

DRAINAGE INFORMATION SHEET

PROJECT TITLE: LITTLE AVITAS ZONE ATLAS/DRNG. FILE #: J13/D14

LEGAL DESCRIPTION: 238 C 2A MRGCD MAP # 38

CITY ADDRESS: CORNER of RIO GRANDE & Mountain Road.

ENGINEERING FIRM: \_\_\_\_\_ CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

OWNER: Larry Gutierrez CONTACT: 888-0104 881-1666

ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

ARCHITECT: CUSTER-BASARICH CONTACT: PHIL CUSTER

ADDRESS: SUITE 302 PHONE: 765-1020  
500 Marquette  
Albany.

SURVEYOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_

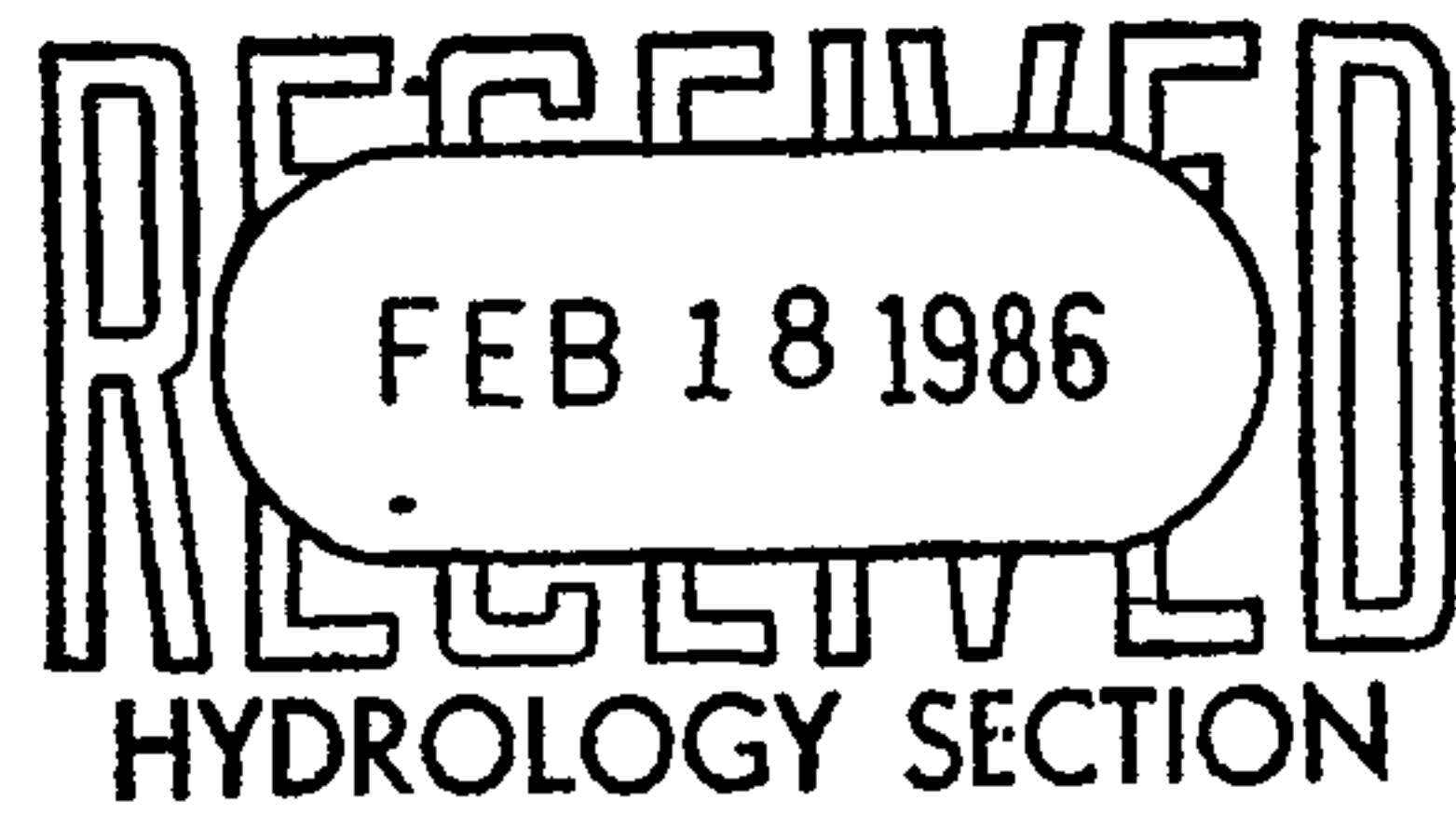
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

