Homes, [J-13 / D013A]  
1130 Mountain Road  
Architect's Stamp Dated 04/29/08

Dear Mr. Elliott:

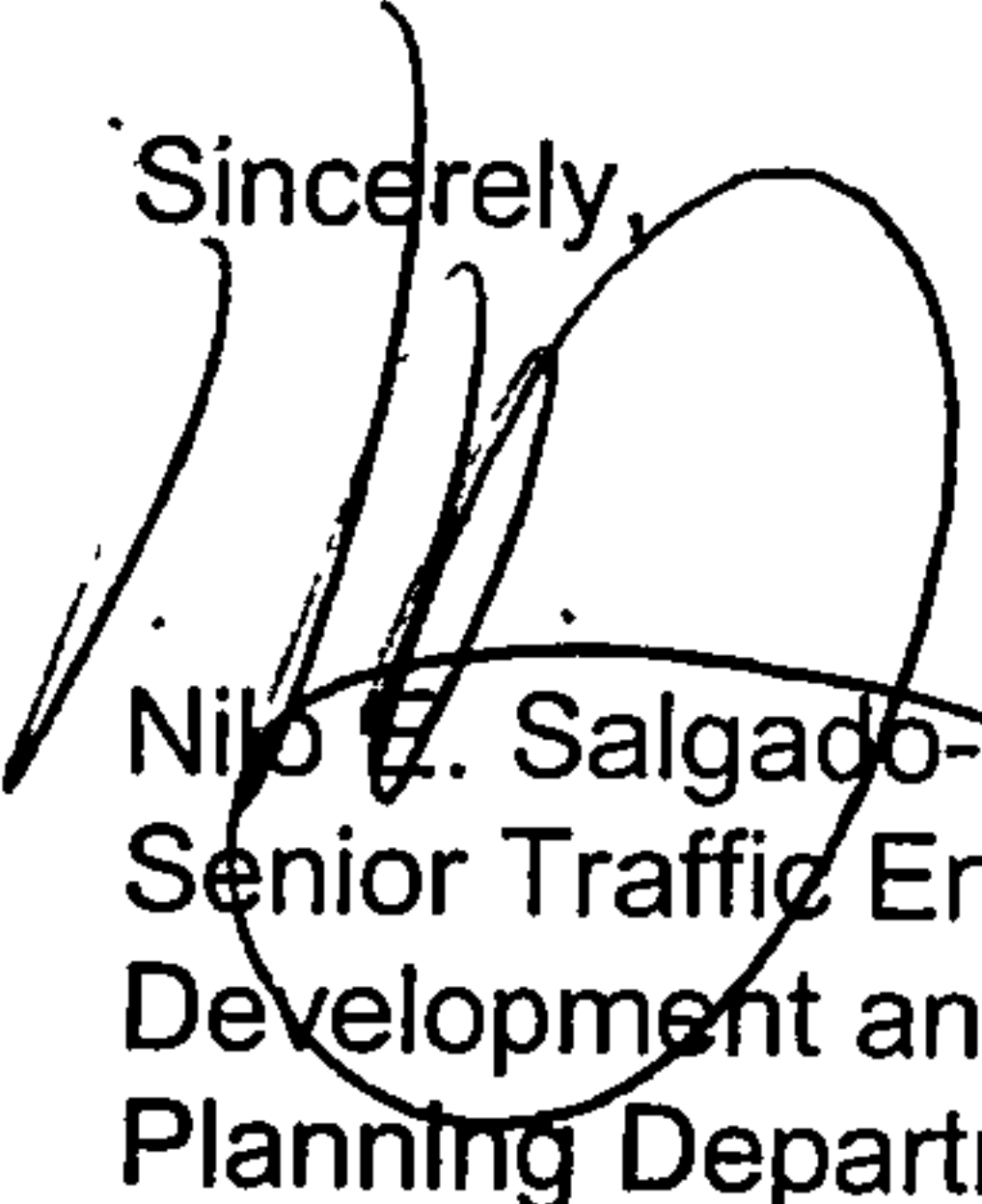
PO Box 1293

The TCL / Letter of Certification submitted on May 1, 2008 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Albuquerque

Sincerely,

NM 87103

  
Nilo E. Salgado-Fernandez, P.E.  
Senior Traffic Engineer  
Development and Building Services  
Planning Department

[www.cabq.gov](http://www.cabq.gov)

c: Engineer  
Hydrology file  
CO Clerk

# TREVESTON ELLIOTT ARCHITECT

811 12 TH Street NW  
Albuquerque New Mexico 87102  
505.246.9608 p  
505.259.4617 c  
1.866.258.9138 f  
treveston@comcast.net

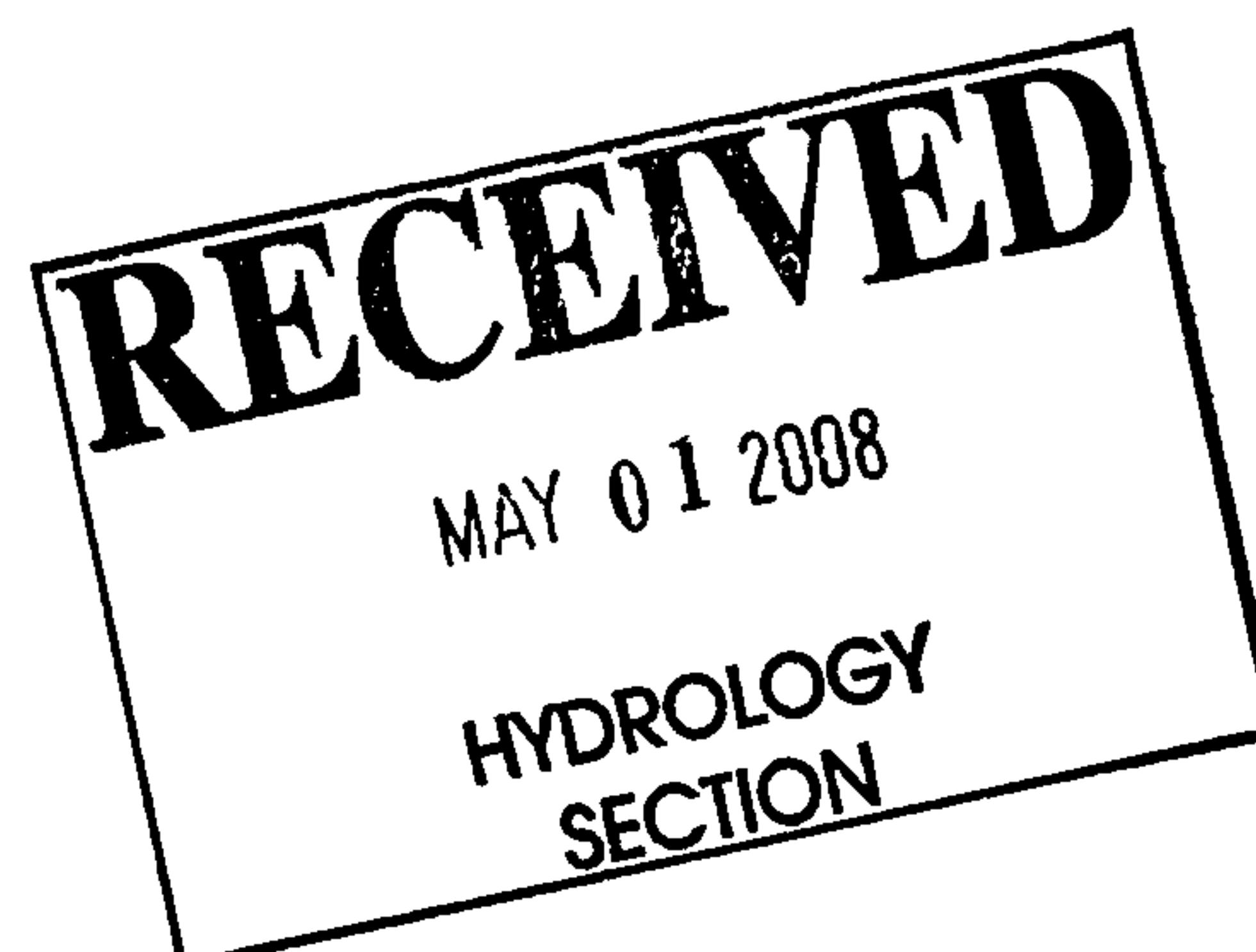
## Traffic Certification

I Treveston Elliott NMRA, of the firm WorkShop Architects, hereby certify that this project is in substantial compliance with and in accordance with the design intent of the TCL approved plan dated 08-30-2006. The record information edited onto the original design document has been obtained by Treveston Elliott of the firm WorkShop Architects. I further certify that I have personally visited the project site on April 29, 2008 and have determined by visual inspection that the survey data provided is representative of the actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Certificate of Occupancy.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

  
Treveston Elliott Architect

April 29, 2008



# TREVESTON ELLIOTT ARCHITECT

811 12 TH Street NW  
Albuquerque New Mexico 87102  
505.246.9608 p  
505.259.4617 c  
1.866.258.9138 f  
treveston@comcast.net

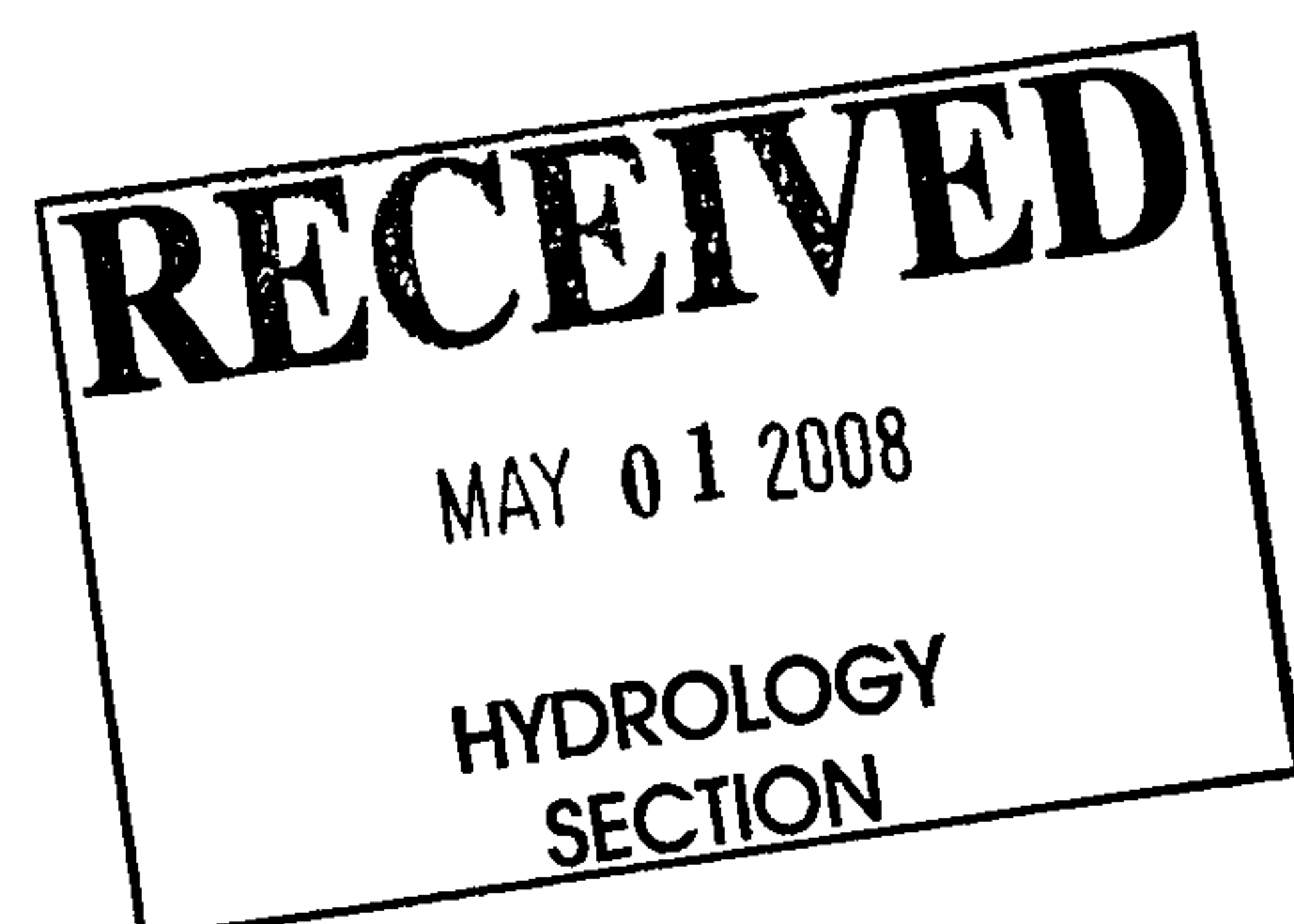
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Treveston Elliott Architect

April 29, 2008



# TREVESTON ELLIOTT ARCHITECT

811 12 TH Street NW  
Albuquerque New Mexico 87102  
505.246.9608 p  
505.259.4617 c  
1.866.258.9138 f  
[treveston@comcast.net](mailto:treveston@comcast.net)

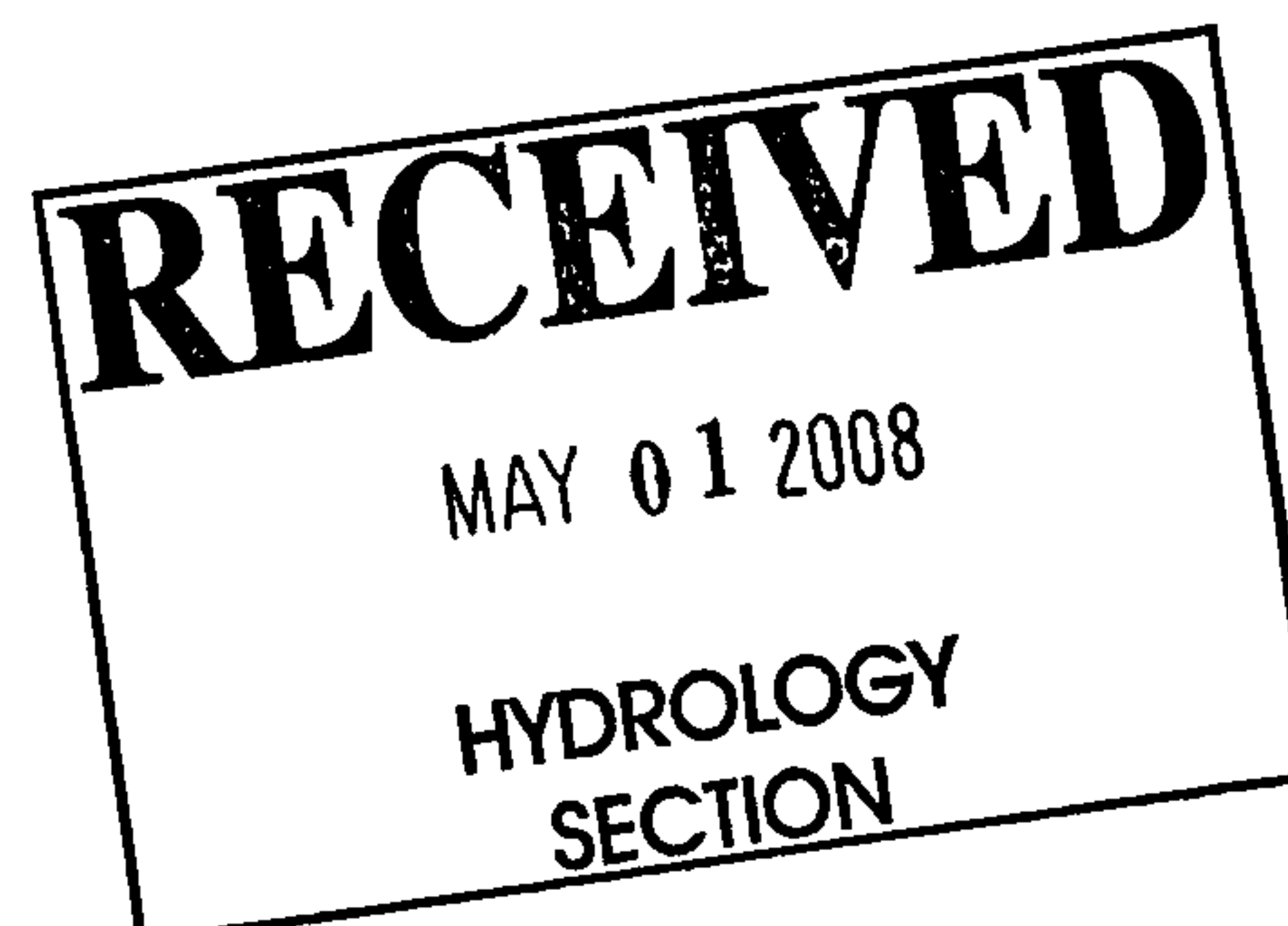
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The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

