

CITY OF ALBUQUERQUE



February 13, 2020

Mimi Burns, RA
Dekker Perich Sabatini
7601 Jefferson NE
Albuquerque, NM 87109

Re: Sawmill Market
1909 Bellamah Ave NW, 87104
30-Day Temporary Certificate of Occupancy
Transportation Development Final Inspection
Engineer's/Architect's Stamp dated 10-1-18 (J13D017A)
Certification dated 2-11-20

Dear Ms. Burns,

Based upon the information provided in your submittal received 2-11-20, Transportation Development has no objection to a 30-day Temporary Certificate of Occupancy based. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

- Please add crusher fine paving under bike racks.
- Please remove construction equipment, debris, trash containers and porta potty.
- Please remove dirt and rock piles from parking stalls and access aisles.

Once corrections are complete resubmit

1. The approved and stamped TCL with changes drawn in red.
2. Transportation Certification letter on either the plan or applicants letterhead.
3. A Drainage Transportation Information Sheet (DTIS)
4. Send an electronic copy of your submittal to PLNDRS@cabq.gov.
5. The \$75 re-submittal fee for log in and evaluation by Transportation.

CITY OF ALBUQUERQUE



If you have any questions, please contact me at (505) 924-3981.

Sincerely,

A handwritten signature in dark ink, appearing to read 'Ernie Gomez', is written over a faint, large watermark of the city seal.

Ernie Gomez,
Plan Checker, Planning Dept.
Development Review Services

EG via: email
C: CO Clerk, File

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

February 11, 2020

DEKKER
PERICH
SABATINI

Traffic Engineer
City of Albuquerque
Public Works Department
Development & Building Services Division
600 2nd Street NW
Albuquerque, New Mexico 87102

Re: **Transportation Final Certificate of Occupancy**
Sawmill Market Phase 1
1909 Bellamah Avenue, NW, Albuquerque, NM

To Whom It May Concern:

I, Mimi Burns, NM LA274 of the firm Dekker/Perich/Sabatini, hereby certify that the above referenced project was built in substantial compliance with the approved TCL (10-01-2018, J13-D017), as observed on a site visit February 9, 2020.

Based on our observations, the following items differ from the attached approved TCL Plan, but still meet the design intent or are in the process of being installed in the very near future:

1. Two parking spaces have been constructed as compact spaces due to site conditions.
2. The stabilized crusher fine paving has not yet been installed under the bike racks.
3. The parking lot screen walls have not yet been installed.
4. The backyard area (which is not part of the site circulation) is still under construction.

This certification is submitted in support of a request for Final Certificate of Occupancy. The record information presented herein is not complete and intended only to verify substantial compliance of the traffic aspects of this project as they relate to the above mentioned building. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

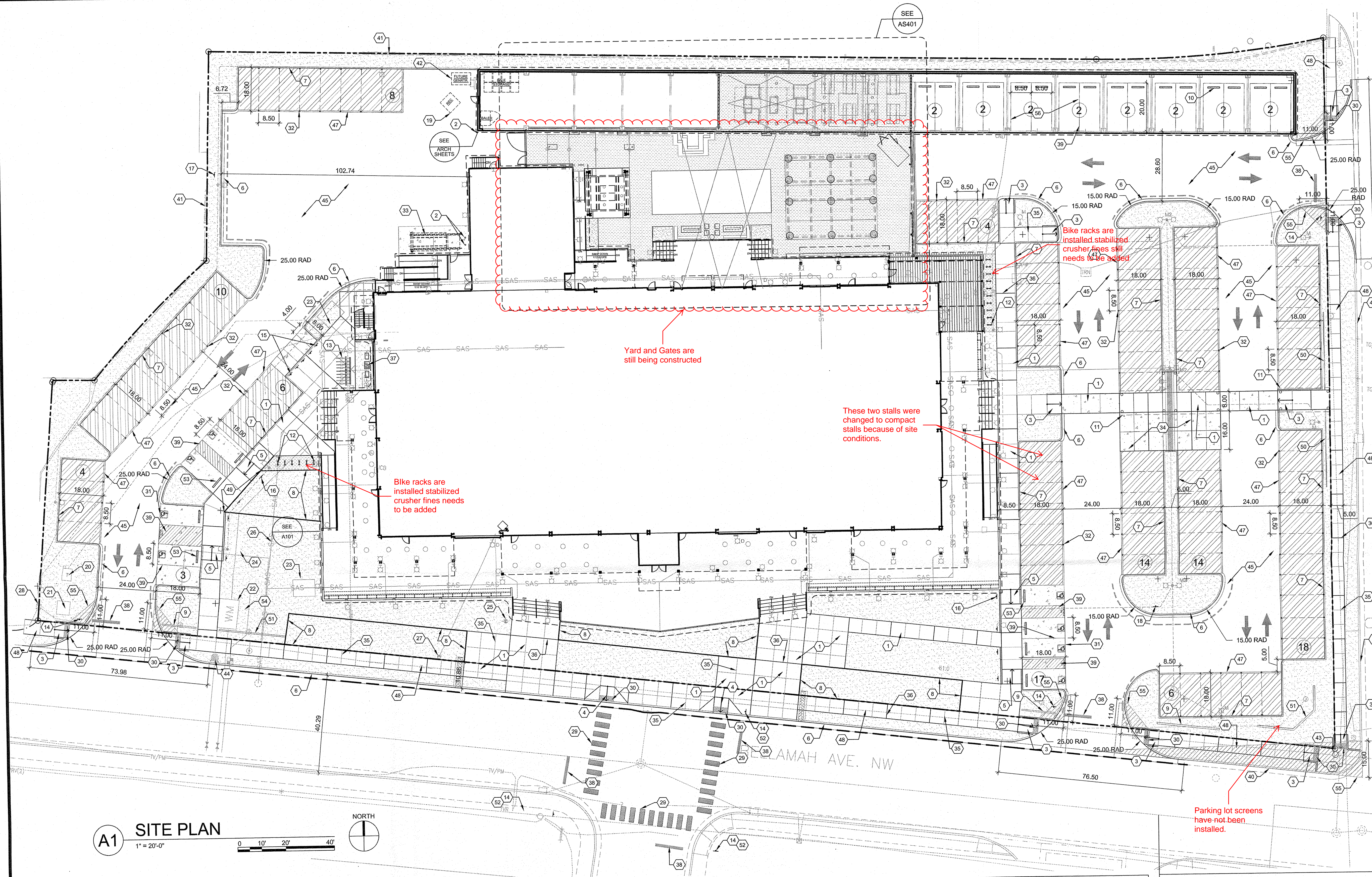
If you have any questions, please feel free to contact me at 761-9700, thank you.