PRE-DESIGN MEETING:

YES

NO

COPY OF CONFERENCE RECAP SHEET PROVIDED



DRB NO. \_\_\_\_\_

EPC NO. \_\_\_\_\_

PROJ. NO. \_\_\_\_\_

TYPE OF SUBMITTAL:

DRAINAGE REPORT

DRAINAGE PLAN (EXISTING)

CONCEPTUAL GRADING & DRAINAGE PLAN

GRADING PLAN

EROSION CONTROL PLAN

ENGINEER'S CERTIFICATION

SITE PLAN FOR ADDITION

CHECK TYPE OF APPROVAL SOUGHT:

SKETCH PLAT APPROVAL

PRELIMINARY PLAT APPROVAL

SITE DEVELOPMENT PLAN APPROVAL

FINAL PLAT APPROVAL

BUILDING PERMIT APPROVAL

FOUNDATION PERMIT APPROVAL

CERTIFICATE OF OCCUPANCY APPROVAL

ROUGH GRADING PERMIT APPROVAL

GRADING/PAVING PERMIT APPROVAL

OTHER \_\_\_\_\_ (SPECIFY)

DATE SUBMITTED: \_\_\_\_\_

BY: \_\_\_\_\_

APPLICANT TO COMPLETE SPACES BELOW:  
 PROJECT ADDRESS: 618 Rio Grande NW  
 OWNER: LARRY WUTIERRAZ PHONE: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ ZIP: \_\_\_\_\_

ARCHITECT, ENGINEER OR DESIGNER: BILL BUCKLEY PHONE: 255-9190  
 ADDRESS: 740 SAN MATEO N.E.  
ALBQ. ZIP: \_\_\_\_\_

CONTRACTOR: PERFECTO GARCIA CONST PHONE: 877-7561  
 ADDRESS: 2024 WALNUT S.W.  
ALBQ. ZIP: 87105

DESCRIPTION OF WORK: KITCHEN ADDITION & REMODEL INTERIOR

VALUATION OF WORK: ~~977~~ 27510.00

SIZE OF BUILDING (TOTAL SQ. FT.): 917

CLASS OF WORK:

- PUBLIC (BUILT W/PUBLIC FUNDS)
- COMMERCIAL
- MULTI-RESIDENTIAL

HEIGHT IN STORIES 1

APT. BUILDINGS: No. of Bldgs \_\_\_\_\_ No. of Units \_\_\_\_\_  
 HOTELS/MOTELS: No. of Bldgs \_\_\_\_\_ No. of Units \_\_\_\_\_