  
Treveston Elliott Architect

April 29, 2008





## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(Rev. 12/2005)

PROJECT TITLE: Mountain Road Town Homes ZONE MAP/DRG. FILE # J-131 D013A  
 DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: 1130 Mountain Road  
 PROPERTY ADDRESS: 1130 Mountain Road

ENGINEERING FIRM: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

OWNER: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

ARCHITECT: WORKSHOP ARCHITECTS CONTACT: TREVISTON ELLIOTT  
 ADDRESS: 211 12TH ST. NW. PHONE: 247-0756  
 CITY, STATE: ALBUQUERQUE NEW MEXICO ZIP CODE: 87102

SURVEYOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

## TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL  
☐ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERT (HYDROLOGY)  
☐ CLOMR/LOMR  
☒ TRAFFIC CIRCULATION LAYOUT  
☐ ENGINEER'S/ARCHITECT'S CERT (TCL)  
☐ ENGINEER'S CERT (DRB SITE PLAN)  
☐ OTHER

## CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☐ BUILDING PERMIT APPROVAL  
☒ CERTIFICATE OF OCCUPANCY (PERM)  
☐ CERTIFICATE OF OCCUPANCY (TEMP)  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ OTHER (SPECIFY)

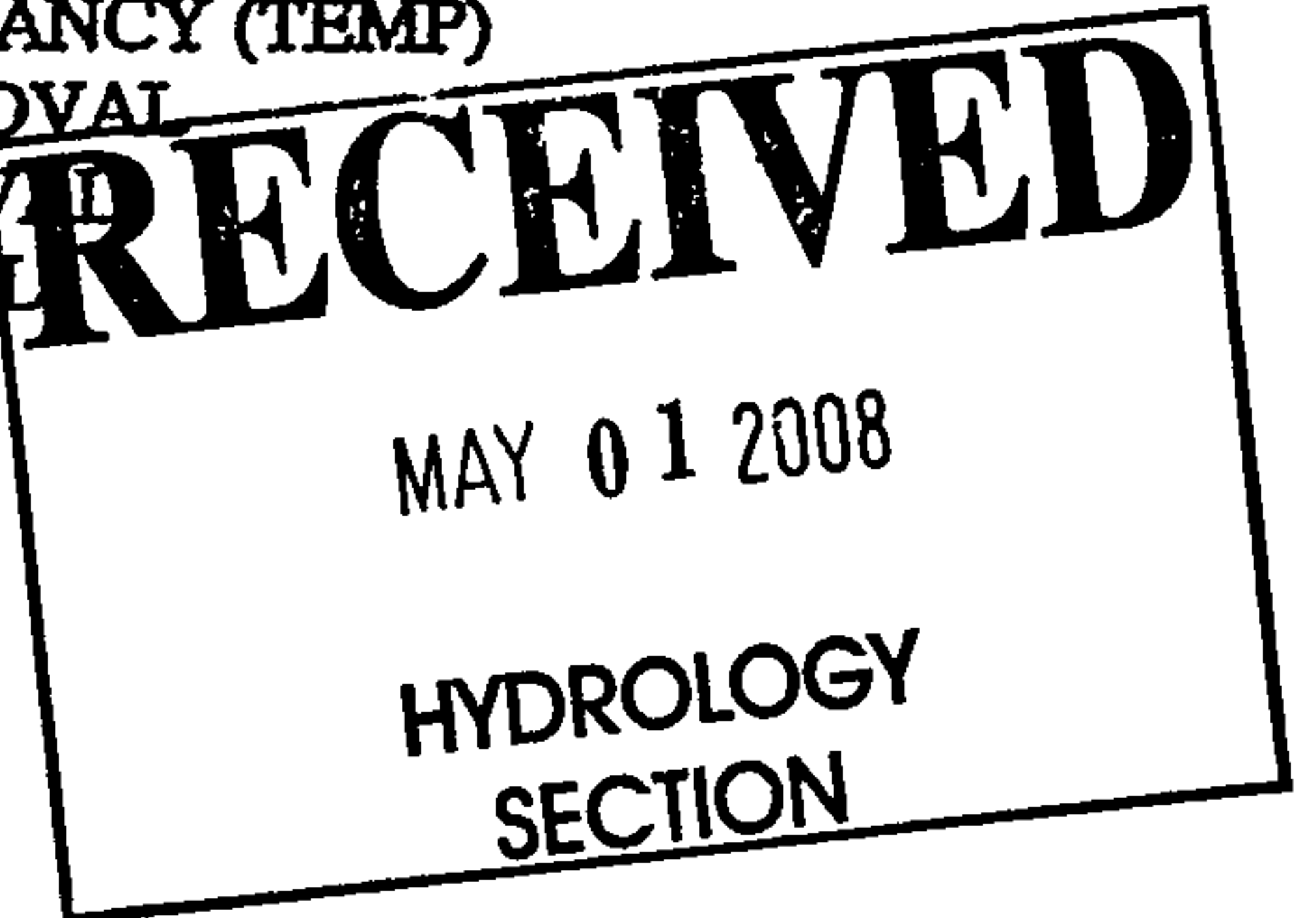
## WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES  
☐ NO  
☐ COPY PROVIDED

SUBMITTED BY: [Signature] DATE: 4.29.08

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



# CITY OF ALBUQUERQUE



March 28, 2008

Fred C. Arfman, P.E.  
Isaacson & Arfman, P.A.  
128 Monroe Street N.E.  
Albuquerque, NM 87108

**Re: Mountain Road Town Homes, 1130 Mountain Rd. NW,  
Approval of Permanent Certificate of Occupancy (C.O.), Engineer's Stamp  
dated 3/23/06 & 6-19-07 (J-13/D013A)  
Certification dated 3/21/08 & 3-28-08**

Mr. Arfman:

PO Box 1293

Based upon the information provided in your submittal received 3/21/08 & 3-28-08, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

Albuquerque

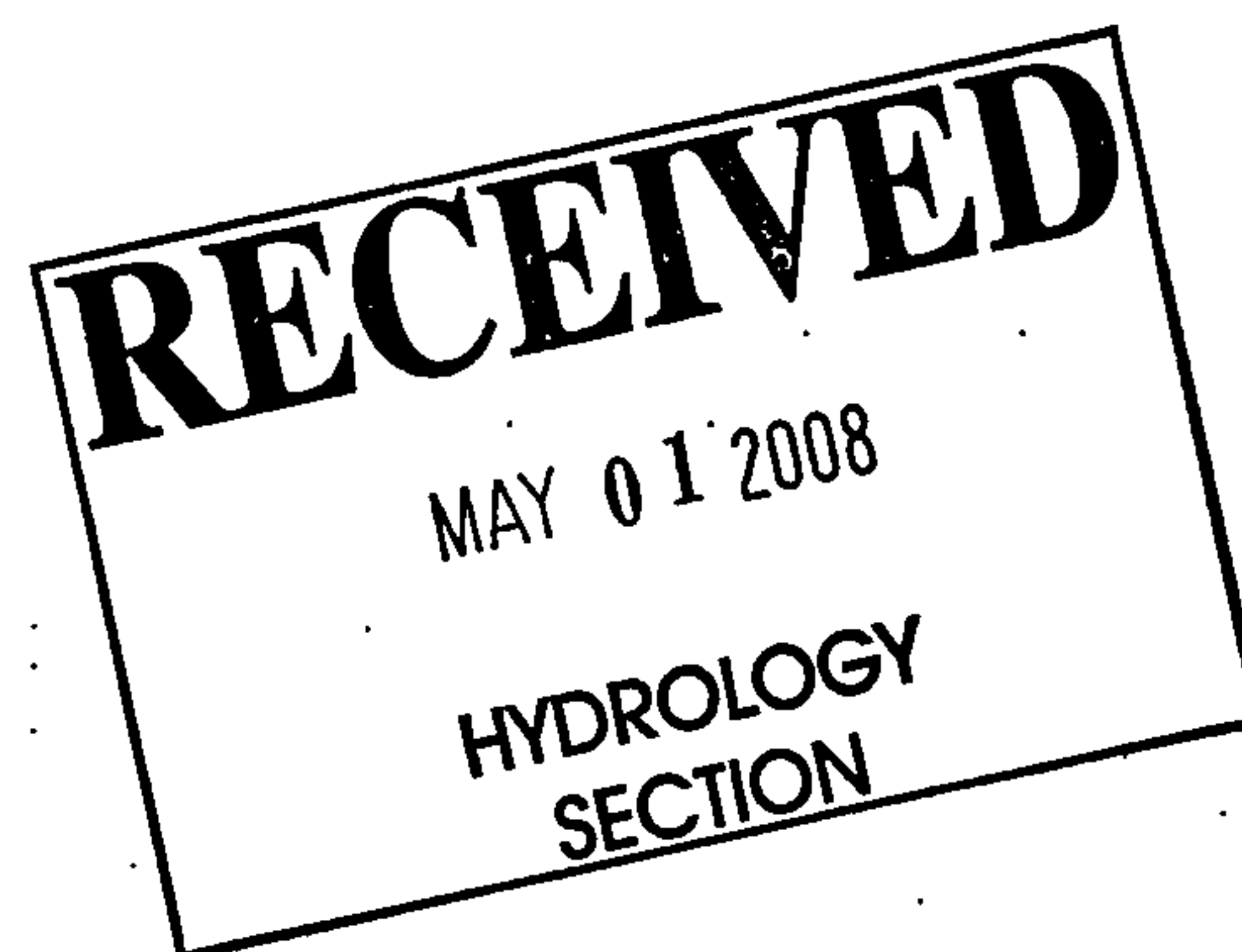
If you have any questions, you can contact me at 924-3982.

NM 87103

Sincerely,

Timothy E. Sims  
Plan Checker  
Development and Building Services  
CO Clerk – Katrina Sigala  
File

www.cabq.gov



Hydrology

Hydrology

Hydrology

Hydrology

Hydrology

# CITY OF ALBUQUERQUE



May 3, 2006

Fred Arfman, P.E.  
Isaacson & Arfman, P.A.  
128 Monroe St. NE  
Albuquerque, NM 87108

**Re: Mountain Road Townhomes, 1130 Mountain Road NW, Grading and  
Drainage Plan**

**Engineer's Stamp dated 3-23-06 (J13-D13A)**

Dear Mr. Arfman,

Based upon the information provided in your submittal received 3-24-06, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

A separate permit (SO#19) is required for construction within City Right of Way. A copy of this approval letter must be on hand when applying for the excavation permit. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro, P.E.  
Senior Engineer, Planning Dept.  
Development and Building Services

C: Edward Elwell, DMD Street / Storm Maintenance  
Liz Sanchez, Excavation Permits  
File



# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: Mountain Road Town Homes

ZONE MAP / DRG. FILE #: J-13 / D13

DRB #: \_\_\_\_\_ EPC #: \_\_\_\_\_

WORK ORDER #: \_\_\_\_\_

LEGAL DESCRIPTION: . Lot B, Block 47, Perea Addition, Albuquerque, New Mexico

CITY ADDRESS: 1130 Mountain Road, Nw

ENGINEERING FIRM: Isaacson & Arfman, P.A.

ADDRESS: 128 Monroe St. NE

CITY, STATE: Albuquerque, NM

CONTACT: \_\_\_\_\_

PHONE: 268-8828

ZIP CODE: 87108

OWNER: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_

PHONE: \_\_\_\_\_

ZIP CODE: \_\_\_\_\_

ARCHITECT: Workshop Architects

ADDRESS: 811 12<sup>th</sup> Street NW

CITY, STATE: Albuquerque, New Mexico

CONTACT: Treveston Elliott

PHONE: 246-9608

ZIP CODE: 87102

SURVEYOR: Surveys Southwest, LTD

ADDRESS: 333 Lomas Blvd. NE

CITY, STATE: Albuquerque, New Mexico

CONTACT: Mitchell Reynolds NMLS #11224

PHONE: 998-0303

ZIP CODE: 87102

CONTRACTOR: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_

PHONE: \_\_\_\_\_

ZIP CODE: \_\_\_\_\_

## CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT  
☒ DRAINAGE PLAN 1<sup>ST</sup> *REQUIRES TCL or equal*  
☐ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL GRADING & DRAINAGE PLAN  
☐ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)  
☐ CLOMR / LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ ENGINEER'S CERTIFICATION (TCL)  
☐ ENGINEER'S CERTIFICATION (DRB APPR, SITE PLAN)  
☐ OTHER

## CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. PLAN FOR BLDG. PERMIT APPR.  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☒ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY (PERM)  
☐ CERTIFICATE OF OCCUPANCY (TEMP)  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ OTHER

## WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES  
☐ NO  
☐ COPY PROVIDED

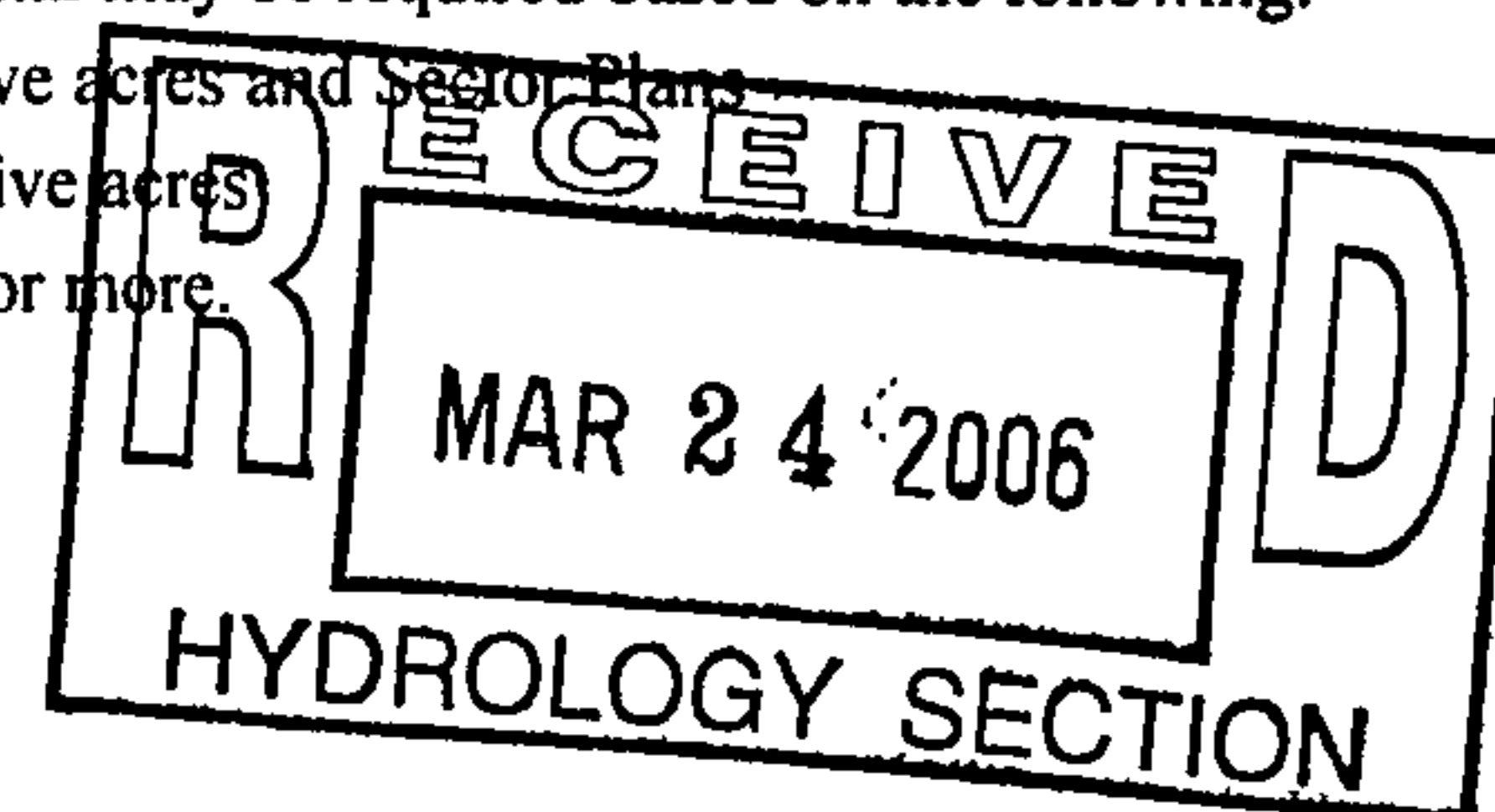
DATE SUBMITTED: Thursday, March 23, 2006

BY: Bryan Bobrick

Isaacson & Arfman, P.A.

