

# CITY OF ALBUQUERQUE

Planning Department  
David Campbell, Director



Mayor Timothy M. Keller

December 14, 2018

David Aube, P.E.  
Hartman & Majewski Design Group  
120 Vassar Dr SE, Suite 100  
Albuquerque, NM 87106

**RE: Sawmill Market  
1909 Bellamah NW  
Grading and Drainage Plan  
Engineer's Stamp Date: 12/11/18  
Hydrology File: J13D017A**

Dear Mr. Aube:

PO Box 1293

Based on the submittal received on 12/11/18, the Grading and Drainage Plan is approved for Building Permit and SO-19 Permit.

Albuquerque

Prior to Certificate of Occupancy (For Information):

NM 87103

www.cabq.gov

1. Engineer's Certification, per the DPM Chapter 22.7: *Engineer's Certification Checklist For Non-Subdivision* is required.
2. The sidewalk culverts must be inspected and approved by storm drain maintenance (Jason Rodriguez, [jtrodriguez@cabq.gov](mailto:jtrodriguez@cabq.gov) or 857-8607).
3. A Bernalillo County Recorded [Private Facility Drainage Covenant](#) is required for the stormwater quality ponds. The original notarized form, exhibit A (legible on 8.5x11 paper), and recording fee (\$25, payable to Bernalillo County) must be turned into DRC (4th, Plaza del Sol) for routing. Please contact Charlotte LaBadie ([clabadie@cabq.gov](mailto:clabadie@cabq.gov), 924-3996) or Madeline Carruthers ([mtafoya@cabq.gov](mailto:mtafoya@cabq.gov), 924-3997) regarding the routing and recording process for covenants. The routing and recording process for covenants can take a month or longer; Hydrology recommends beginning this process as soon as possible as to not delay approval for certificate of occupancy.

If you have any questions, please contact me at 924-3695 or [dpeterson@cabq.gov](mailto:dpeterson@cabq.gov).

Sincerely,

Dana Peterson, P.E.  
Senior Engineer, Planning Dept.  
Development Review Services



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2016)

**Project Title:** \_\_\_\_\_ **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** \_\_\_\_\_

**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_

**Legal Description:** \_\_\_\_\_

**City Address:** \_\_\_\_\_

**Applicant:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Other Contact:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**TYPE OF DEVELOPMENT:** \_\_\_\_\_ PLAT \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE ☒ ADMIN SITE

Check all that Apply:

**DEPARTMENT:**

\_\_\_\_\_ HYDROLOGY/ DRAINAGE  
\_\_\_\_\_ TRAFFIC/ TRANSPORTATION

**TYPE OF SUBMITTAL:**

\_\_\_\_\_ ENGINEER/ARCHITECT CERTIFICATION

\_\_\_\_\_ CONCEPTUAL G & D PLAN

\_\_\_\_\_ GRADING PLAN

\_\_\_\_\_ DRAINAGE MASTER PLAN

\_\_\_\_\_ DRAINAGE REPORT

\_\_\_\_\_ CLOMR/LOMR

\_\_\_\_\_ TRAFFIC CIRCULATION LAYOUT (TCL)

\_\_\_\_\_ TRAFFIC IMPACT STUDY (TIS)

\_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

\_\_\_\_\_ PRE-DESIGN MEETING?