OWNERSHIP

- PUBLIC
- PRIVATE

MODULAR (PREFAB)  
 YES  
 NO

HEATING FUEL

- GAS
- OIL
- ELECT.
- COAL

SUBDIVISION: WESTERN PORTION OF TRACT 23 BLOCK: \_\_\_\_\_  
 LOT: \_\_\_\_\_

PROPERTY NEW CODE: \_\_\_\_\_

RECEIVED  
 MAR 22 1983  
 ENGINEERING

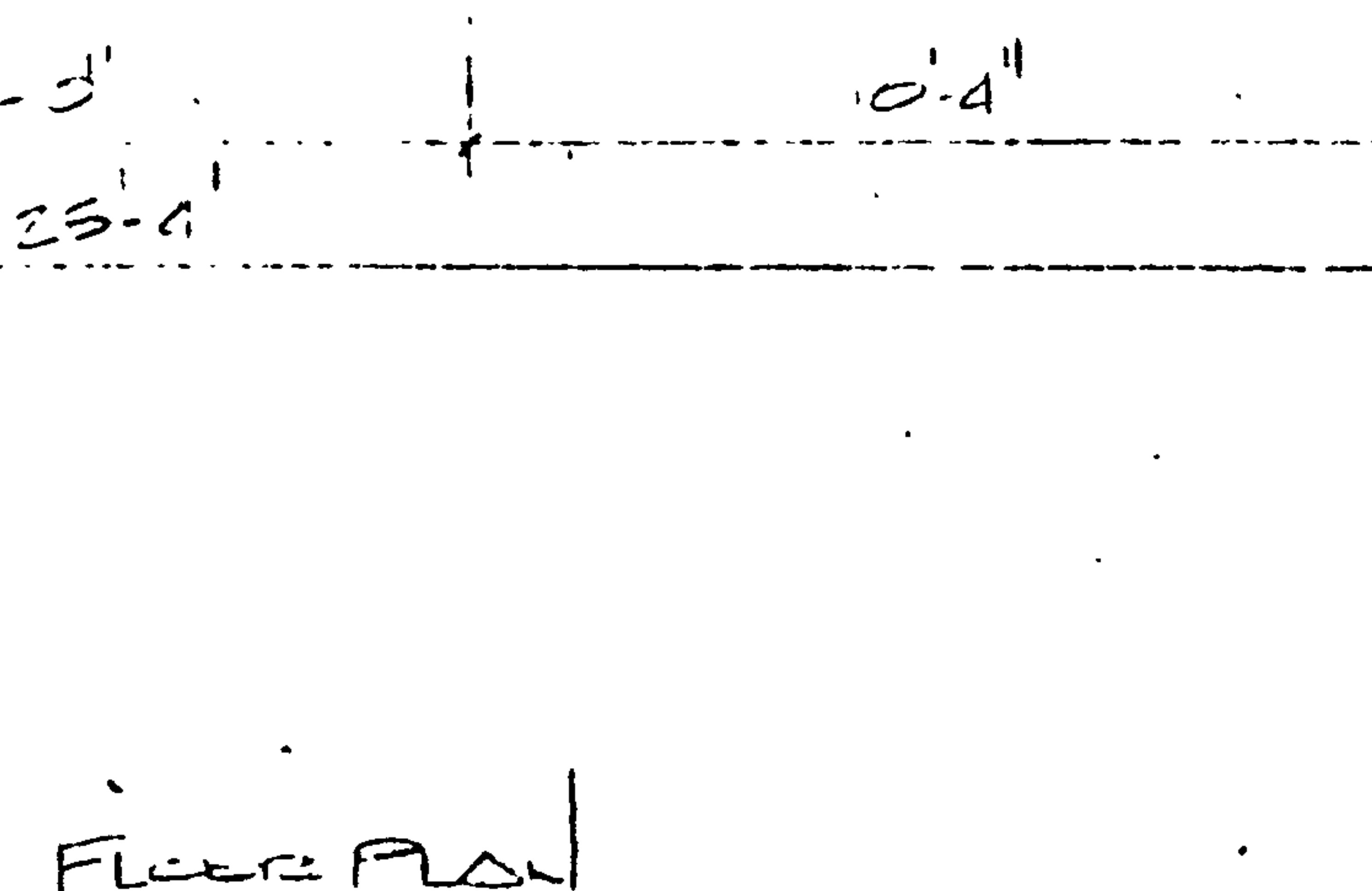
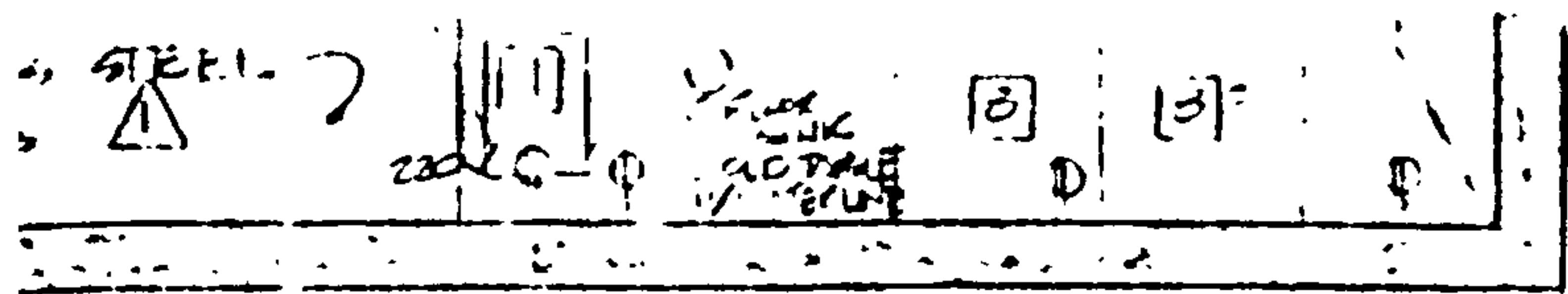
# GENERAL NOTES