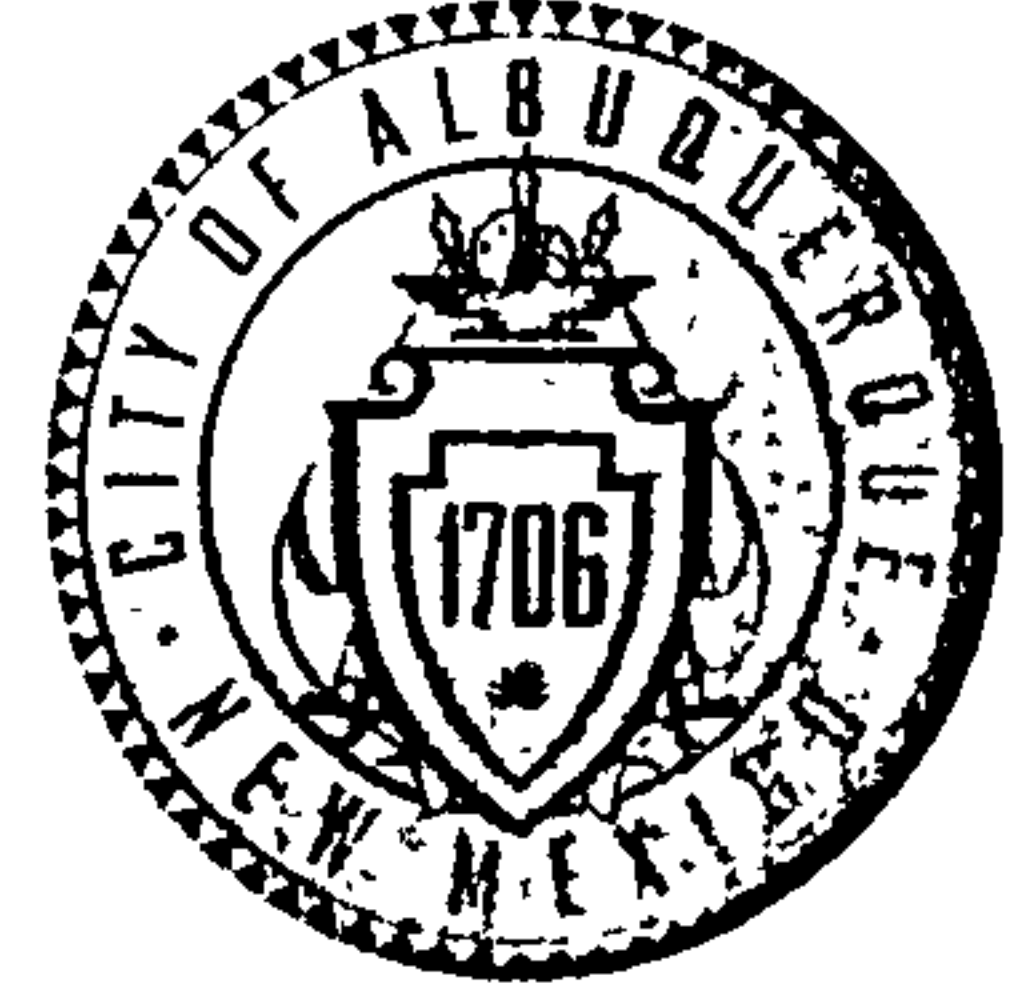
Requests for approvals of Site Development Plans and / or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five acres and Sector Plans.
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five acres.
3. Drainage Report: Required for subdivisions containing more than ten (10) lots or constituting five acres or more.





# CITY OF ALBUQUERQUE



March 28, 2008

Fred C. Arfman, P.E.  
**Isaacson & Arfman, P.A.**  
128 Monroe Street N.E.  
Albuquerque, NM 87108

**Re: Mountain Road Town Homes, 1130 Mountain Rd. NW,  
Approval of Permanent Certificate of Occupancy (C.O.), Engineer's Stamp  
dated 3/23/06 & 6-19-07 (J-13/D013A)  
Certification dated 3/21/08 & 3-28-08**

Mr. Arfinan:


PO Box 1293

Based upon the information provided in your submittal received 3/21/08 & 3-28-08, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

Albuquerque

If you have any questions, you can contact me at 924-3982.

NM 87103

Sincerely,  


[www.cabq.gov](http://www.cabq.gov)

Timothy E. Sims  
Plan Checker  
Development and Building Services

C: CO Clerk – Katrina Sigala  
File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET  
(Rev. 12/05)

PROJECT TITLE: Mountain Road Laundry Repaving ZONE MAP/DRG. FILE # J-13 / D013A  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: Tract A-1, Block 47, Perea Addition  
CITY ADDRESS: 1134 Mountain Road NW, Albuquerque, NM

ENGINEERING FIRM: Isaacson & Arfman, P.A. CONTACT: Fred Arfman  
ADDRESS: 128 Monroe Street NE PHONE: 268-8828  
CITY, STATE: Albuquerque, NM ZIP CODE: 87108

OWNER: SG PROPERTIES CONTACT: SEAN GILLIGAN  
ADDRESS: 811 MARQUETTE PHONE: 248-9900  
CITY, STATE: ABQ. NM 87102 ZIP CODE: \_\_\_\_\_

ARCHITECT: Workshop Architects CONTACT: Treveston Elliott  
ADDRESS: 811 12th Street NW PHONE: 246-9608  
CITY, STATE: Albuquerque, NM ZIP CODE: 87102

SURVEYOR: Surveys Southwest, Ltd. CONTACT: Mitchell Reynolds  
ADDRESS: 333 Lomas Blvd. NE PHONE: 998-0303  
CITY, STATE: Albuquerque, NM ZIP CODE: 87102

CONTRACTOR: (SEE OWNER) CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

TYPE OF SUBMITTAL:  
☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL  
☐ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☒ ENGINEER'S CERT (HYDROLOGY)  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT  
☐ ENGINEER/ARCHITECT CERT (TCL)  
☐ ENGINEER/ARCHITECT CERT (DRB S.P.)  
☐ ENGINEER/ARCHITECT CERT (AA)  
☐ OTHER (SPECIFY) \_\_\_\_\_

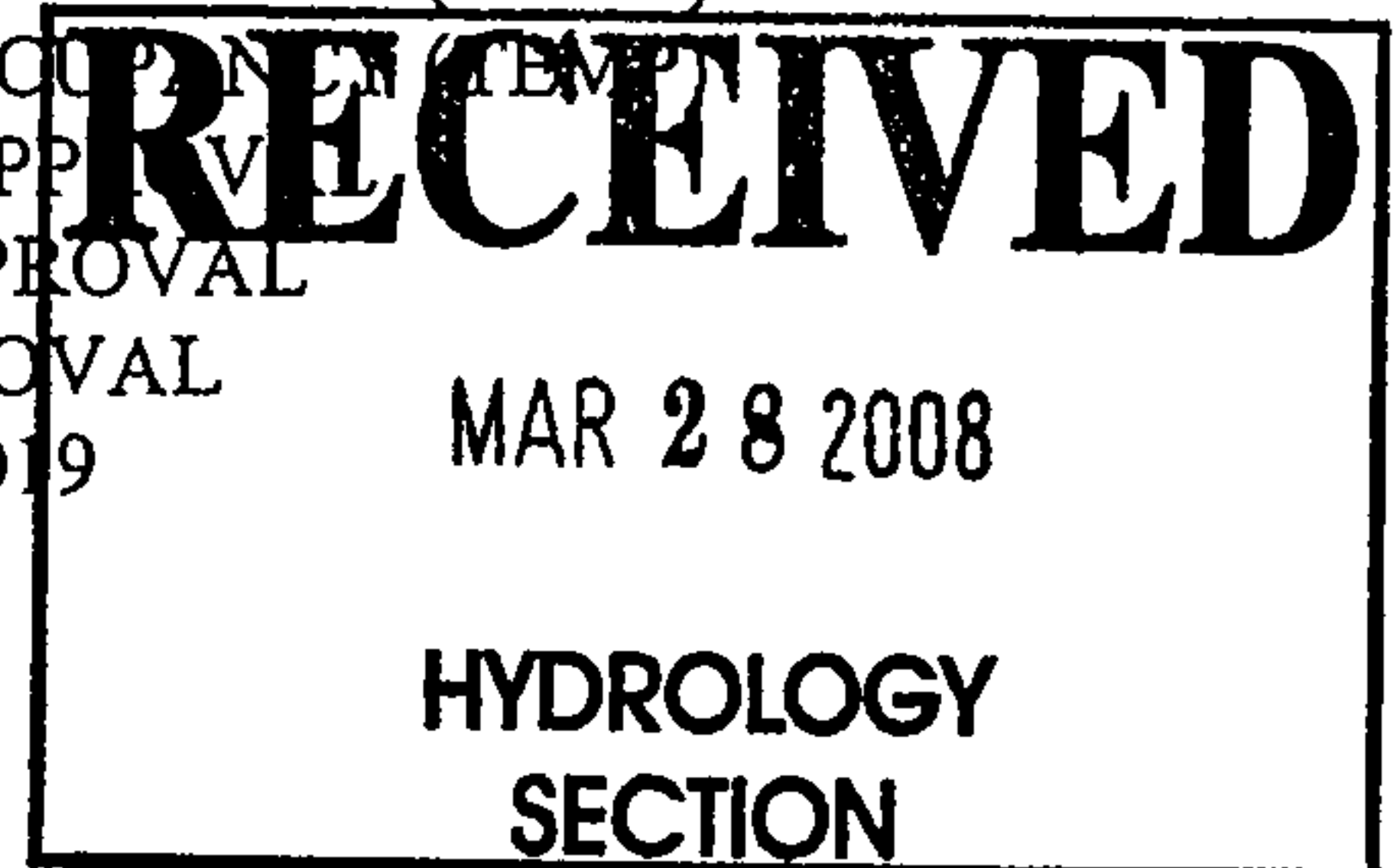
CHECK TYPE OF APPROVAL SOUGHT:  
☐ SLA/FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☐ BUILDING PERMIT APPROVAL  
☒ CERTIFICATE OF OCCUPANCY (PERM)  
☐ CERTIFICATE OF OCCUPANCY (TEMP)  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ OTHER (SPECIFY) SO19 \_\_\_\_\_

WAS A PRE-DESIGN CONFERENCE ATTENDED:  
☐ YES  
☐ NO  
☐ COPY PROVIDED

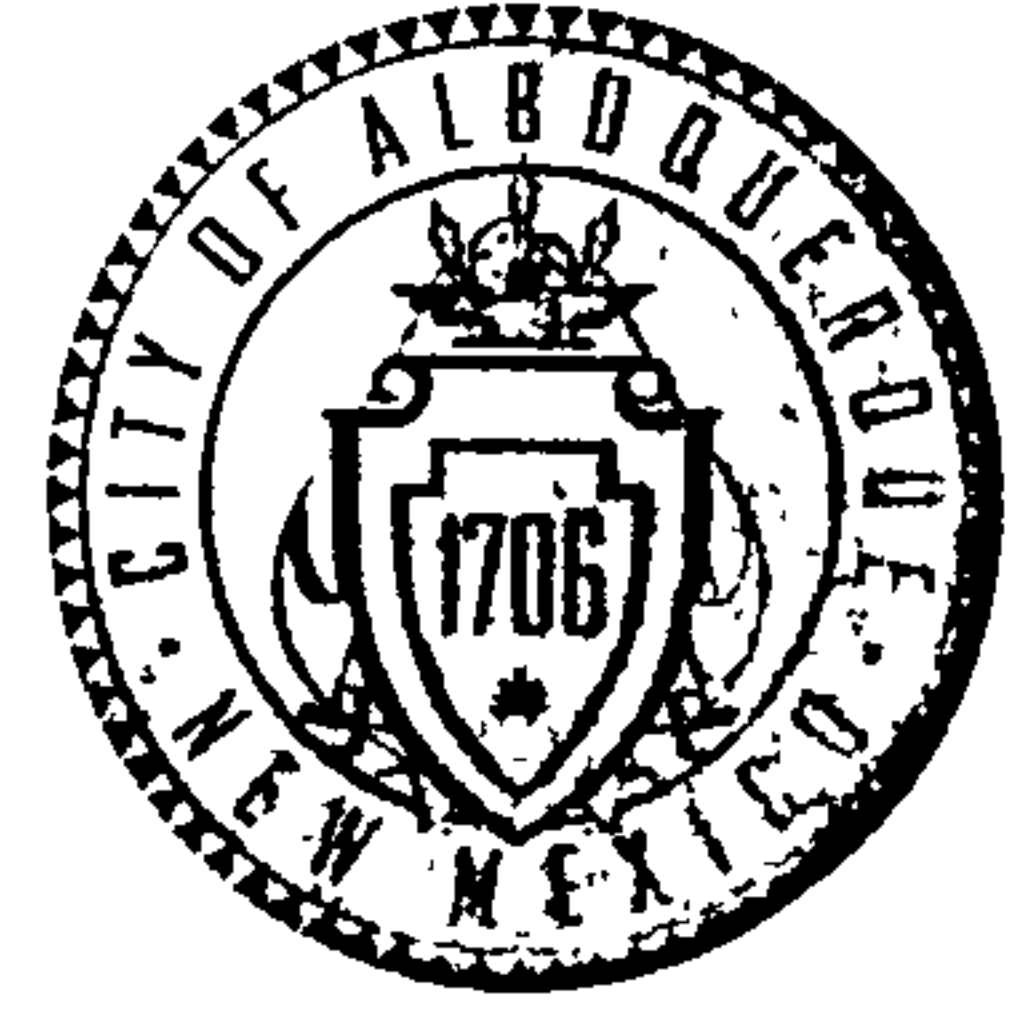
SUBMITTED BY: Bryan J. Bobrick DATE: 03-28-08  
for Isaacson & Arfman, P.A. June 28, 2007

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



# CITY OF ALBUQUERQUE



March 26, 2008

Fred C. Arfman, P.E.  
**Isaacson & Arfman, P.A.**  
128 Monroe Street N.E.  
Albuquerque, NM 87108

**Re: Mountain Road Town Homes, 1130 Mountain Rd. NW,  
Approval of 90 Day Temporary Certificate of Occupancy (C.O.),  
Engineer's Stamp dated 3/23/06 (J-13/D013A)  
Certification dated 3/21/08**

Mr. Arfman:

PO Box 1293

Based upon the information provided in your submittal received 3/21/08, the above referenced certification is approved for release of 90-day Temporary Certificate of Occupancy by Hydrology.