**TYPE OF APPROVAL/ACCEPTANCE SOUGHT:**

\_\_\_\_\_ BUILDING PERMIT APPROVAL

\_\_\_\_\_ CERTIFICATE OF OCCUPANCY

\_\_\_\_\_ PRELIMINARY PLAT APPROVAL

\_\_\_\_\_ SITE PLAN FOR SUB'D APPROVAL

\_\_\_\_\_ SITE PLAN FOR BLDG. PERMIT APPROVAL

\_\_\_\_\_ FINAL PLAT APPROVAL

\_\_\_\_\_ SIA/ RELEASE OF FINANCIAL GUARANTEE

\_\_\_\_\_ FOUNDATION PERMIT APPROVAL

\_\_\_\_\_ GRADING PERMIT APPROVAL

\_\_\_\_\_ SO-19 APPROVAL

\_\_\_\_\_ PAVING PERMIT APPROVAL

\_\_\_\_\_ GRADING/ PAD CERTIFICATION

\_\_\_\_\_ WORK ORDER APPROVAL

\_\_\_\_\_ CLOMR/LOMR

\_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

IS THIS A RESUBMITTAL?: \_\_\_\_\_ Yes \_\_\_\_\_ No

**DATE SUBMITTED:** \_\_\_\_\_ **By:** \_\_\_\_\_

COA STAFF:

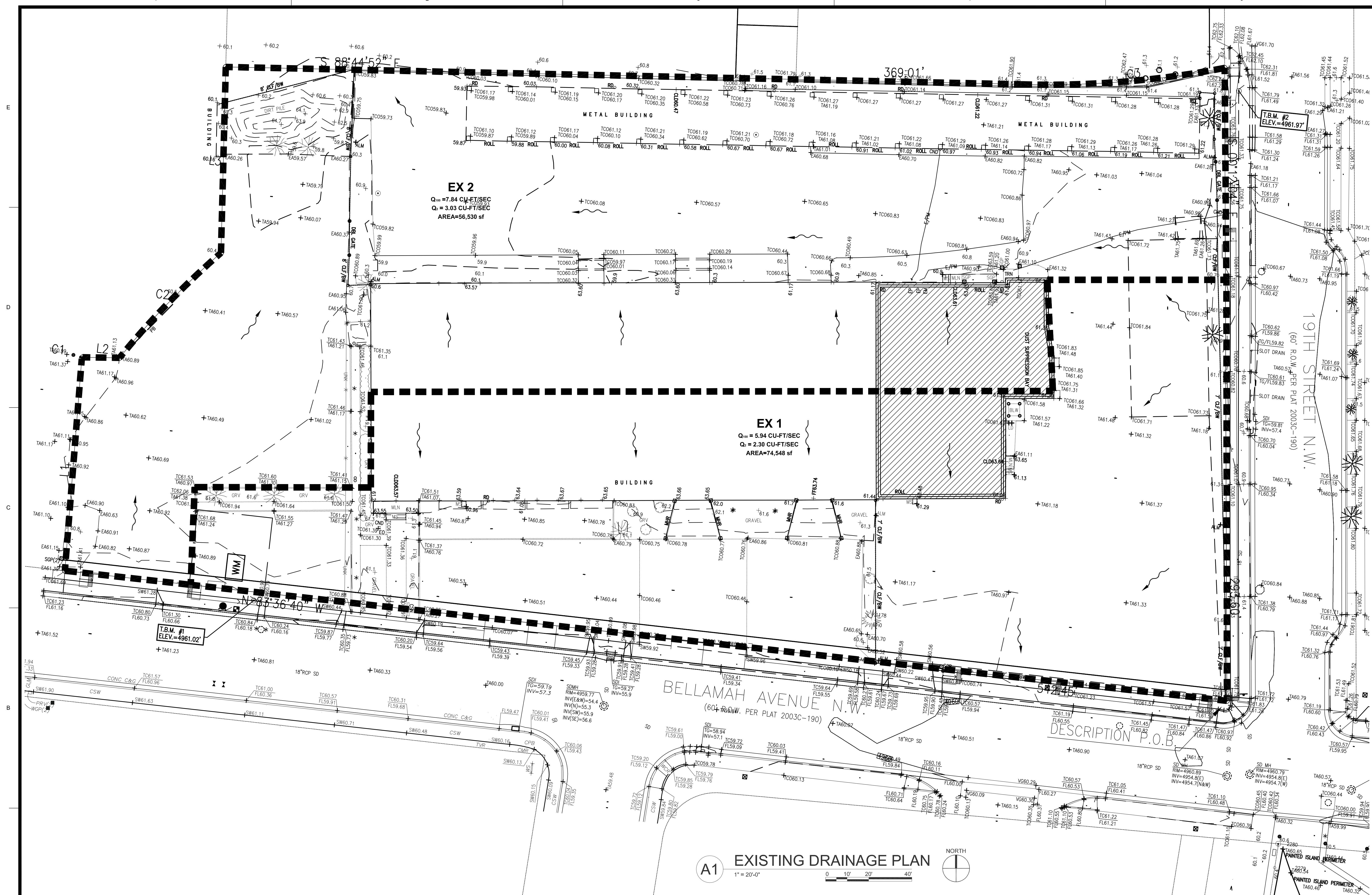
ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_









