

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

February 10, 2020

David Aube, P.E.
Hartman & Majewski Design Group
120 Vassar Dr SE, Suite 100
Albuquerque, NM 87106

**RE: Sawmill Market
1909 Bellamah NW
Request for Certificate of Occupancy - Temporary
Hydrology Final Inspection –Approved
Certification Dated: 2/6/20
Grading and Drainage Plan Stamp Date: 12/11/18
Hydrology File: J13D017A**

Dear Mr. Aube:

Based on the submittal received on 1/29/20, this certification is approved in support of Temporary Certificate of Occupancy by Hydrology.

Prior to Permanent Certificate of Occupancy (For Information):

1. The sidewalk culverts must be inspected and approved by Storm Drain Maintenance (Augie Armijo at (505) 857-8607).
2. A Bernalillo County Recorded [Private Facility Drainage Covenant](#) is required for the stormwater quality ponds. The original notarized form, exhibit A (legible on 8.5x11 paper), and recording fee (\$25, payable to Bernalillo County) must be turned into DRC (4th, Plaza del Sol) for routing. Please contact Charlotte LaBadie (clabadie@cabq.gov, 924-3996) regarding the routing and recording process for covenants. The routing and recording process for covenants can take a month or longer; Hydrology recommends beginning this process as soon as possible as to not delay approval for certificate of occupancy.

If you have any questions, please contact me at 924-3695 or dpeterson@cabq.gov.

Sincerely,

Dana Peterson, P.E.
Senior Engineer, Planning Dept.
Development Review Services

C: Email Tena, Victoria; Sandoval, Darlene; Costilla, Michelle; Gomez, Matt



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2016)

Project Title: _____ **Building Permit #:** _____ **Hydrology File #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Applicant: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF DEVELOPMENT: _____ PLAT _____ RESIDENCE _____ DRB SITE ☒ ADMIN SITE

Check all that Apply:

DEPARTMENT:

_____ HYDROLOGY/ DRAINAGE
_____ TRAFFIC/ TRANSPORTATION

TYPE OF SUBMITTAL:

_____ ENGINEER/ARCHITECT CERTIFICATION

_____ CONCEPTUAL G & D PLAN

_____ GRADING PLAN

_____ DRAINAGE MASTER PLAN

_____ DRAINAGE REPORT

_____ CLOMR/LOMR

_____ TRAFFIC CIRCULATION LAYOUT (TCL)

_____ TRAFFIC IMPACT STUDY (TIS)

_____ OTHER (SPECIFY) _____

_____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

_____ BUILDING PERMIT APPROVAL

_____ CERTIFICATE OF OCCUPANCY

_____ PRELIMINARY PLAT APPROVAL

_____ SITE PLAN FOR SUB'D APPROVAL

_____ SITE PLAN FOR BLDG. PERMIT APPROVAL

_____ FINAL PLAT APPROVAL

_____ SIA/ RELEASE OF FINANCIAL GUARANTEE

_____ FOUNDATION PERMIT APPROVAL

_____ GRADING PERMIT APPROVAL

_____ SO-19 APPROVAL

_____ PAVING PERMIT APPROVAL

_____ GRADING/ PAD CERTIFICATION

_____ WORK ORDER APPROVAL

_____ CLOMR/LOMR

_____ OTHER (SPECIFY) _____

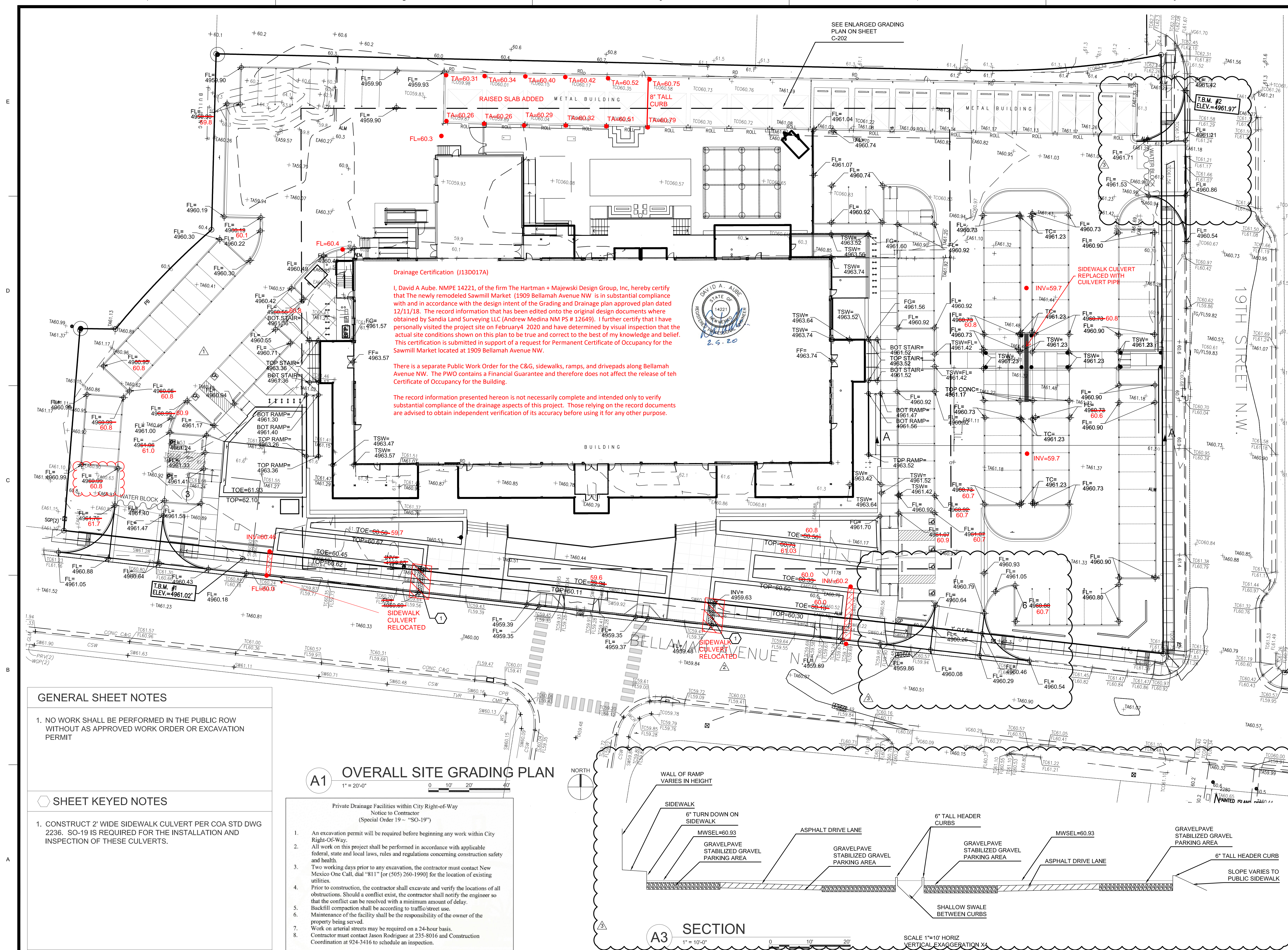
IS THIS A RESUBMITTAL?: _____ Yes _____ No

DATE SUBMITTED: _____ **By:** _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



ERIC HASKINS, AIA
ARCHITECT

201 THIRD STREET NW
SUITE 1140
ALBUQUERQUE, NM
87102

505.212.9148

Consultant

THE HARTMAN + MAJEWski
DESIGN GROUP

120 Vassar Dr SE Suite 100
Albuquerque New Mexico 87108
T 505 242 8880 • F 505 242 8881

Stamp

SAWMILL MARKET, PHASE 1
SITE, SHELL, COMMON AREAS

1909 BELLAMAH AVENUE NW
ALBUQUERQUE, NEW MEXICO

Date 7-11-2018

Revised

- ADDENDUM 001
CITY COMMENTS AND OWNER
REVISIONS, 8-28-2018
- ADDENDUM 002
CITY COMMENTS AND OWNER
REVISIONS, 10-22-2018
- ASI CITY COMMENTS 12.11.2018