Albuquerque

There is an additional plan, dated 6-19-07, that will need to be certified prior to final certification of occupancy.

NM 87103

If you have any questions, you can contact me at 924-3982.

Sincerely,

www.cabq.gov

Timothy E. Sims  
Plan Checker  
Development and Building Services

C: CO Clerk – Katrina Sigala  
File



# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: Mountain Road Town Homes

ZONE MAP / DRG. FILE #: J-13 (D013A)

DRB #: \_\_\_\_\_ EPC #: \_\_\_\_\_

WORK ORDER #: \_\_\_\_\_

LEGAL DESCRIPTION: . Lot B, Block 47, Perea Addition, Albuquerque, New Mexico

CITY ADDRESS: 1130 Mountain Road, Nw

ENGINEERING FIRM: Isaacson & Arfman, P.A.

ADDRESS: 128 Monroe St. NE

CITY, STATE: Albuquerque, NM

CONTACT: \_\_\_\_\_

PHONE: 268-8828

ZIP CODE: 87108

OWNER: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_

PHONE: \_\_\_\_\_

ZIP CODE: \_\_\_\_\_

ARCHITECT: Workshop Architects

ADDRESS: 811 12<sup>th</sup> Street NW

CITY, STATE: Albuquerque, New Mexico

CONTACT: Treveston Elliott

PHONE: 246-9608

ZIP CODE: 87102

SURVEYOR: Surveys Southwest, LTD

ADDRESS: 333 Lomas Blvd. NE

CITY, STATE: Albuquerque, New Mexico

CONTACT: Mitchell Reynolds NMLS #11224

PHONE: 998-0303

ZIP CODE: 87102

CONTRACTOR: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_

PHONE: \_\_\_\_\_

ZIP CODE: \_\_\_\_\_

## CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1<sup>ST</sup> *REQUIRES TCL or equal*
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR / LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERTIFICATION (TCL)
- ☐ ENGINEER'S CERTIFICATION (DRB APPR, SITE PLAN)
- ☐ OTHER

## CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPR.
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER

## WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

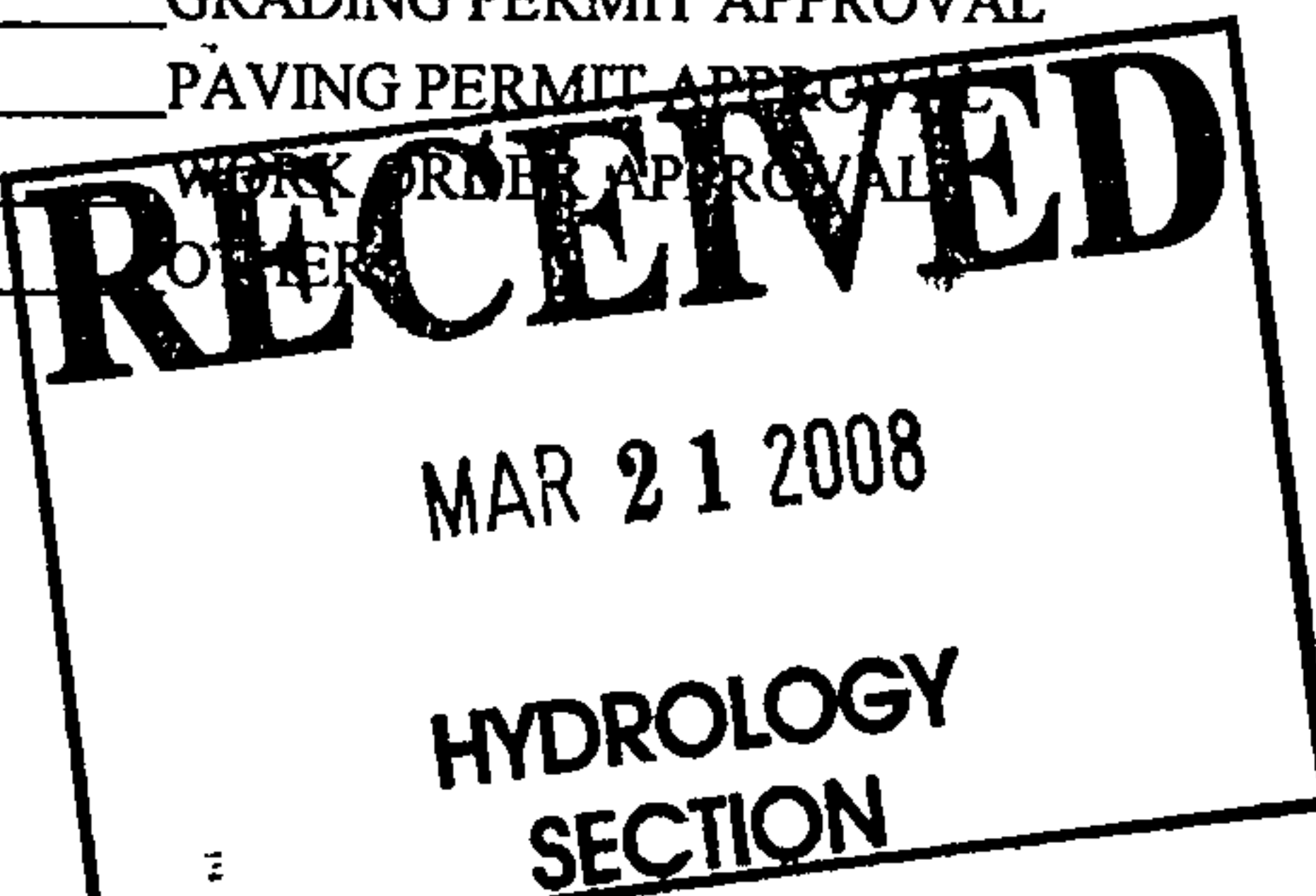
DATE SUBMITTED: Friday, March 21, 2008

BY: Fred Arfman

Isaacson & Arfman, P.A.

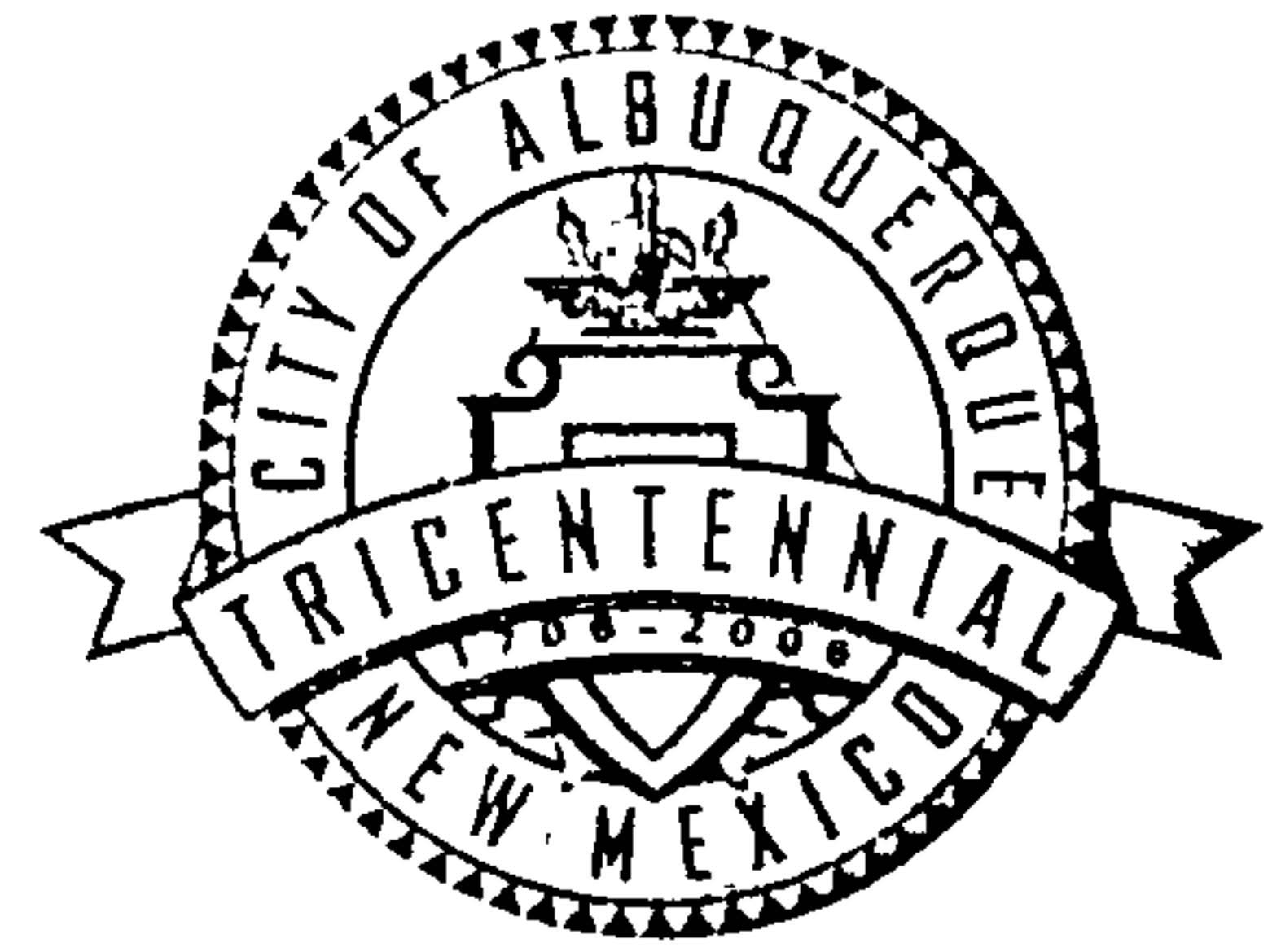
Requests for approvals of Site Development Plans and / or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five acres
3. Drainage Report: Required for subdivisions containing more than ten (10) lots or constituting five acres or more.





# CITY OF ALBUQUERQUE



July 11, 2007

Fred C. Arfman, PE  
Isaacson & Arfman, PA  
128 Monroe St. NE.  
Albuquerque, NM 87108

**Re: Mountain Road Laundry Repaving, 1134 Mountain Rd. NW**  
**Grading and Drainage Plan**  
**Engineer's Stamp dated 6-19-07 (J-13/D013)**

Dear Mr. Arfman,

Based upon the information provided in your submittal received 6-28-07, the above referenced plan is approved for paving Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

A separate permit (SO#19) is required for construction within City Right of Way. A copy of this approval letter must be on hand when applying for the excavation permit. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

P.O.Box 1293

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

If you have any questions, you can contact me at 924-3977.

Sincerely,

Rudy E. Rael, Associate Engineer  
Planning Department.  
Building and Development Services

C: file

# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(Rev. 12/05)

PROJECT TITLE: Mountain Road Laundry Repaving ZONE MAP/DRG. FILE # J-13 / D013  
 DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: Tract A-1, Block 47, Perea Addition  
 CITY ADDRESS: 1134 Mountain Road NW, Albuquerque, NM

ENGINEERING FIRM: Isaacson & Arfman, P.A. CONTACT: Fred Arfman  
 ADDRESS: 128 Monroe Street NE PHONE: 268-8828  
 CITY, STATE: Albuquerque, NM ZIP CODE: 87108

OWNER: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

ARCHITECT: Workshop Architects CONTACT: Treveston Elliott  
 ADDRESS: 811 12th Street NW PHONE: 246-9608  
 CITY, STATE: Albuquerque, NM ZIP CODE: 87102

SURVEYOR: Surveys Southwest, Ltd. CONTACT: Mitchell Reynolds  
 ADDRESS: 333 Lomas Blvd. NE PHONE: 998-0303  
 CITY, STATE: Albuquerque, NM ZIP CODE: 87102

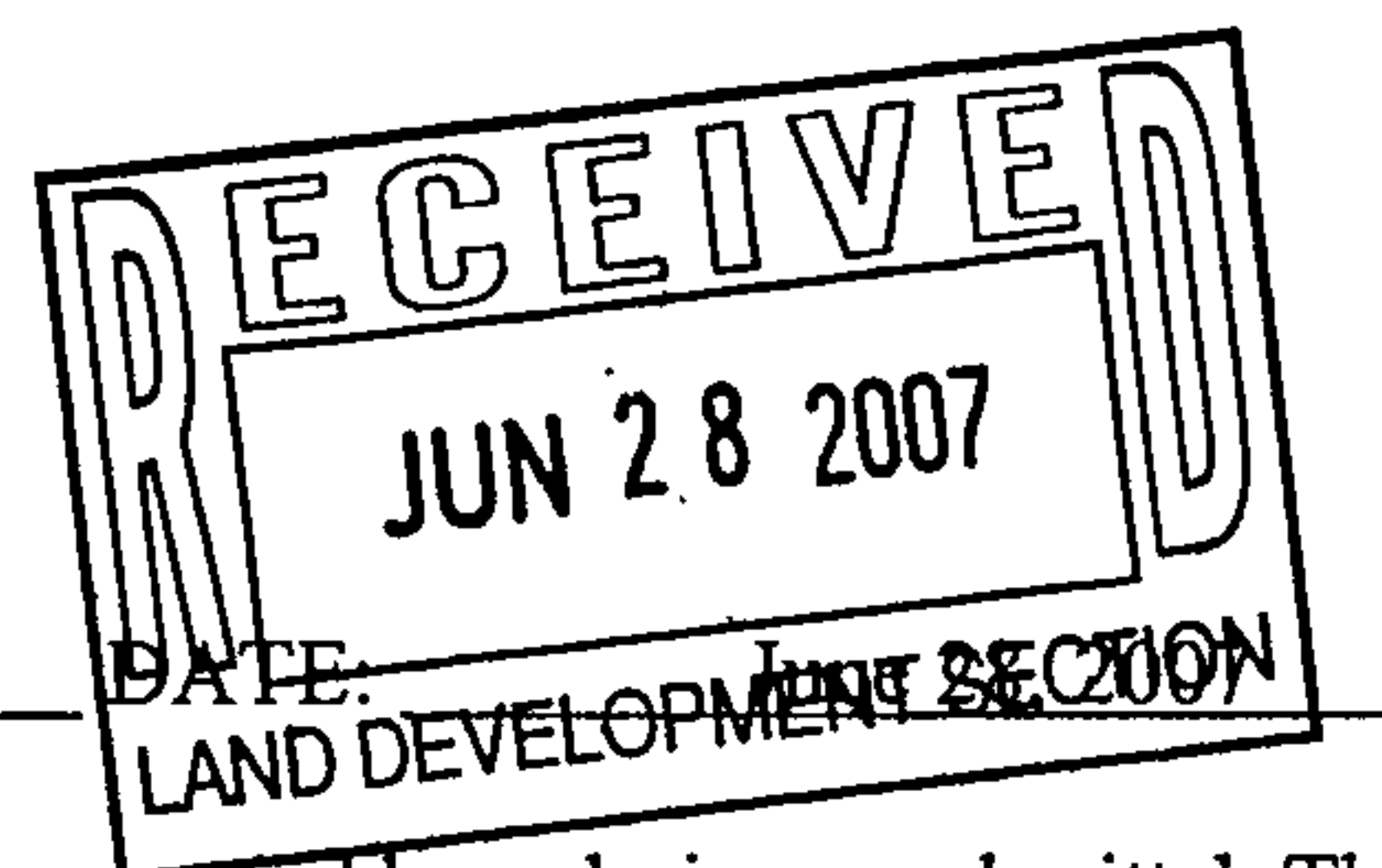
CONTRACTOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

TYPE OF SUBMITTAL:  
☐ DRAINAGE REPORT  
☒ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL  
☐ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL G & D PLAN  
☒ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERT (HYDROLOGY)  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT  
☐ ENGINEER/ARCHITECT CERT (TCL)  
☐ ENGINEER/ARCHITECT CERT (DRB S.P.)  
☐ ENGINEER/ARCHITECT CERT (AA)  
☐ OTHER (SPECIFY) \_\_\_\_\_

CHECK TYPE OF APPROVAL SOUGHT:  
☐ SIA/FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☐ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY (PERM)  
☐ CERTIFICATE OF OCCUPANCY (TEMP)  
☐ GRADING PERMIT APPROVAL  
☒ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☒ OTHER (SPECIFY) SO19

WAS A PRE-DESIGN CONFERENCE ATTENDED:  
☐ YES  
☐ NO  
☐ COPY PROVIDED

SUBMITTED BY: Bryan J. Bobrick  
for Isaacson & Arfman, P.A.