ERIC HASKINS, AIA  
ARCHITECT

201 THIRD STREET NW  
SUITE 1140  
ALBUQUERQUE, NM  
87102

505.212.9148

Consultant

THE HARTMAN HAJEKSKI  
DESIGN GROUP

120 Vassar Dr SE Suite 100  
Albuquerque New Mexico 87108  
505.242.8880 • F 505.242.8881

Stamp

**SAWMILL MARKET, PHASE 1**  
**SITE, SHELL, COMMON AREAS**

1908 BELLAMAH AVENUE NW  
ALBUQUERQUE, NEW MEXICO

Date 7-11-2018

Revised  
ADDENDUM 001  
CITY COMMENTS AND OWNER  
REVISIONS, 8-28-2018

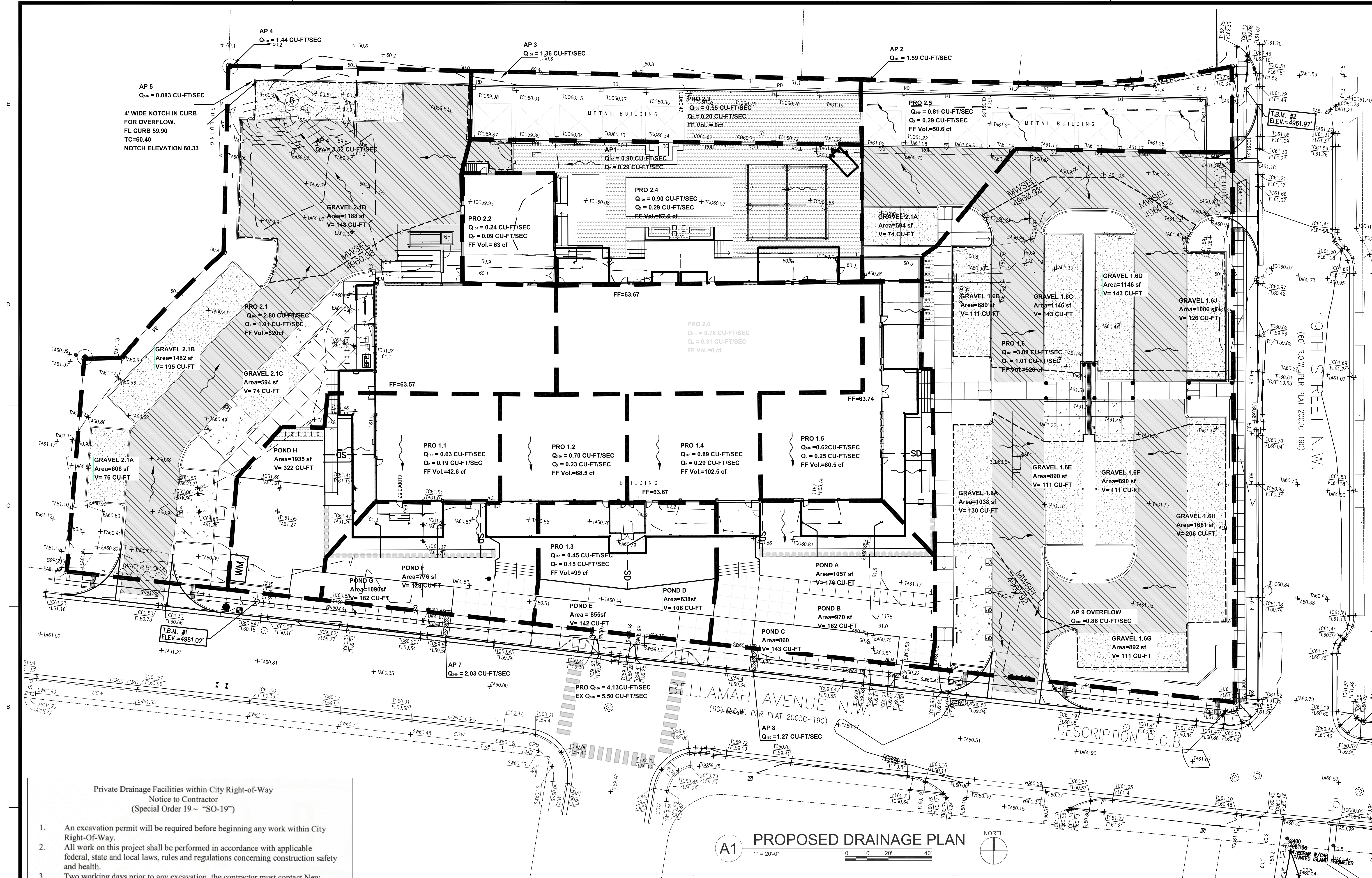
Drawn by DAA  
Checked by DAA

Sheet Title  
EXISTING  
DRAINAGE  
PLAN

Job Number

Sheet No.  
**CD2**

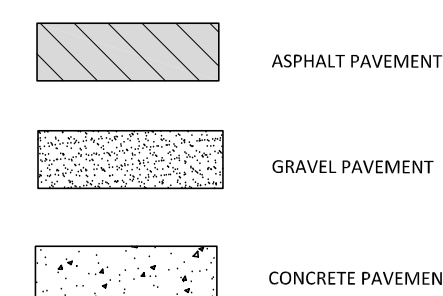




Private Drainage Facilities within City Right-of-Way  
Notice to Contractor  
(Special Order 19 ~ "SO-19")

1. An excavation permit will be required before beginning any work within City Right-Of-Way.
2. All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
3. Two working days prior to any excavation, the contractor must contact New Mexico One Call, dial "811" [or (505) 260-1990] for the location of existing utilities.
4. Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
5. Backfill compaction shall be according to traffic/street use.
6. Maintenance of the facility shall be the responsibility of the owner of the property being served.
7. Work on arterial streets may be required on a 24-hour basis.
8. Contractor must contact Jason Rodriguez at 235-8016 and Construction Coordination at 924-3416 to schedule an inspection.

SURFACE LEGEND



**SAWMILL MARKET, PHASE 1**  
**SITE, SHELL, COMMON AREAS**  
1908 BELLAMAH AVENUE NW  
ALBUQUERQUE, NEW MEXICO

Date 7-11-2018

Revised  
ADDENDUM 001  
CITY COMMENTS AND OWNER  
REVISIONS, 8-28-2018  
ADDENDUM 002  
CITY COMMENTS AND OWNER  
REVISIONS, 10-22-2018  
ASI CITY COMMENTS 12.11.2018