Very truly yours,
Dekker/Perich/Sabatini Ltd.



Mimi Burns, ASLA, LEED AP, SITES AP, WELL AP
Principal





GENERAL SHEET NOTES

1. CONTRACTOR IS TO VERIFY EXISTING UTILITY LOCATIONS BEFORE EXCAVATION.
2. SEE CIVIL PLANS FOR GRADING, DRAINAGE, AND UTILITY INFORMATION.
3. UTILITIES AND ASSOCIATED EQUIPMENT SHOWN FOR REFERENCE ONLY.
4. SITE LIGHTING SHALL CONSIST OF A COMBINATION OF BUILDING MOUNTED LIGHT FIXTURES AND POLE MOUNTED LIGHT FIXTURES. SEE SITE PLAN FOR POLE LOCATIONS. SEE LIGHTING PLAN FOR YARD AND VALET AREA SITE LIGHTING. ALL SITE PLAN DIMENSIONS ARE IN DECIMAL UNITS.
5. SIDEWALK JOINTS SHALL FOLLOW PATTERN AS SHOWN ON SITE PLAN.
6. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

PROJECT DATA

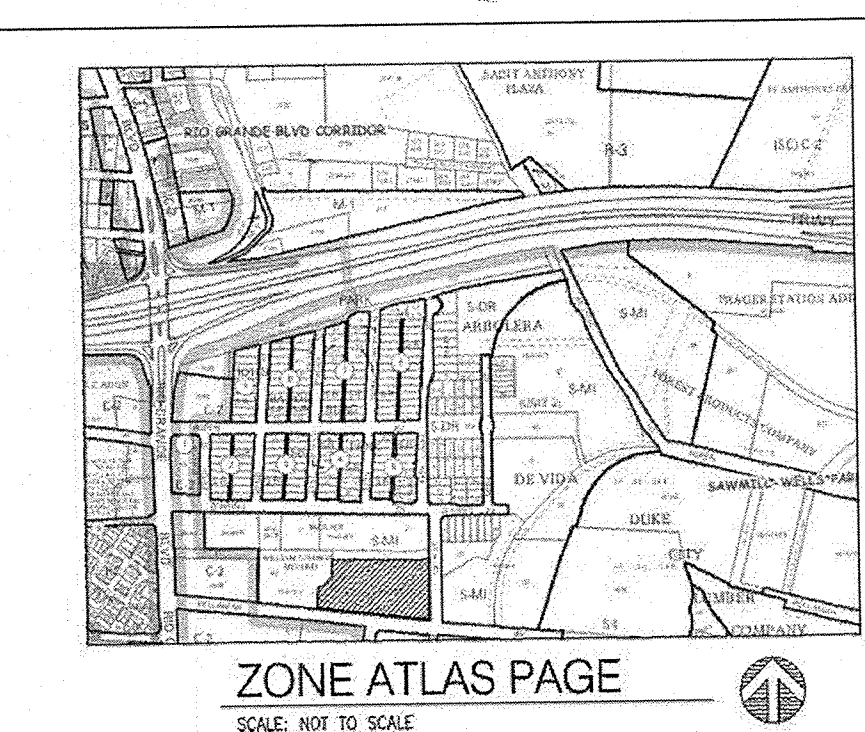
ADDRESS: 1909 BELLAMAH AVE. NW, ALBUQUERQUE, NM 87104
LEGAL DESCRIPTION: TRS 340A2A1A2B, 340A2A2B & 340A2A1C MRGCD MAP 35 CONT 3.0136 AC M/L
ZONE ATLAS PAGE: H-13
SITE AREA: 3.0136 AC
ZONING: NR-LM
BUILDING FOOTPRINT AND OUTDOOR DINING SPACES:
TOTAL BUILDING: 26,361 SF
MEZZANINE: 7,220 SF
TERRACE: 12,945 SF
YARD: 7,032 SF
LANDSCAPING: REFER TO SHEET LP101 FOR LANDSCAPE PLAN AND CALCULATIONS