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

# CITY OF ALBUQUERQUE



**Planning Department  
Transportation Development Services Section**

August 30, 2006

Treveston Elliott  
**Workshop Architects**  
811 12<sup>th</sup> Street NW  
Albuquerque, NM 87102

Re: Traffic Circulation Layout (TCL) Submittal for Building Permit Approval for  
Offices and Warehouse for Mountain Town Homes [J-13/D-13Arr]  
(1130 Mountain Rd), Albuquerque, NM  
Engineer's/Architect's Stamp Dated 08-29-2006

Dear Mr. Elliott,

The TCL submittal dated August 23, 2006 is approved for building permit. The plan is stamped and signed as approved. Two copies of the plan that is stamped as approved will be required: one for each of the building permit plans and the original to be kept by you to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

P.O. Box 1293

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

If a temporary CO is needed then a copy of the original TCL that was stamped as approved by the City which includes a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance". This statement requires a NM registered architect or engineer stamp to be dated. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer needs stamp and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Wilfred A. Gallegos, PE  
Development and Building Services

cc: Hydrology file  
File



## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(Rev. 12/2005)

PROJECT TITLE: Mountain Road Town Homes 130 Mountain Rd ZONE MAP/DRG. FILE # 1-13-D-13A  
 DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

## LEGAL DESCRIPTION:

CITY ADDRESS: 130 MOUNTAIN RD. 87102

## ENGINEERING FIRM:

ADDRESS: \_\_\_\_\_

CITY, STATE: \_\_\_\_\_

## CONTACT:

PHONE: \_\_\_\_\_

ZIP CODE: \_\_\_\_\_

## OWNER:

ADDRESS: \_\_\_\_\_

CITY, STATE: \_\_\_\_\_

## CONTACT:

PHONE: \_\_\_\_\_

ZIP CODE: \_\_\_\_\_

ARCHITECT: WORKSHOP ARCHITECTSADDRESS: 311 12TH ST. NW.CITY, STATE: ALBUQUERQUE NEW MEXICOCONTACT: TREVISTON ELLIOTTPHONE: 247-0756ZIP CODE: 87102

## SURVEYOR:

ADDRESS: \_\_\_\_\_

CITY, STATE: \_\_\_\_\_

## CONTACT:

PHONE: \_\_\_\_\_

ZIP CODE: \_\_\_\_\_

## CONTRACTOR:

ADDRESS: \_\_\_\_\_

CITY, STATE: \_\_\_\_\_

## CONTACT:

PHONE: \_\_\_\_\_

ZIP CODE: \_\_\_\_\_

## TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL  
☐ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERT (HYDROLOGY)  
☐ CLOMR/LOMR  
☒ TRAFFIC CIRCULATION LAYOUT  
☐ ENGINEER'S/ARCHITECT'S CERT (TCL)  
☐ ENGINEER'S CERT (DRB SITE PLAN)  
☐ OTHER

RE SUBMITTAL

## CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☐ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY (PERM)  
☐ CERTIFICATE OF OCCUPANCY (TEMP)  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ OTHER (SPECIFY) \_\_\_\_\_

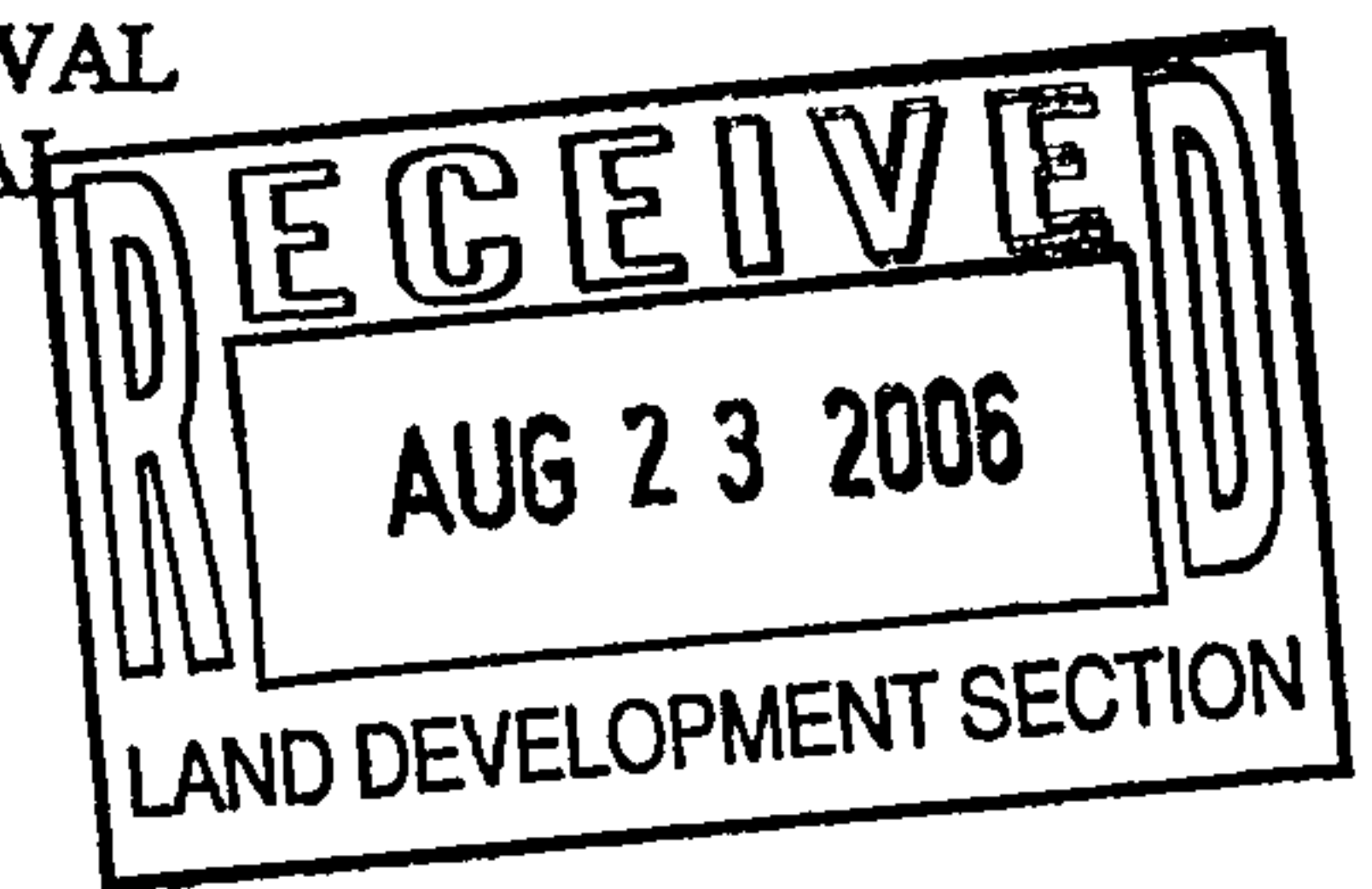
## WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES  
☐ NO  
☐ COPY PROVIDED

SUBMITTED BY: TEDATE: 8.18.06

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.





15

J13-017

**PERMANENT EASEMENT**

Grant of Permanent Easement, between ~~Sean Gilligan, Managing Member of SG Properties, LLC ("Grantor")~~, whose address is 811 Marquette NW, Albuquerque, New Mexico 87102, and the City of Albuquerque, a New Mexico municipal corporation ("City"), whose address is P.O. Box 1293, Albuquerque, New Mexico 87103.

Grantor grants to the City an exclusive, permanent easement ("Easement") in, over, upon and across the real property described on Exhibit "A" attached hereto ("Property") for the construction, installation, maintenance, repair, modification, replacement and operation of a Six (6') foot Public Sidewalk Easement, together with the right to remove trees, bushes, undergrowth and any other obstacles upon the Property if the City determines they interfere with the appropriate use of this Easement.

In the event Grantor constructs any improvements ("Improvements") within the Easement, the City has the right to enter upon Grantor's property at any time and perform whatever inspection, installation, maintenance, repair, modification or removal ("Work") it deems appropriate without liability to the City. If the Work effects any Improvements or encroachments made by the Grantor, the City will not be financially or otherwise responsible for rebuilding or repairing the Improvements or encroachments. If in the opinion of the City, the Work performed by the City could endanger the structural integrity or otherwise damage the Improvements or encroachments, the Grantor shall, at its own expense, take whatever protective measures are required to safeguard the Improvements or encroachments.

Grantor covenants and warrants the Grantor is the owner in fee simple of the Property, that Grantor has a good lawful right to convey the Property or any part thereof and that Grantor will forever warrant and defend the title to the Property against all claims from all persons or entities.

The grant and other provisions of this Easement constitute covenants running with the Property for the benefit of the City and its successors and assigns utilities until terminated.

This Easement shall not be effective until approved by the City Engineer as shown in the signature block below.

WITNESS my hand and seal this 21<sup>st</sup> day of JUNE, 2006.



2006093033  
6481482  
Page: 1 of 4  
08/28/2006 03:05P  
Bk-A119 Pg-3574

APPROVED:

City Engineer

Dated 6-23-06

*WJ 62306*

GRANTOR:

By: \_\_\_\_\_

(Individual)

Print Name: \_\_\_\_\_

Date: \_\_\_\_\_

GRANTOR:

By: *for Gilly* \_\_\_\_\_

(Corporation or Partnership)

Print Name: *ST. PROPERTIES LLC*

Title: *MANAGING MEMBER*

Date: *6.21.06*



Maru Herrera

Bern. Co. ERSE

R 15.00

2006030339

0401402

Page: 2 of 4

06/26/2006 03:05P

BK-R118 Pg-3574

INDIVIDUAL'S NOTARY

STATE OF \_\_\_\_\_ )  
COUNTY OF \_\_\_\_\_ ) ss

This instrument was acknowledged before me on \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, by \_\_\_\_\_.

(SEAL)

**My Commission Expires:**

**Notary Public**

CORPORATION'S NOTARY

STATE OF NEW MEXICO  
COUNTY OF BERNALILLO ) ss



This instrument was acknowledged before me on 21 day of JUNE, 2006, by SEAN GILLIGAN, MANAGING MEMBER of SG PROPERTIES, LLC, a NEW MEXICO corporation, on behalf of the corporation.

(SEAL)

**My Commission Expires:** 11/12/14

**Notary Public**

**PARTNERSHIP'S NOTARY**

STATE OF \_\_\_\_\_ )  
COUNTY OF \_\_\_\_\_ ) ss

This instrument was acknowledged before me on \_\_\_\_ day of \_\_\_\_\_,  
20\_\_\_\_, by \_\_\_\_\_, partner(s), on behalf of  
\_\_\_\_\_, a partnership.

(SEAL)

**My Commission Expires:**

**Notary Public**

**(EXHIBIT "A" ATTACHED)**



**Mary Herrera**

**Barn. Co. EASE**

**R 15.00**

2006092839

8481482  
Page: 2

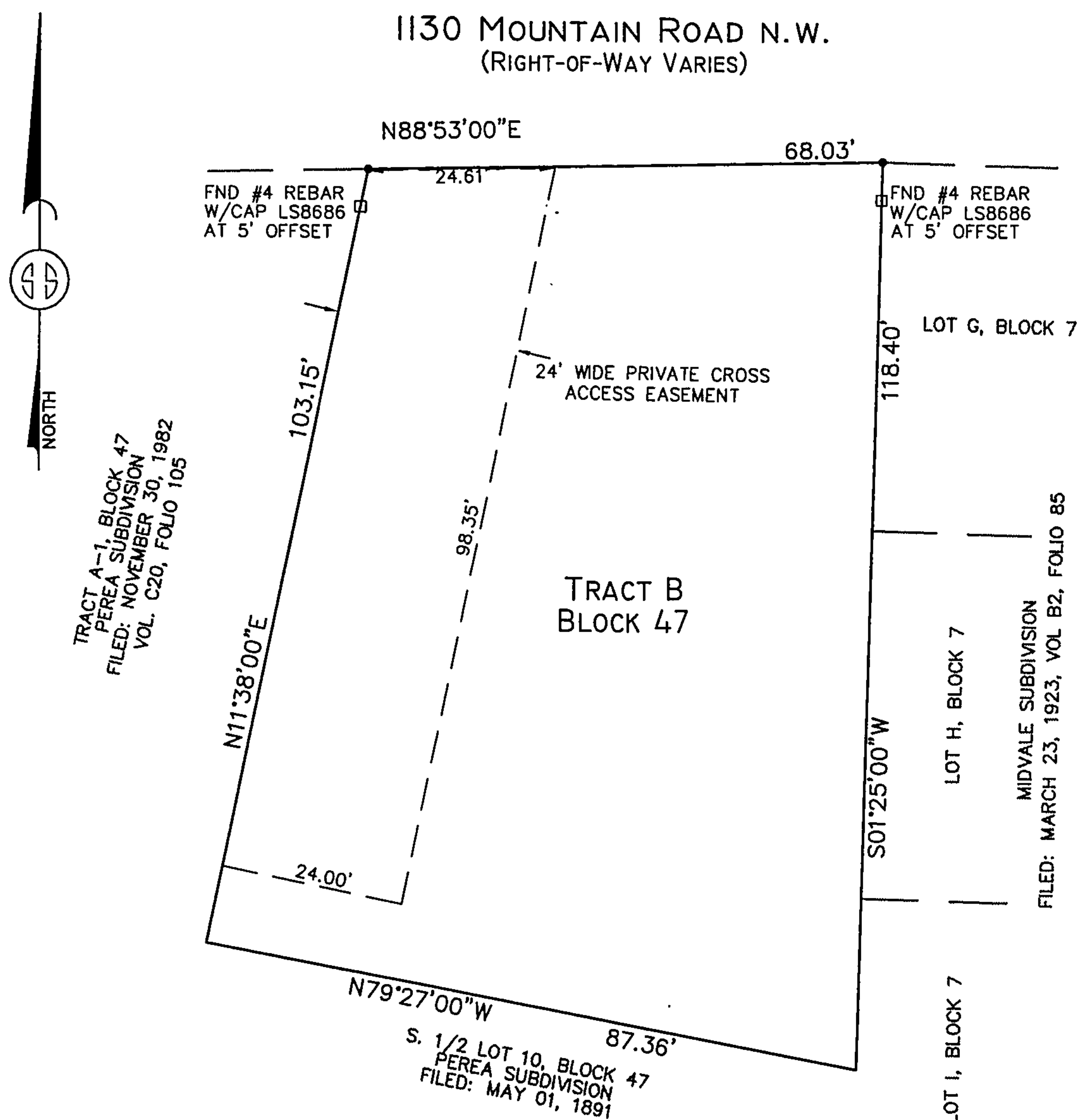
06/26/2003 03

8k-A119 Pg-3574

1. *Journal of the American Medical Association*, 1997; 278: 1039-1044.

1" = 30'  
PROJECT NO. 0504RS22  
DRAWN BY EH  
ZONE ATLAS: J-13-Z

"EXHIBIT"



GRANT OF PRIVATE CROSS-LOT ACCESS EASEMENT

The undersigned owner does hereby grant a Twenty-four foot (24') wide private cross access easement situate within Tract B, Block 47 of the Summary plat showing Tracts A-1 and B of the PEREA ADDITION, as the same is shown and designated on the plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico on November 30-, 1982 in Volume C20, folio 105 for the benefit and use by and for the owners of Tracts A-1 and B of said PEREA ADDITION and to be maintained by said owners; Said easement more particularly described in Exhibit A.