Drawn by DAA

Checked by DAA

Sheet Title

PROPOSED

DRAINAGE

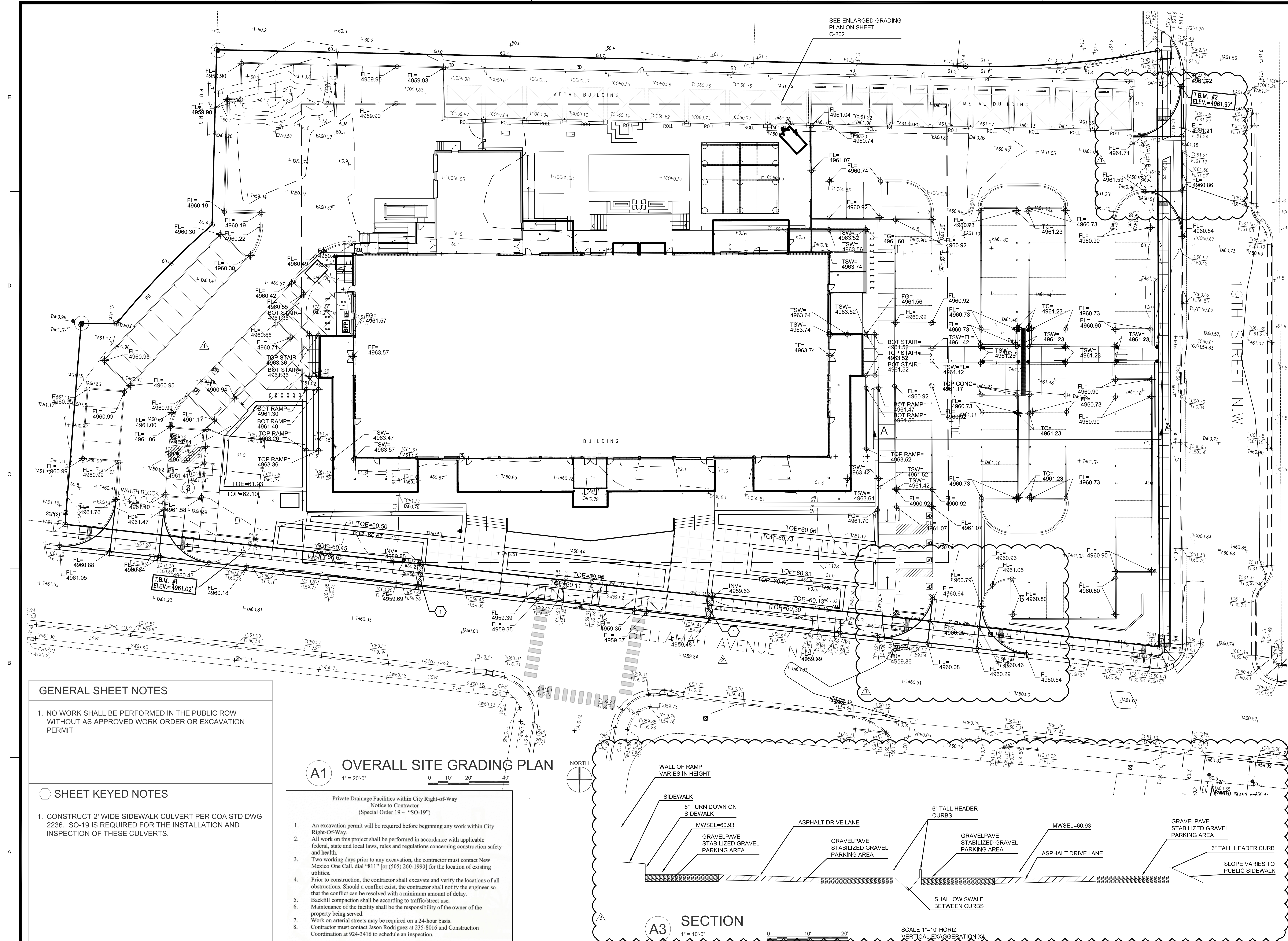
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Job Number