SHEET KEYED NOTES

- | CODE | DESCRIPTION |
|------|--|
| 1 | CONCRETE PAVING WITH SALT FINISH, SEE A1/AS501 AND SPECIFICATIONS |
| 2 | PIPE BOLLARD, SEE E3/AS501 |
| 3 | CONCRETE ACCESSIBLE RAMP TYPE A, SEE A3/AS501 |
| 4 | CONCRETE RAMP TYPE B, SEE A4/AS501 |
| 5 | CONCRETE ACCESSIBLE RAMP TYPE C, SEE A5/AS501 |
| 6 | CONCRETE CURB AND GUTTER, SEE CIVIL |
| 7 | CONCRETE HEADER CURB, SEE CIVIL |
| 8 | STEEL PLANTERS, SEE DETAIL B5/AS501 AND SPECIFICATIONS |
| 9 | 3'-0" CMU WALL WITH STUCCO AND BRICK CAP, SEE B2/AS501 AND SPECIFICATIONS |
| 10 | WOOD PARKING BUMPER, SEE C3/AS501 AND SPECIFICATIONS |
| 11 | FUTURE STEEL TRELLIS, TO BE DESIGNED BY OWNER, NOT IN CONTRACT |
| 12 | BIKE RACKS, SEE C2/AS501 AND SPECIFICATIONS |
| 13 | PACE BIKE SHARE, PROVIDED BY OWNER |
| 14 | STOP SIGN, SEE D5/AS501 |
| 15 | MOTORCYCLE PARKING SIGN, SEE D5/AS501 |
| 16 | ACCESSIBLE PARKING SIGN, SEE D5/AS501 |
| 17 | NO PARKING SIGN, SEE D5/AS501 |
| 18 | VALET PARKING SIGN, SEE D5/AS501 |
| 19 | 6' YD. RECYCLING BIN, PROVIDED BY OWNER |
| 20 | TRANSFORMER, SEE ELECTRICAL |
| 21 | SWITCHGEAR, SEE ELECTRICAL |
| 22 | UNDERGROUND WATER METER, SEE CIVIL |
| 23 | GREASE TRAP, SEE CIVIL |
| 24 | BACKFLOW PREVENTOR, SEE CIVIL |
| 25 | POST INDICATOR VALVE, SEE CIVIL |
| 26 | SANITARY SEWER LINE, SEE CIVIL |
| 27 | POST TYPE FIRE DEPARTMENT CONNECTION, SEE CIVIL |
| 28 | COMMUNICATIONS PEDESTAL, SEE ELECTRICAL |
| 29 | PAINTED CROSSWALK, SEE D3/AS501 |
| 30 | DETECTABLE WARNING SURFACE, SEE B3/AS501 |
| 31 | ADA PAVEMENT MARKING, SEE D4/AS501 |
| 32 | LOW PROFILE PARKING SPACE DEMARCATION MARKER 100 MM, FINISH: BRONZE, SOURCE: URBANFINISH OR APPROVED EQUAL BY OWNER. |
| 33 | COMPACTOR, 30 CU. YD. CAPACITY WITH ANGLE IRON WHEEL STOPS, PROVIDED BY OWNER |
| 34 | CONCRETE VALET DRIVE, SEE CIVIL, SALT FINISH |
| 35 | CONCRETE CONTROL JOINT, SEE A6/AS501 |
| 36 | CONCRETE EXPANSION JOINT, SEE A6/AS501 |
| 37 | IRRI-GATE BACKFLOW PREVENTER, SEE L101 |
| 38 | STOP LINE PAVEMENT STRIPING, SEE D2/AS501 |
| 39 | PARKING STRIPING, SEE B4/AS501 |
| 40 | EXISTING CURB TO REMAIN |
| 41 | EXISTING FENCE TO REMAIN |
| 42 | FUTURE GENERATOR, SEE ELECTRICAL |
| 43 | EXISTING FIRE HYDRANT TO REMAIN |
| 44 | NEW FIRE HYDRANT, SEE CIVIL |
| 45 | ASPHALT PAVING, SEE CIVIL |
| 46 | CONCRETE FLUSH CURB, SEE CIVIL |
| 47 | CONCRETE SIDEWALK WITH SALT FINISH PER COA DPM STD. 2430 |
| 48 | 6" TALL STEEL EDGING, SEE B5/AS501 AND SPECIFICATIONS |
| 49 | 3'-0" TALL TRELLIS, SEE DETAIL E1/AS501 AND SPECIFICATIONS |
| 50 | MONUMENT SIGN, BY OTHERS |
| 51 | PEDESTRIAN CROSSING SIGN, SEE D5/AS501 |
| 52 | CONCRETE PARKING BUMPER, SEE C4/AS501 |
| 53 | EXISTING ASPHALT PAVING TO REMAIN, SEE CIVIL |
| 54 | CLEAR SIGHT TRIANGLE |
| 55 | |