1. Plans and specifications must be kept at building or work site at all times during which the work authorized thereby is in progress.
2. City approved street and alley top of curb elevations shall be used when establishing lot grades at front and rear property lines. Should these approved elevations not be used, the City assumes no responsibility for loss of access to property or damage to property line walls upon construction of street and alley curb-gutter-paving.
3. Separate permits are required for plumbing, gas and electrical work.
4. The issuance of this building permit does not constitute a guarantee of water and sanitary sewer service. Such availability is determined by the Engineering Division, Water Resources Department, 9th floor Western Bank Building, 505 Marquette NW, 766-7354. Construction hydrant shall be placed at least 10 ft. away from watermeter.
5. Gates in walls or fences on private or public property shall not swing over sidewalk, street, alley or public right of way.
6. Separate sign, wall and fence permits are required.
7. For foundation only permits additional plans must be submitted for approval before plumbing or electrical work is started in building slab. Include Uniform Building Code construction type on submittal.

ZONING:

- Pave and appropriately mark parking spaces per City standards (Refuse bins may not be placed in required spaces). Alley must be paved per City standards before final inspection. Area and parking area lighting must be fixed per City standard, off-site luminance shall not be greater than 1000 footlamberts; it shall not be greater than 200 footlamberts measured from the site.
- Construction on this site shall be in compliance with the solar regulations of the City Zoning Code.