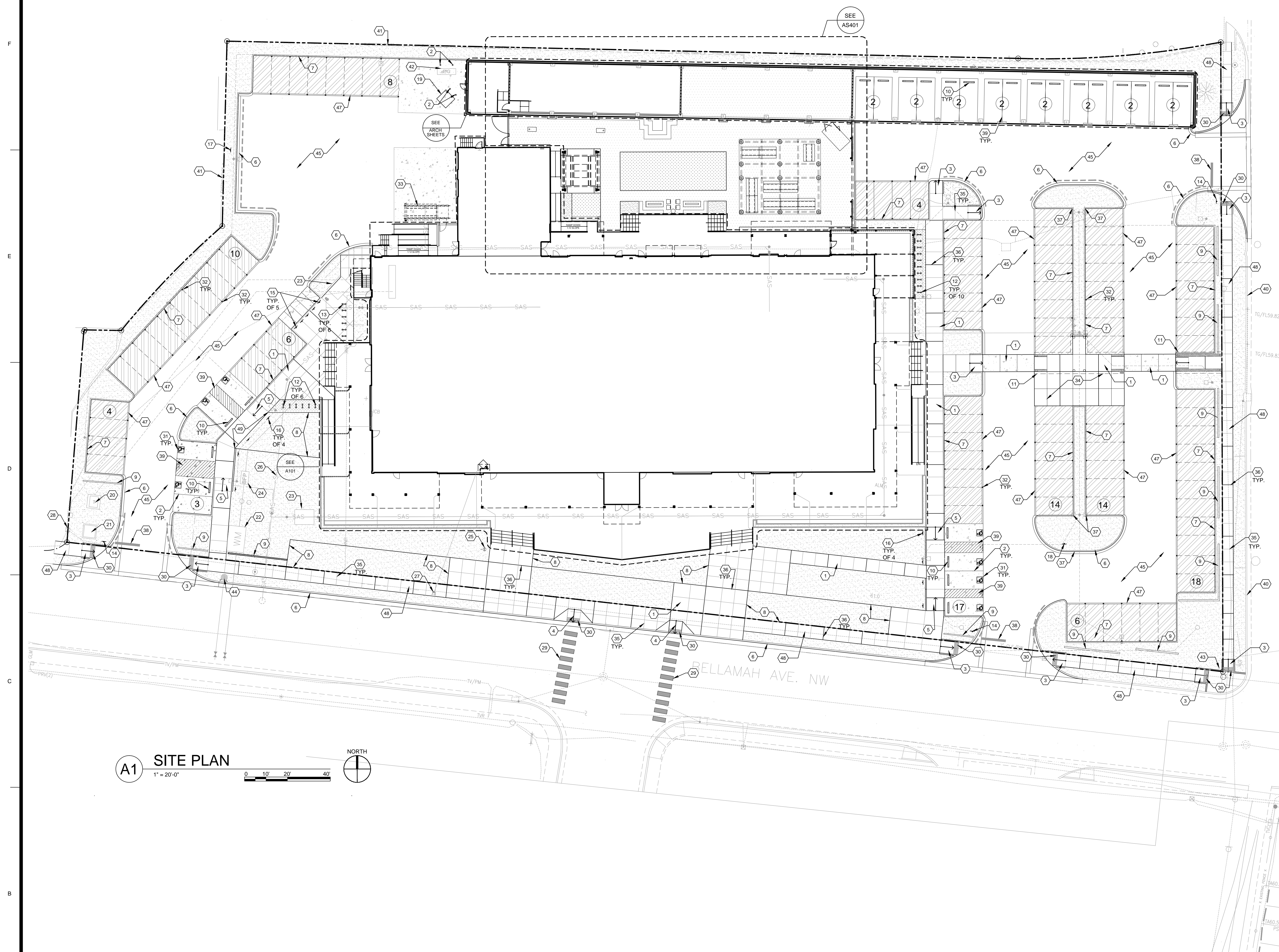
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CD3









**A1 SITE PLAN**  
1" = 20'-0"  
0 10' 20' 40'  
NORTH

### GENERAL SHEET NOTES

- CONTRACTOR IS TO VERIFY EXISTING UTILITY LOCATIONS BEFORE EXCAVATION.
- SEE CIVIL PLANS FOR GRADING, DRAINAGE, AND UTILITY INFORMATION.
- UTILITIES AND ASSOCIATED EQUIPMENT SHOWN FOR REFERENCE ONLY.
- SITE LIGHTING SHALL CONSIST OF A COMBINATION OF BUILDING MOUNTED LIGHT FIXTURES AND POLE MOUNTED LIGHT FIXTURES. SEE SITE PLAN FOR POLE LOCATIONS. SEE LIGHTING PLAN FOR YARD AND VALET AREA SITE LIGHTING.
- ALL SITE PLAN DIMENSIONS ARE IN DECIMAL UNITS.
- SIDEWALK JOINTS SHALL FOLLOW PATTERN AS SHOWN ON SITE PLAN.