Owners(s) Sean Gilligan

ACKNOWLEDGEMENT  
STATE OF NEW MEXICO )

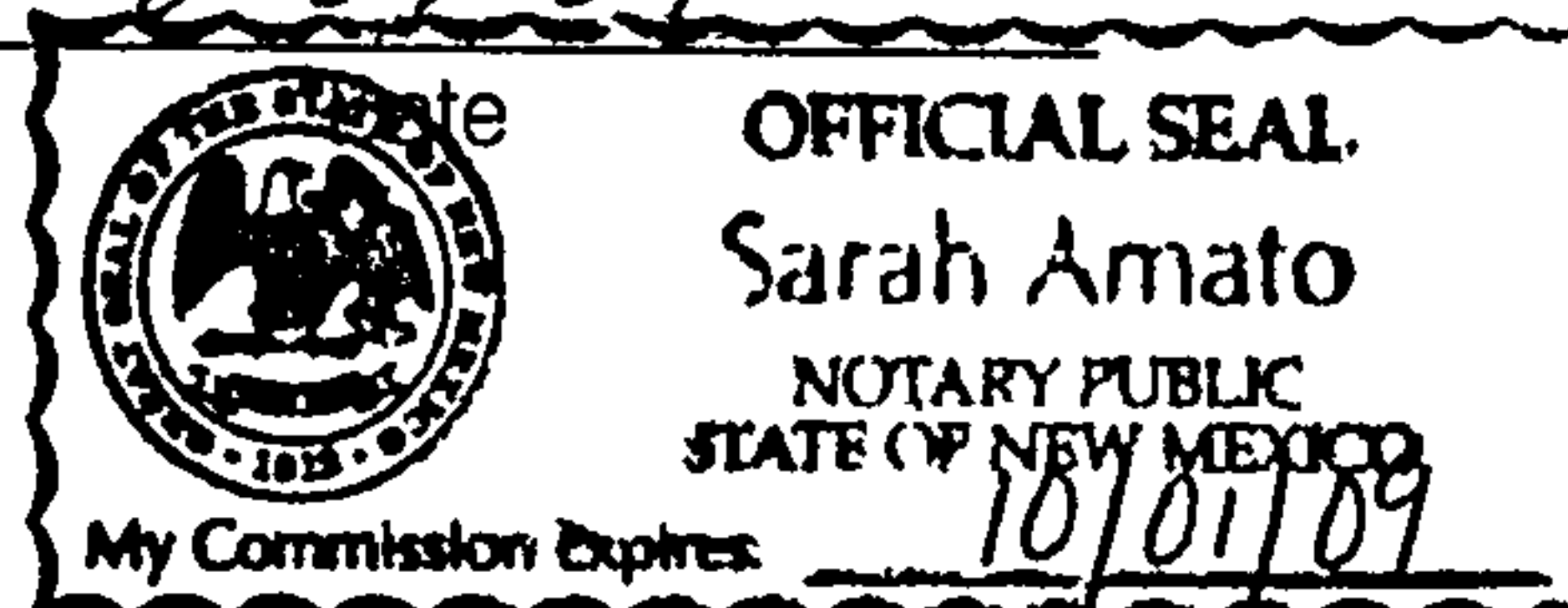
) .SS

COUNTY OF BERNALILLO )

This instrument was acknowledged before me this 23<sup>RD</sup> day of AUGUST 2006, by: SEAN GILLIGAN

My Commission Expires:

10/01/09



Sarah Amato  
Notary Public

**SURVEYS SOUTHWEST, LTD.**

333 LOMAS BLVD., N.E.  
ALBUQUERQUE, NEW MEXICO  
87102

PHONE: (505) 998-0303  
FAX: (505) 998-0306

**T10N R3E SEC. 18**



"EXHIBIT"

Page 1 of 1



Haru Herrera

Bern. Co. ERSE

R 15.00

20060930339

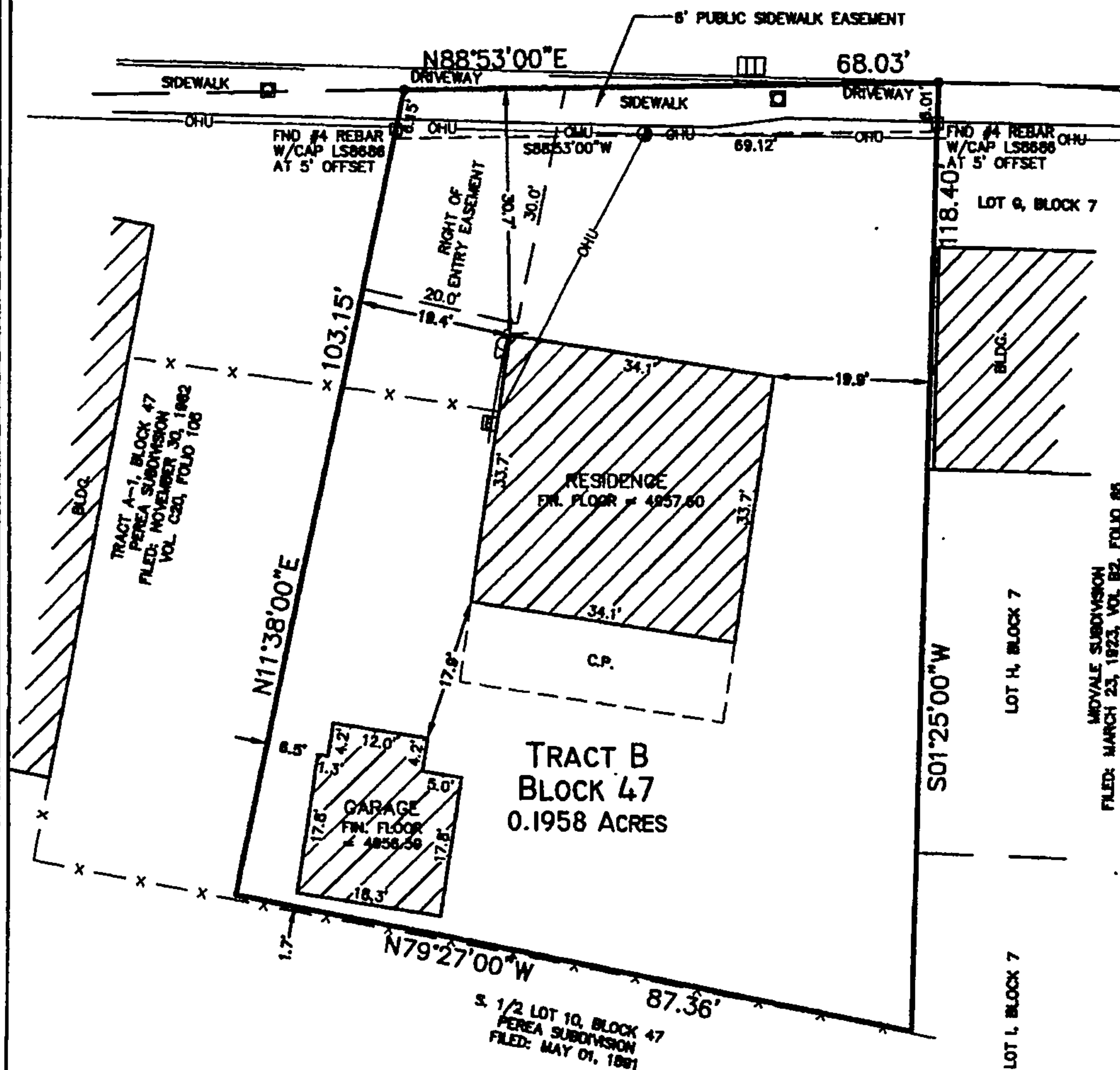
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Page: 4 of 4

06/26/2006 03:05P

EX-R118 Pg-3574

1130 MOUNTAIN ROAD N.W.  
(RIGHT-OF-WAY VARIES)



**SURVEYS SOUTHWEST, LTD.**

333 LOMAS BLVD., N.E.  
ALBUQUERQUE, NEW MEXICO  
87102

PHONE: (505) 998-0303  
FAX: (505) 998-0306

**Perea Subdivision**

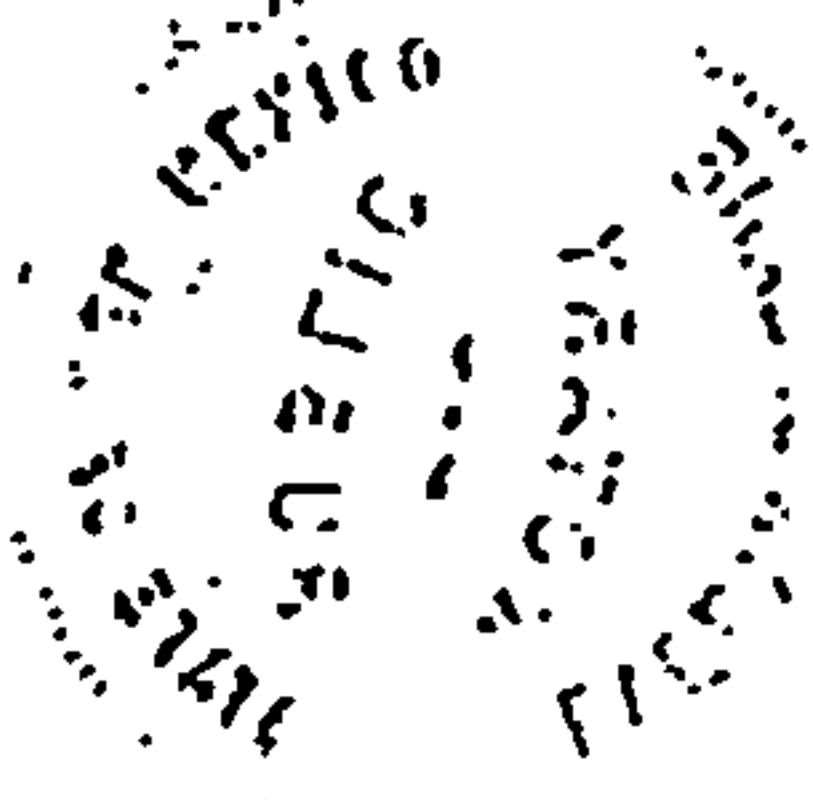
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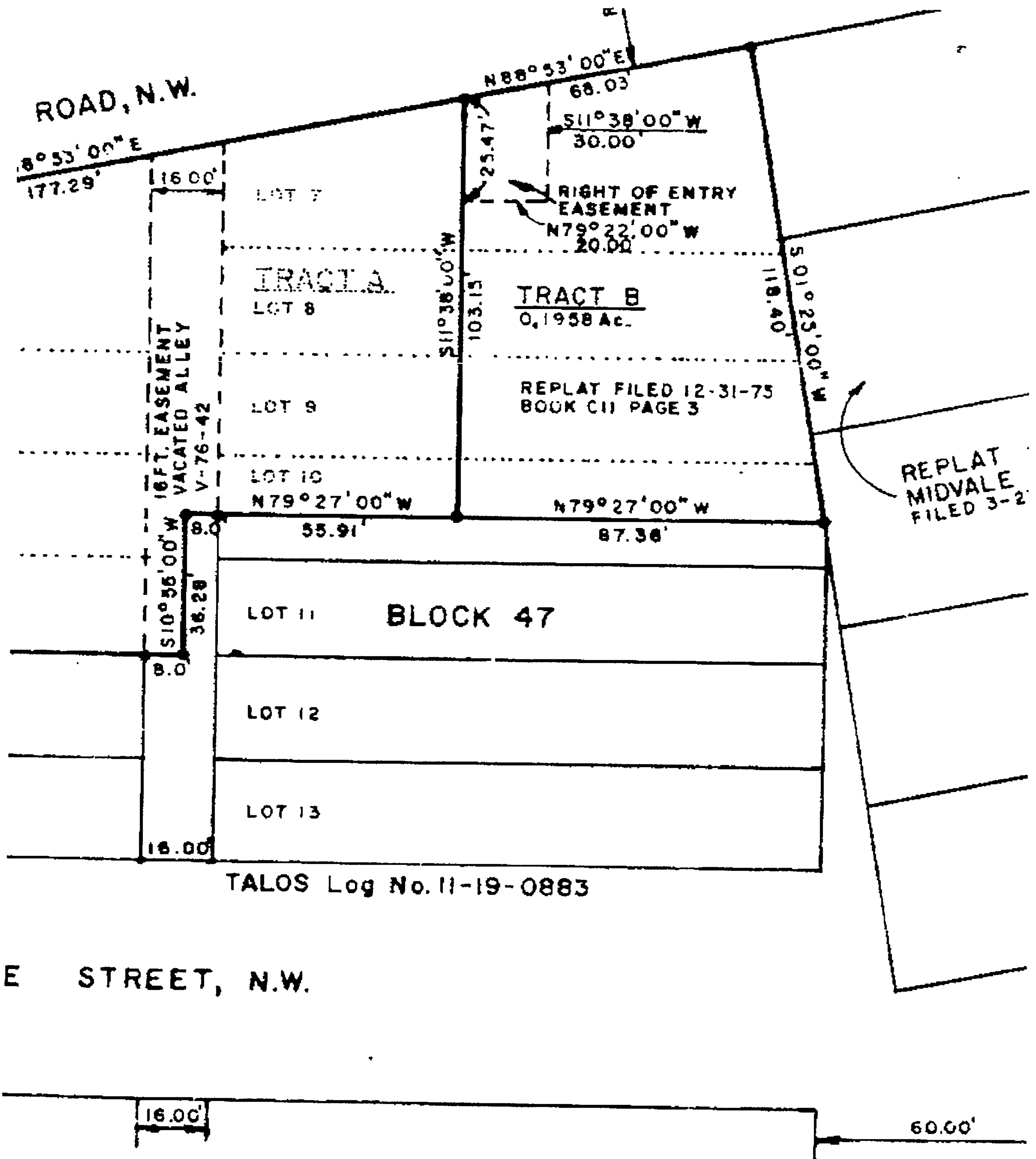
STATE OF NEW MEXICO  
COUNTY OF BERNALILLO  
FILED FOR RECORD

Oct 31 2 45 PM '80

SK *Messinger* PO 732-733

TENNY C. CULP  
CLERK & RECORDER  
DEPUTY





TALOS Log No. 11-19-0883

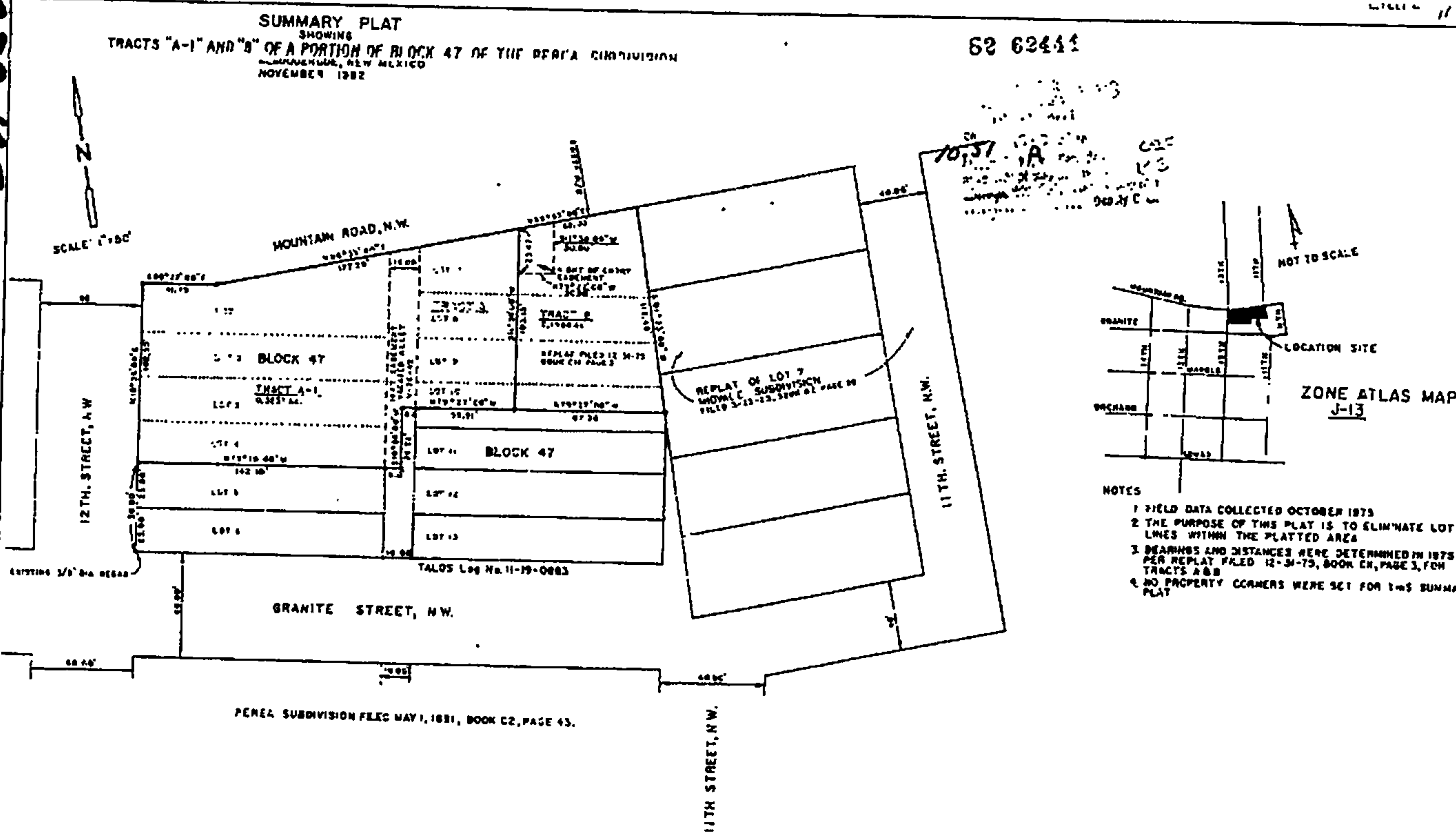
VISION FILED MAY 1, 1891, BOOK C2, PAGE 43.