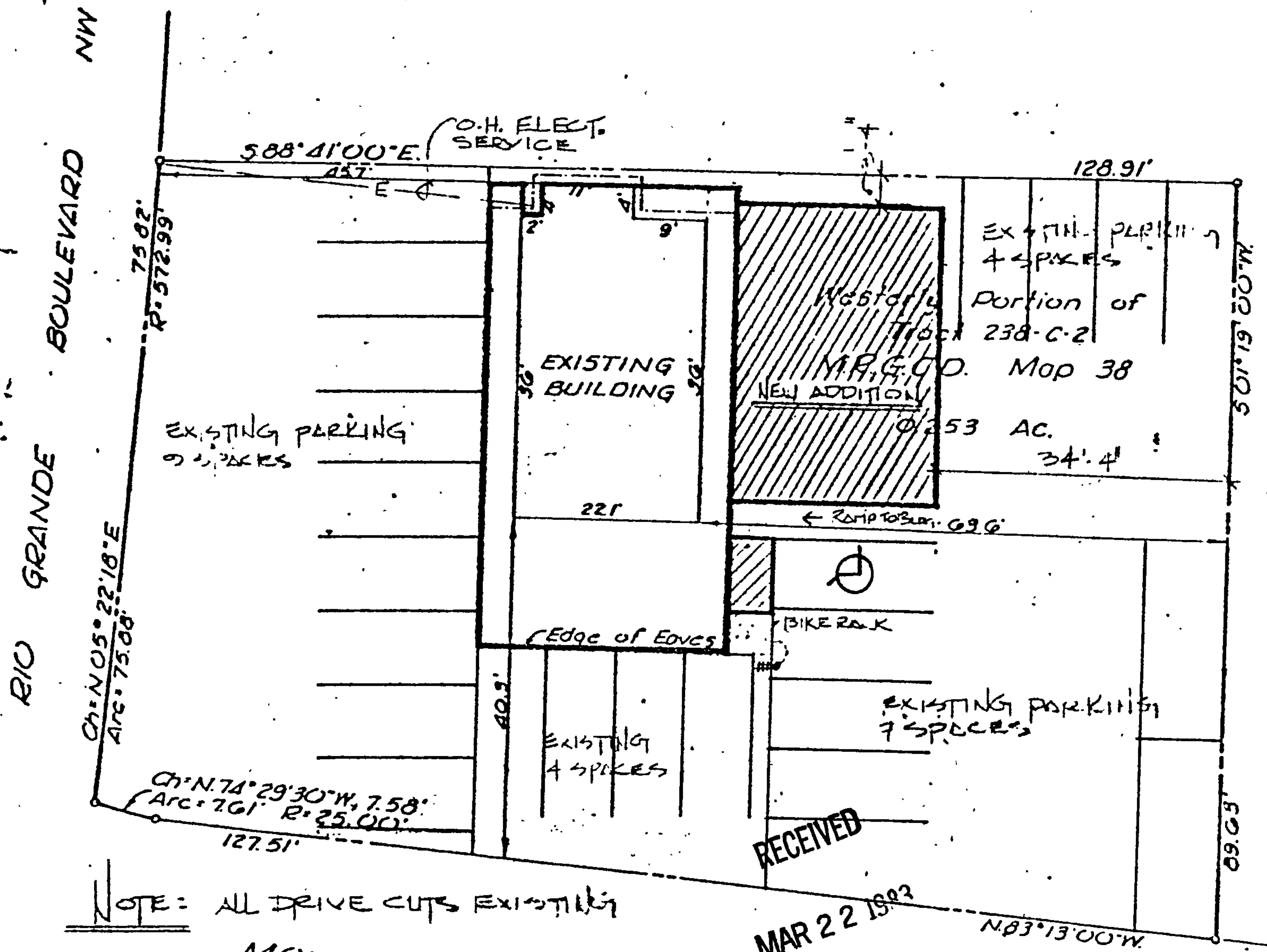
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 No  
 2.  
 4.  
 (If  
 1) 0/10  
 2) 5/11  
 3) 4/11  
 11



FLOOR PLAN

1/4" = 1'-0"

GAS EQUIP.		ELECT. EQ.	
△	STEAM HEAT - 40 MBTU	□	REF. FREEZER
△	FRESH STEAM FOR - 40 MBTU	□	220 TON
△	VULCAN GRILL - 160 MBTU	□	220 COFFEE MACHINE
△	VULCAN STEAMER - 220 MBTU	□	CHOCOLATE MACHINE
△	WOLF CUP - 100 MBTU	□	ICE TEA MACHINE
△	4 CEAAT - 30 MBTU	□	COKE MACHINE
△	HOT WATER HEAT - 75 MBTU	□	MILK CONDENSER
△	COOL WATER	□	FREEZER
△	FLASINETRI PROVIDED FINISH THROUGHOUT.	□	CHEESE MELTER
		□	BOOSTER HEATER (EQUIP)



NOTE: ALL DRIVE CUTS EXISTING

MOUNTAIN DRAINAGE NOTES

EXISTING DRAINAGE PATTERN NOT CHANGED BY ADDITION. FLOW FROM ROOF TO FOLLOW EXISTING PATTERN TO THE NORTH.

J-13-2 - 0/14

PLOT PLAN

Scale ~ 1" = 20'