### PROJECT DATA

ADDRESS: 1909 BELLAMAH AVE. NW, ALBUQUERQUE, NM 87104

LEGAL DESCRIPTION: TRS 340A2A1A2B, 340A2A2B & 340A2A1C MRGCD MAP 35 CONT 3.0136 AC ML

ZONE ATLAS PAGE: H-13

SITE AREA: 3.0136 AC

ZONING: NR-LM

BUILDING FOOTPRINT AND OUTDOOR DINING SPACES:  
TOTAL BUILDING: 26,361 SF  
MEZZANINE: 7,220 SF  
TERRACE: 12,945 SF  
YARD: 7,032 SF

LANDSCAPING: REFER TO SHEET LP101 FOR LANDSCAPE PLAN AND CALCULATIONS

### PARKING CALCULATIONS

REQUIRED PARKING FOR NEW BUILDING (8 STALLS/1000 SF)  
REQUIRED PARKING FOR OUTDOOR DINING AREAS (5 STALLS/1,000 SF)  
TOTAL REQUIRED PARKING STALLS: 369  
TOTAL PARKING STALLS PROVIDED ON-SITE: 120  
TOTAL SHARED PARKING STALLS PROVIDED: 250

MOTORCYCLE PARKING STALLS REQUIRED: 5  
MOTORCYCLE STALLS PROVIDED: 5

ACCESSIBLE PARKING STALLS REQUIRED: 8 (2 VAN)  
ACCESSIBLE PARKING STALLS PROVIDED: 8 (2 VAN)

BICYCLE PARKING STALLS REQUIRED: 32  
BICYCLE PARKING STALLS PROVIDED: 32

THE REMAINDER OF THE PARKING REQUIREMENT (250 SPACES, 87% OF REQUIREMENT) SHALL BE MET BY A SHARED PARKING AGREEMENT WITH HOTEL CHACO/HOTEL ALBUQUERQUE, WHICH ARE UNDER THE SAME OWNERSHIP AS SAWMILL MARKET AND ARE LOCATED DIRECTLY ACROSS BELLAMAH AVENUE. PER PREVIOUSLY APPROVED DRB SUBMITTALS, HOTEL ALBUQUERQUE / HOTEL CHACO HAVE A SURPLUS OF 308 SPACES. AFTER ALLOCATING 31 FOR THE PREVIOUSLY APPROVED ART BARN (ARTEHOUSE), HOTEL ALBUQUERQUE / HOTEL CHACO HAVE THE REMAINING SURPLUS OF 275 SPACES.