Drawn by DAA

Checked by DAA

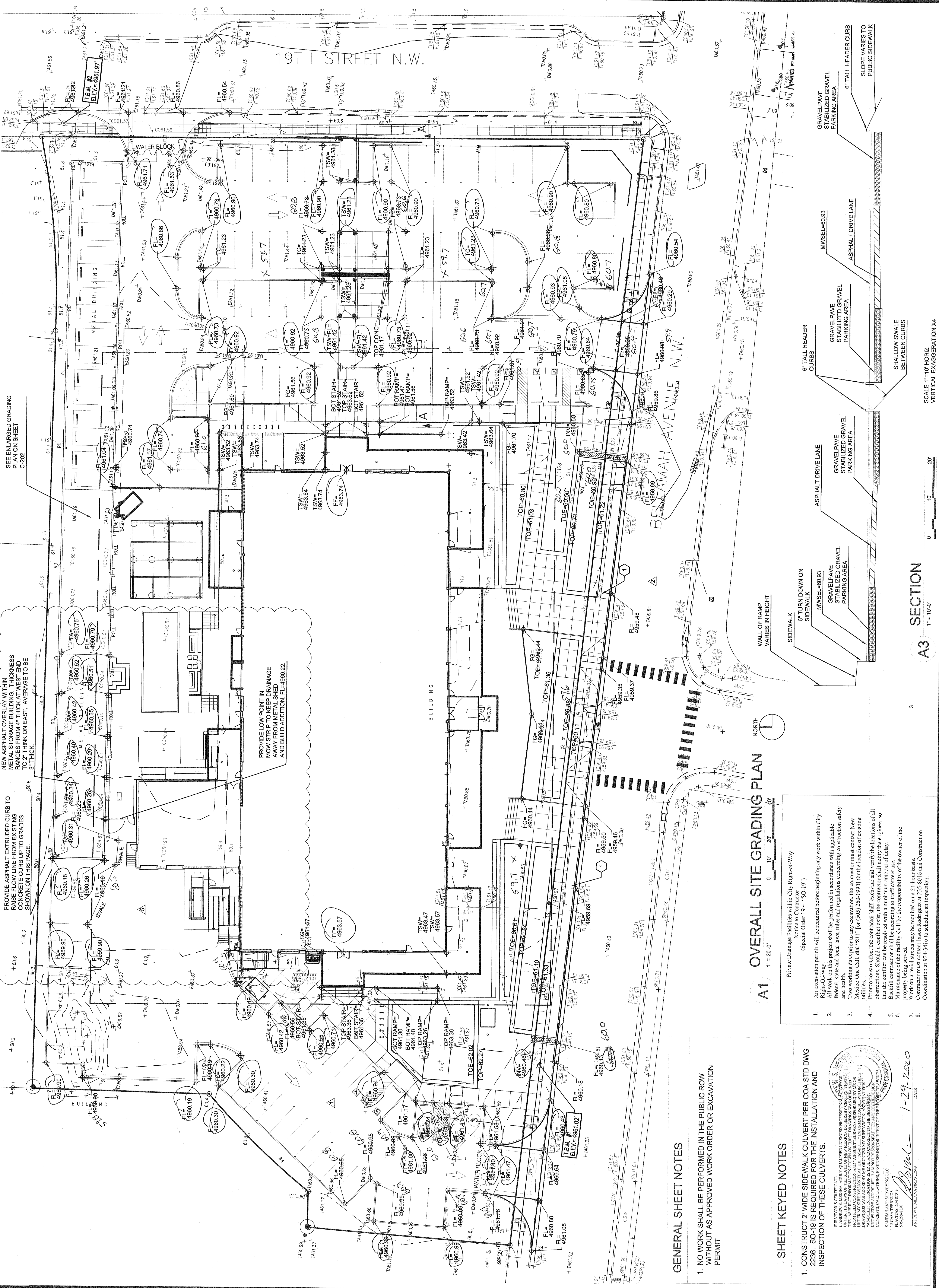
Sheet Title

OVERALL SITE
GRADING
PLAN

Job Number

Sheet No.

C-201



SEE ENLARGED GRADING
PLAN ON SHEET
C-202

NEW ASPHALT OVERLAY WITHIN
METAL STORAGE BUILDING. THICKNESS
RANGES FROM 4" THICK AT WEST END
TO 2" THICK ON EAST. AVERAGE TO BE
3" THICK.

PROVIDE ASPHALT EXTRUDED CURB TO
RAISE DRIVELINE FROM EXISTING
CONCRETE CURB UP TO GRADES
SHOWN ON THIS PAGE.

PROVIDE LOW POINT IN
MOW STRIP TO KEEP DRAINAGE
AWAY FROM METAL SHED
AND BUILD ADDITION. FL=4980.22.

A1 OVERALL SITE GRADING PLAN
1" = 20'-0"



- Private Drainage Facilities within City Right-of-Way
(Special Order 19 - "SO-19")
1. An excavation permit will be required before beginning any work within City Right-of-Way.
 2. All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
 3. No working days prior to any excavation, the contractor must contact New Mexico State Civil, Ltd. (811) for (305) 260-1991 for the location of existing utilities.
 4. Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
 5. Backfill compaction shall be according to traffic/street use.
 6. Maintenance of the facility shall be the responsibility of the owner of the property being served.
 7. Work on aerial streets may be required on a 24-hour basis.
 8. Construction must be completed by 5:00 PM on 10/10/2019 and Construction Coordination at 224-5416 to schedule an inspection.

GENERAL SHEET NOTES

1. NO WORK SHALL BE PERFORMED IN THE PUBLIC ROW WITHOUT AS APPROVED WORK ORDER OR EXCAVATION PERMIT

SHEET KEYED NOTES

1. CONSTRUCT 2' WIDE SIDEWALK CULVERT PER COA STD DWG 2236. SO-19 IS REQUIRED FOR THE INSTALLATION AND INSPECTION OF THESE CULVERTS.

UNDER THE LAWS OF THE STATE OF NEW MEXICO, I, THE UNDERSIGNED, A PROFESSIONAL ENGINEER, DO HEREBY CERTIFY THAT THE FOREGOING DRAWINGS WERE PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER IN THE STATE OF NEW MEXICO. My Commission No. 11-18-19. DATE 1-29-2020
SANDRA L. TERREROS
17 CASA TERREROS
405-294-8310
ANERREY S. MEDINA INDES 1259