EET, N.W.



220.105

220.105



**FREE CONSENT**  
THE FOREGOING REPLAY OF THAT CERTAIN TRACT OF LAND SITUATED IN THE CITY OF ALBUQUERQUE, NEW MEXICO, COMPRISING ALL OF LOTS 1, 2, 3, AND 4, AND PORTIONS OF LOTS 7, 8, 9, AND 10, ALL OF BLOCK 47 OF THE PEREA SUBDIVISION FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON MAY 1, 1991, TOGETHER WITH TRACTS A AND B AS SHOWN ON THE REPLAY OF SAID SUBDIVISION AS FILED IN SAID OFFICE ON DECEMBER 31, 1975, NOW REPLAYED AND DESIGNATED TRACT A-1 AND TRACT B AS THE SAME APPEARS HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS AND PROPRIETORS THEREOF:

NANCY PUGNETTI (TRUSTEE) \_\_\_\_\_ JOHN PUGNETTI (TRUSTEE) \_\_\_\_\_  
STATE OF NEW MEXICO) \_\_\_\_\_  
COUNTY OF BERNALILLO) SS:  
THE FOREGOING INSTRUMENT WAS ACKNOWLEDGE BEFORE ME THIS \_\_\_\_\_ DAY  
OF \_\_\_\_\_, 1982, BY NANCY PUGNETTI (TRUSTEE) AND JOHN PUGNETTI (TRUSTEE).  
IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND AND SEAL ON THE DAY AND DATE  
LAST ABOVE WRITTEN.  
MY COMMISSION EXPIRES \_\_\_\_\_ NOTARY PUBLIC \_\_\_\_\_

**SURVEY**  
I, GEORGE F. COEN, NEW MEXICO REGISTERED PROFESSIONAL ENGINEER AND LAND SURVEYOR, UNDER THE LAWS OF NEW MEXICO, CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR AND THAT THIS PLAT WAS PREPARED BY ME OR UNDER MY SUPERVISION, SHOWS ALL EASEMENTS OF RECORD, MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE AND IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

*George F. Coen* 22 Nov '82  
GEORGE F. COEN  
N.M.P.E. AND L.S. NO. 3092

APPROVAL AND CONDITIONAL ACCEPTANCE  
as specified by the Albuquerque Subdivision Ordinance

*V. Hagan by Ky Ky*  
PLANNING DIRECTOR  
CITY OF ALBUQUERQUE, NEW MEXICO

*W. J. Moulton* 11/20/82  
CITY MANAGER, CITY OF ALBUQUERQUE, NEW MEXICO

11/30/82 37 B2-301  
DATE

*L. Elwell* 11/20/82  
PROPERTY MANAGER, CITY OF ALBUQUERQUE, NEW MEXICO

*Robert J. Smith* 11-30-82  
TRAFFIC ENGINEER, CITY OF ALBUQUERQUE, NEW MEXICO

*M. J. Viala* 11-30-82  
PARKS AND RECREATION DEPARTMENT, CITY OF ALBUQUERQUE, NEW MEXICO

*W. J. Moulton* 11-30-82  
CITY ENGINEER, ALBUQUERQUE, CITY OF ALBUQUERQUE, N.M.

*W. J. Moulton* 11/24/82  
CITY SURVEYOR, CITY OF ALBUQUERQUE, N.M.

220.105

220.105



# CITY OF ALBUQUERQUE



July 13, 2006

Treveston Elliott, R.A.  
**Workshop Architects**  
811 12<sup>th</sup> Street NW  
Albuquerque, NM 87102

**Re: 1130 Mountain Rd NW, Mountain Road Town Homes, Traffic  
Circulation Layout, Architect's Stamp dated 05-11-06 (J13-D13Ar)**

Dear Mr. Elliott,

Based upon the information provided in your submittal received 07-10-06, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Provide Solid waste approval.
2. Explain why the drive aisle is 30' at the entrance and narrows to 22' 4.5".
3. Include a copy of the Right of Entry Easement.
4. The scale on the plan will need to be set to an engineer's scale.

If you have any questions, you can contact me at 924-3991.

Sincerely,

Wilfred Gallegos, P.E.  
Traffic Engineer, Planning Dept.  
Development and Building Services  
C: file

P.O. Box 1293

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

Mountain Road Town Homes (Rev. 12/2005)

PROJECT TITLE: 1130 Mountain Road ZONE MAP/DRG. FILE # 2-13/013A5  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_LEGAL DESCRIPTION: BLK. #47 TRACT 'B' PINEA SUBDIVISION  
CITY ADDRESS: 1130 Mountain Road NWENGINEERING FIRM: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_OWNER: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_ARCHITECT: WORKSHOP ARCHITECTS  
ADDRESS: 311 12TH ST. NW.  
CITY, STATE: ALBUQUERQUE NEW MEXICOCONTACT: TREVISTON ELLIOTT  
PHONE: 247-0756  
ZIP CODE: 87102SURVEYOR: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_CONTRACTOR: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

## TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL  
☐ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERT (HYDROLOGY)  
☐ CLOMR/LOMR  
☒ TRAFFIC CIRCULATION LAYOUT  
☐ ENGINEER'S/ARCHITECT'S CERT (TCL)  
☐ ENGINEER'S CERT (DRB SITE PLAN)  
☐ OTHER

## CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☒ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY (PERM)  
☐ CERTIFICATE OF OCCUPANCY (TEMP)  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ OTHER (SPECIFY)

## WAS A PRE-DESIGN CONFERENCE ATTENDED:

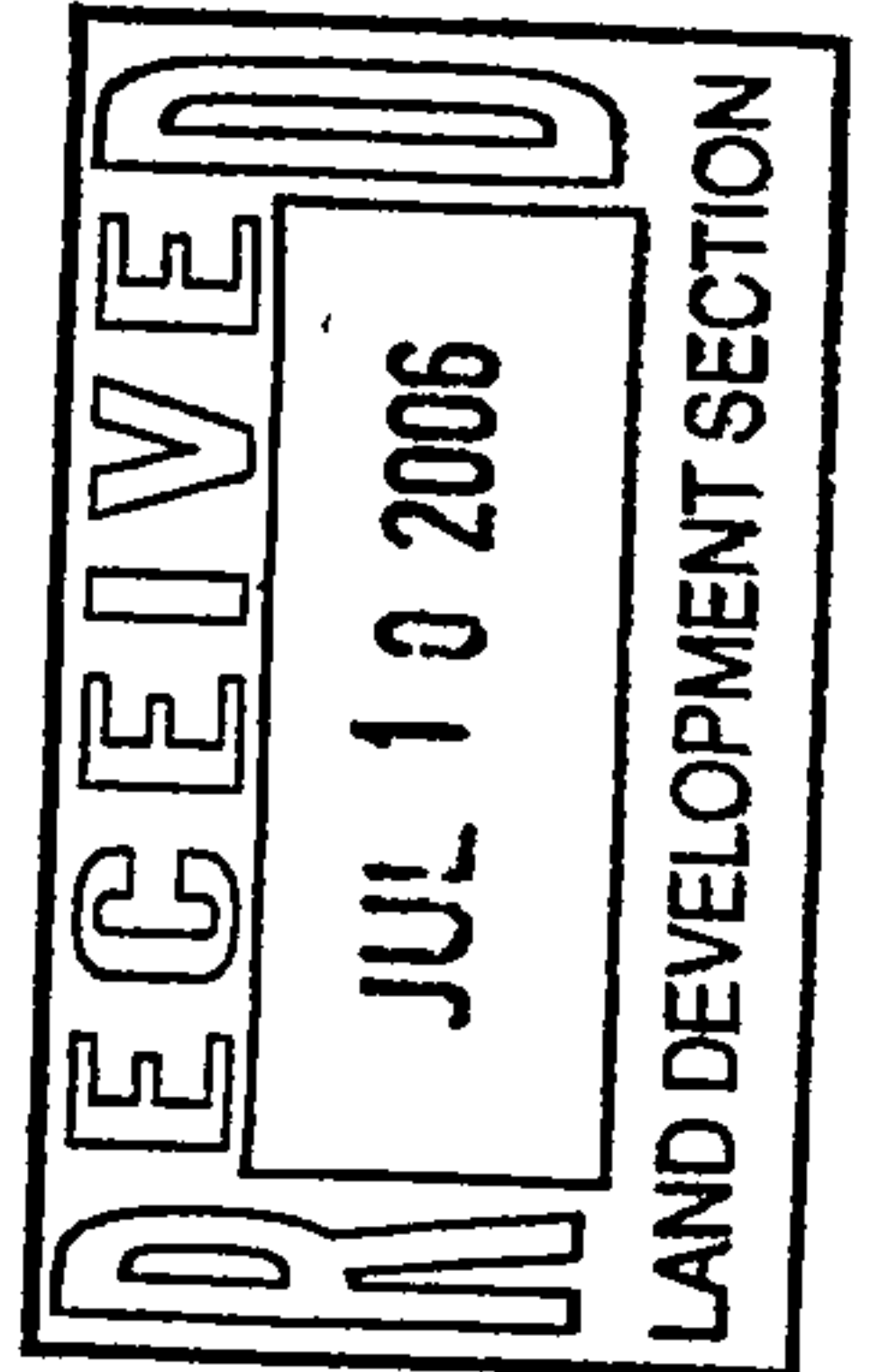
- ☐ YES  
☐ NO  
☐ COPY PROVIDED

RE SUBMITTAL

SUBMITTED BY: TZ DATE: 7/10/06

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



1. 2/1/11  
CROSS SECTION 1 (C/S 1)  
- AC. STAFF # 11. NEEDS TO BE...  
8.5' W/ 8' ACCESS ROAD. SHOWN...  
accessible.

- Solid waste approval  
- Check  
for  
for 2011

- 30' to 24.5" EXPLAIN

- COPY of EASEMENT

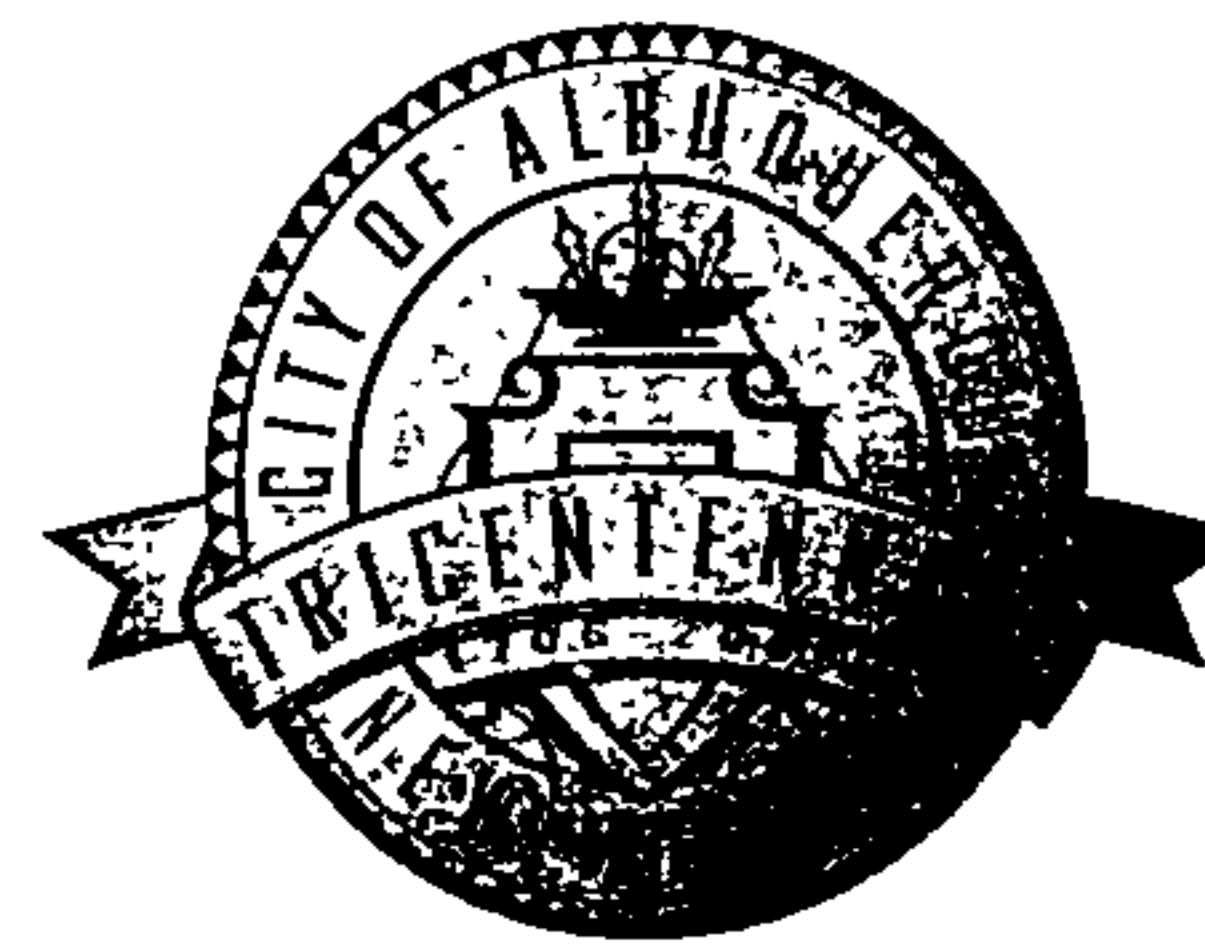
ENG SCALE



2/1/11

1011

# CITY OF ALBUQUERQUE



June 5, 2006

Treveston Elliott, R.A.  
**Workshop Architects**  
811 12<sup>th</sup> Street NW  
Albuquerque, NM 87102

**Re: 1130 Mountain Rd NW, Traffic Circulation Layout**  
**Architect's Stamp dated 05-11-06 (J13-D13)** <sup>D13A</sup>

Dear Mr. Elliott,

Based upon the information provided in your submittal received 02-17-06, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Provide verification that the lot lines were removed, if not a re-plat to remove lot lines is required before TCL can be approved.
2. See attached plan for additional comments for future submittals.