### SHEET KEYED NOTES

CODE	DESCRIPTION
1	CONCRETE SIDEWALK WITH SALT FINISH, SEE A1/AS501 AND SPECIFICATIONS
2	PIPE BOLLARD, SEE C4/AS501
3	CONCRETE ACCESSIBLE RAMP TYPE A, SEE A3/AS501
4	CONCRETE RAMP TYPE B, SEE A4/AS501
5	CONCRETE ACCESSIBLE RAMP TYPE C, SEE A5/AS501
6	CONCRETE CURB AND GUTTER, SEE CIVIL
7	CONCRETE HEADER CURB, SEE CIVIL
8	STEEL EDGING, SEE DETAIL B5/AS501 AND SPECIFICATIONS
9	3'-0" HIGH BOARD FORMED CONCRETE SCREENWALL, SEE B2/AS501 AND SPECIFICATIONS
10	WOOD PARKING BUMPER, SEE C3/AS501 AND SPECIFICATIONS
11	STEEL TRELLIS, TO BE DESIGNED BY OWNER
12	BIKE RACKS, SEE C2/AS501 AND SPECIFICATIONS
13	PACE BIKE SHARE BY OWNER
14	STOP SIGN, SEE D5/AS501
15	MOTORCYCLE PARKING SIGN, SEE D5/AS501
16	ACCESSIBLE PARKING SIGN, SEE D6/AS501
17	NO PARKING SIGN, SEE D5/AS501
18	VALET PARKING SIGN, SEE D5/AS501
19	RECYCLING BIN, SEE SPECIFICATIONS
20	TRANSFORMER, SEE ELECTRICAL
21	SWITCHGEAR, SEE ELECTRICAL
22	UNDERGROUND WATER METER, SEE CIVIL
23	GREASE TRAP, SEE CIVIL
24	BACKFLOW PREVENTOR, SEE CIVIL
25	POST INDICATOR VALVE, SEE CIVIL
26	SANITARY SEWER LINE, SEE CIVIL
27	POST TYPE FIRE DEPARTMENT CONNECTION, SEE CIVIL
28	COMMUNICATIONS PEDESTAL, SEE ELECTRICAL
29	PAINTED CROSSWALK, SEE D3/AS501
30	DETECTABLE WARNING SURFACE, SEE B3/AS501
31	ADA PAVEMENT MARKING, SEE SEE D4/AS501
32	METAL PARKING STALL MARKER, SPECIFICATIONS
33	COMPACTOR, 30 CU. YD. CAPACITY, SEE SPECS.
34	CONCRETE VALET DRIVE, SEE CIVIL
35	CONCRETE CONTROL JOINT, SEE A6/AS501
36	CONCRETE EXPANSION JOINT, SEE A6/AS501
37	CONCRETE CURB CUT, SEE CIVIL
38	STOP LINE PAVEMENT STRIPING, SEE D2/AS501
39	PARKING STRIPING, SEE B4/AS501
40	EXISTING CURB TO REMAIN
41	EXISTING FENCE TO REMAIN
42	GENERATOR, SEE ELECTRICAL
43	EXISTING FIRE HYDRANT TO REMAIN
44	NEW FIRE HYDRANT, SEE CIVIL
45	ASPHALT PAVING, SEE CIVIL
47	CONCRETE FLUSH CURB, SEE CIVIL
48	CONCRETE SIDEWALK WITH SALT FINISH PER COA DPM STD. 2430
49	6" TALL STEEL EDGING, SEE B5/AS501 AND SPECIFICATIONS

### LEGEND

---	PROPERTY LINE
---	FIRE LANE STRIPING, SEE D1/AS501
[Pattern]	4" DEPTH OF STABILIZED CRUSHER FINES, COLOR: SMOKE FINES, SEE C1/AS501
[Pattern]	3" DEPTH OF STABILIZED CRUSHER FINES, COLOR: SMOKE FINES, SEE B1/AS501
[Pattern]	LANDSCAPE AREA, SEE LANDSCAPE SHEETS
[Pattern]	ARTIFICIAL TURF, SEE A1/AS401, C6/AS501 AND SPECIFICATIONS
[Pattern]	HEAVY DUTY CONCRETE, SEE CIVIL SHEETS
[Pattern]	PERVIOUS PAVING, SEE CIVIL SHEETS

ERIC HASKINS, AIA  
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SAWMILL MARKET, PHASE 1  
SITE, SHELL, COMMON AREAS

1909 BELLAMAH AVENUE NW  
ALBUQUERQUE, NEW MEXICO

Date 9.3.2018

Revised  
ADDENDUM 001  
CITY COMMENTS & OWNER  
REVISIONS, 8.28.2018

Drawn by LI

Checked by MB

Scale 1"=20'

Sheet Title  
SITE PLAN

Job Number 18-0041

Sheet No.  
AS-101

FOR REFERENCE ONLY