If you have any questions, you can contact me at 924-3630.

Sincerely,

Nilo Salgado-Fernandez, P.E.  
Senior Traffic Engineer, Planning Dept.  
Development and Building Services  
C: file

P.O. Box 1293

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)



## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(Rev. 12/2005)

PROJECT TITLE: Mountain Road Townhomes ZONE MAP/DRG. FILE # J-13/D13  
 DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: BLK. #17 TRACT 'B' PEREA SUBDIVISION  
 CITY ADDRESS: 1130 MOUNTAIN ROAD NW

ENGINEERING FIRM: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
 PHONE: \_\_\_\_\_  
 ZIP CODE: \_\_\_\_\_

OWNER: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
 PHONE: \_\_\_\_\_  
 ZIP CODE: \_\_\_\_\_

ARCHITECT: WORKSHOP ARCHITECTS  
 ADDRESS: 811 12TH ST. NW  
 CITY, STATE: ALB. NM.

CONTACT: TREVESTON ELLIOTT  
 PHONE: 246.9608  
 ZIP CODE: 87102

SURVEYOR: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
 PHONE: \_\_\_\_\_  
 ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
 PHONE: \_\_\_\_\_  
 ZIP CODE: \_\_\_\_\_

## TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL  
☐ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERT (HYDROLOGY)  
☐ CLOMR/LOMR  
☒ TRAFFIC CIRCULATION LAYOUT  
☐ ENGINEER'S/ARCHITECT'S CERT (TCL)  
☐ ENGINEER'S CERT (DRB SITE PLAN)  
☐ OTHER

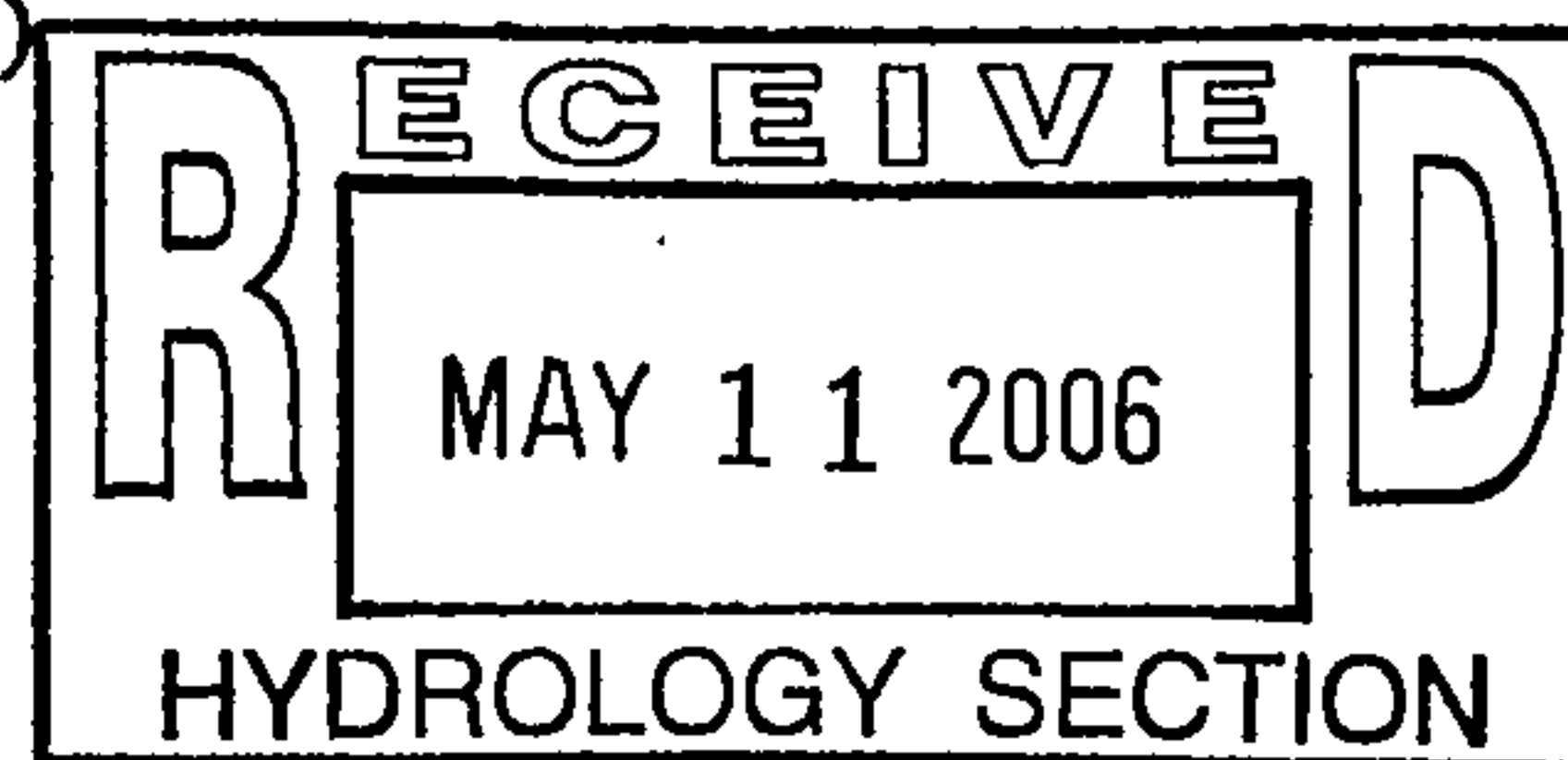
## CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☒ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY (PERM)  
☐ CERTIFICATE OF OCCUPANCY (TEMP)  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES  
☐ NO  
☐ COPY PROVIDED

SUBMITTED BY: [Signature] DATE: 5.11.06



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

81-1

- Verify or need  
verification that  
lot lines were removed  
IF not, Replot to  
remove lot lines  
Can't approval  
TCL until this has  
been accomplished  
NSR 5/16/06 <sup>See</sup> ~~exempt?~~

amend, cell

1/14/06

must cell

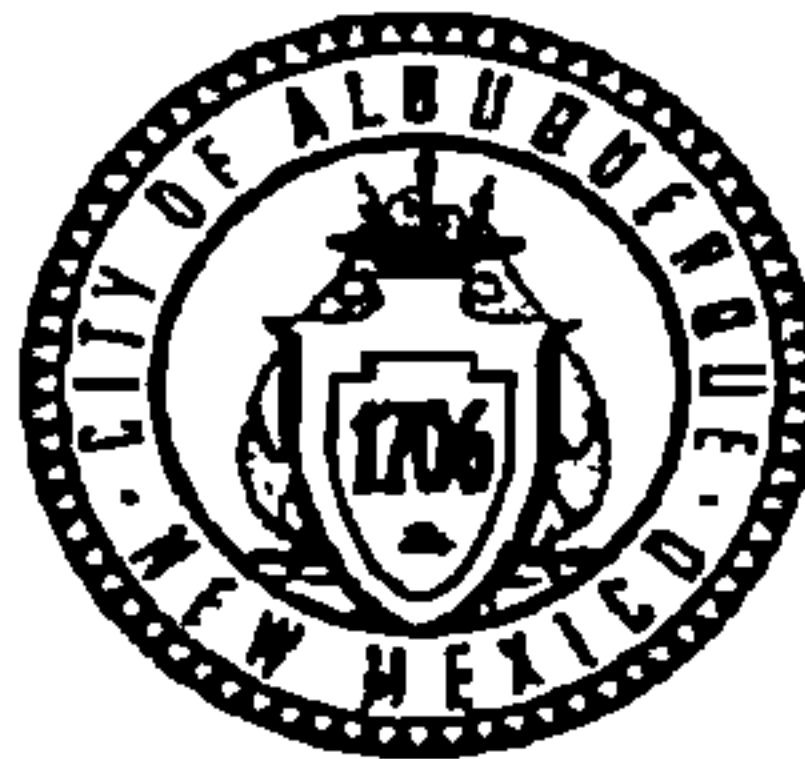
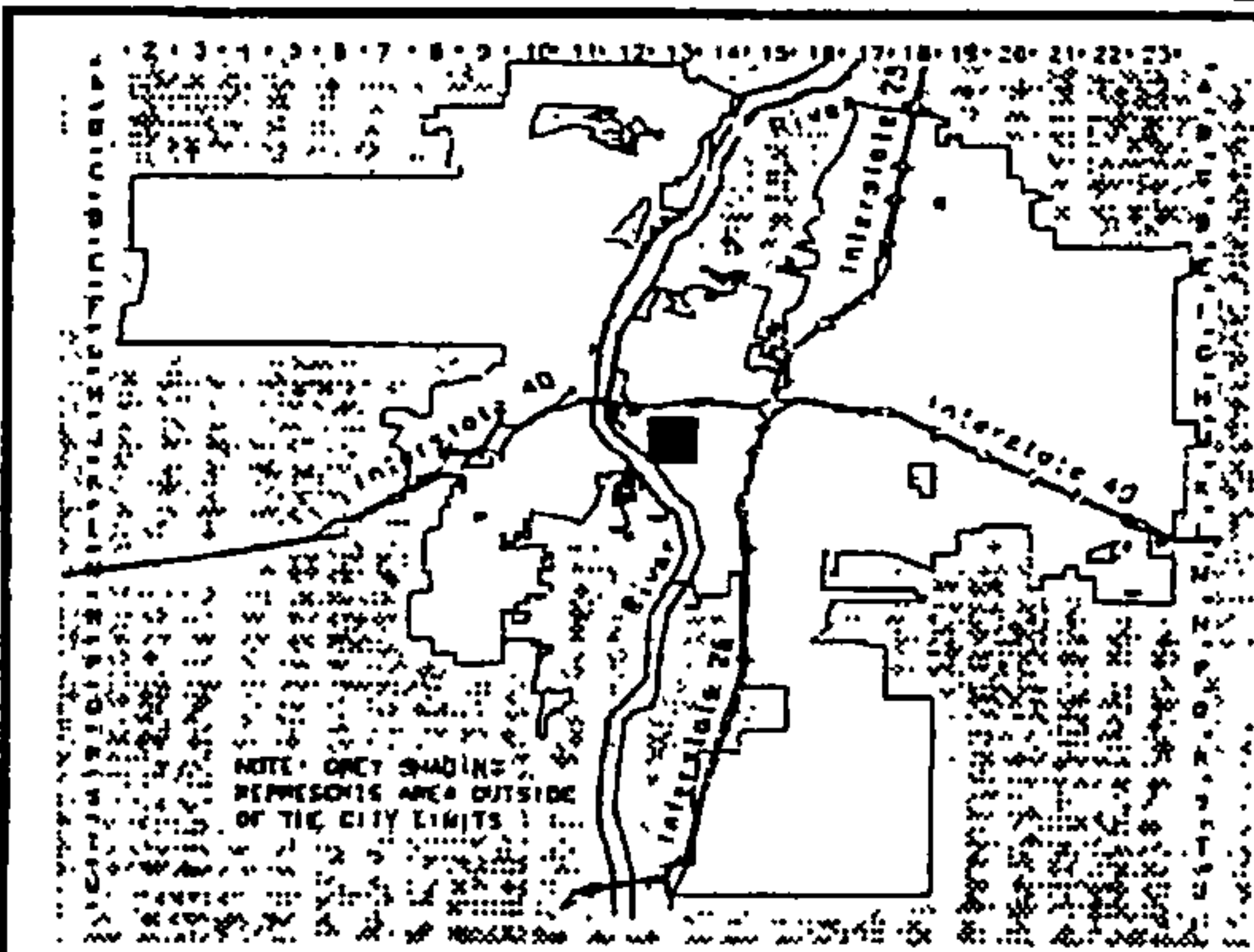
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1/14/06

20,11.2



J-13/D13A



GRAPHIC SCALE IN FEET



Zone Atlas Page

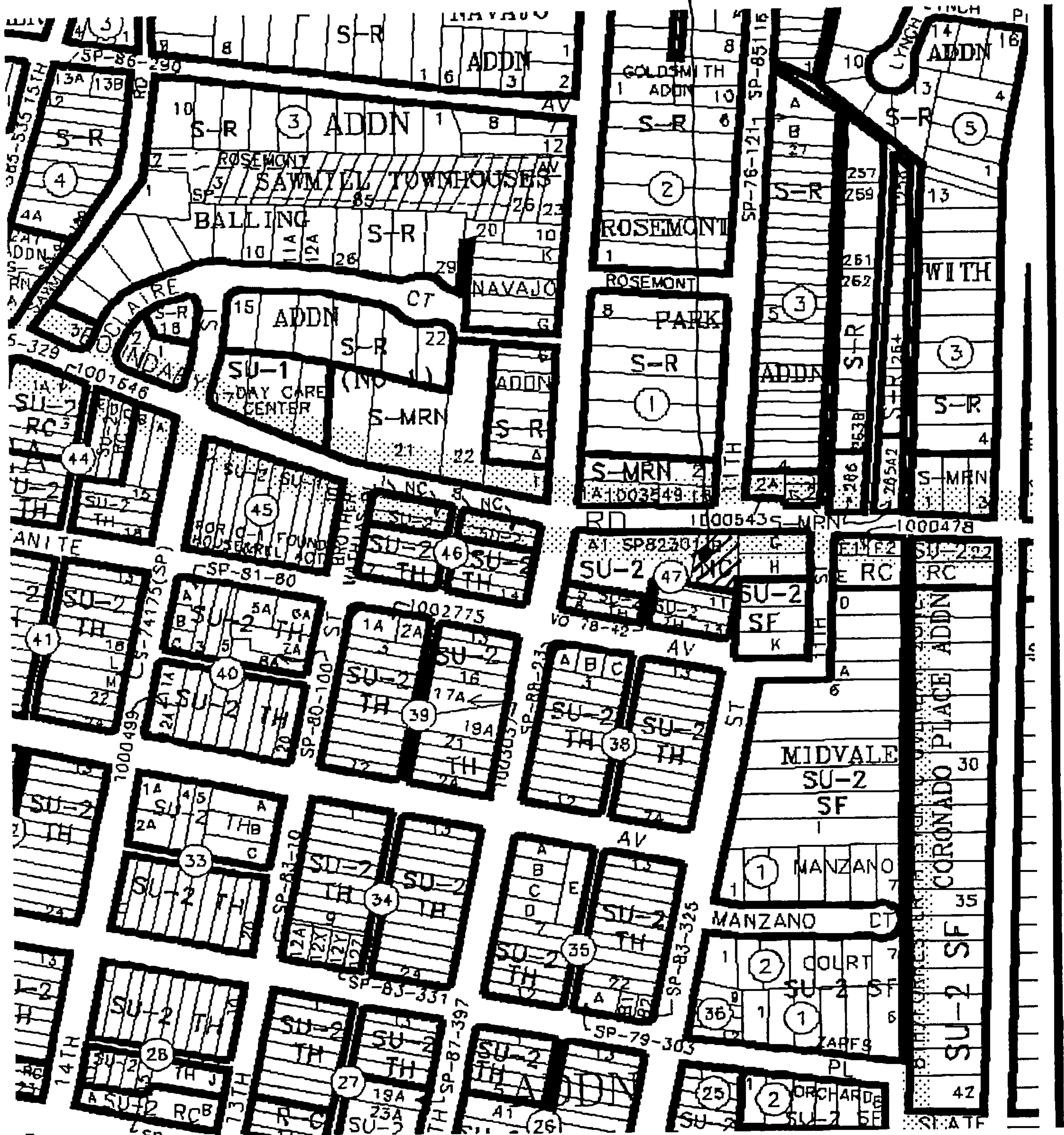
J-13-Z

Map Amended through December 03, 2004

Albuquerque Geographic Information System  
PLANNING DEPARTMENT  
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1130 MOUNTAIN RD.



ZONE MAP 1-132