SITE CALCULATIONS

REQUIRED PARKING FOR NEW BUILDING (8 STALLS/1000SF)
REQUIRED PARKING FOR OUTDOOR DINING AREAS (5 STALLS/1,000 SF)
TOTAL REQUIRED PARKING STALLS: 369
TOTAL PARKING STALLS PROVIDED ON SITE: 120
TOTAL SHARED PARKING STALLS PROVIDED: 249
MOTORCYCLE PARKING STALLS REQUIRED: 5
MOTORCYCLE STALLS PROVIDED: 5
ACCESSIBLE PARKING STALLS REQUIRED: 8 (2 VAN)
ACCESSIBLE PARKING STALLS PROVIDED: 8 (2 VAN)
BICYCLE PARKING STALLS REQUIRED: 32
BICYCLE PARKING STALLS PROVIDED: 32
THE REMAINDER OF THE PARKING REQUIREMENT (249 SPACES, 67 % OF REQUIREMENT) SHALL BE MET BY A SHARED PARKING AGREEMENT WITH HOTEL CHACO/HOTEL ALBUQUERQUE, WHICH ARE UNDER THE SAME OWNERSHIP AS SAWMILL MARKET AND ARE LOCATED DIRECTLY ACROSS BELLAMAH AVENUE. PER PREVIOUSLY APPROVED DRB SUBMITTALS, HOTEL ALBUQUERQUE / HOTEL CHACO HAVE A SURPLUS OF 306 SPACES. AFTER ALLOCATING 249 SPACES FOR SAWMILL MARKET AND 31 FOR THE PREVIOUSLY APPROVED ART BARN (ARTECHOUSE), HOTEL ALBUQUERQUE / HOTEL CHACO HAVE A REMAINING SURPLUS OF 26 SPACES.



TRAFFIC CIRCULATION LAYOUT APPROVED
audrey
10-17-18
Date

TRAFFIC CIRCULATION LAYOUT APPROVED
Date

ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

ERIC HASKINS, AIA
ARCHITECT

201 THIRD STREET NW
SUITE 1140
ALBUQUERQUE, NM 87102

505.212.9148

CONSULTANT

STAMP

SAWMILL MARKET, PHASE 1
SITE, SHELL, COMMON AREAS

1909 BELLAMAH AVENUE NW
ALBUQUERQUE, NEW MEXICO

DATE 10.9.2018

DRAWN BY LI

CHECKED BY MB

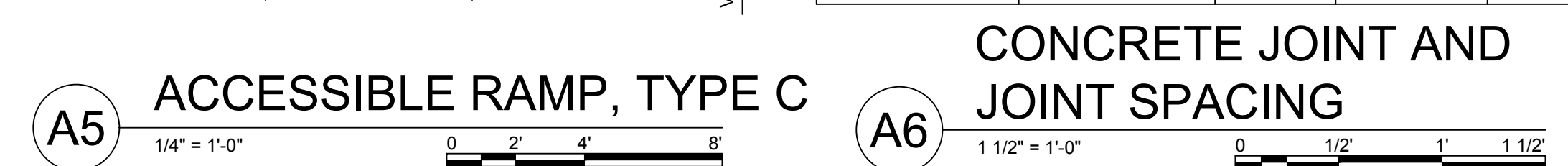
SCALE 1"=20'

SHEET TITLE
TCL
SITE PLAN

JOB NUMBER 18-0041

SHEET NUMBER

TCL



SHARED PARKING AND ACCESS AGREEMENT

THIS SHARED PARKING AND ACCESS AGREEMENT (this "Agreement") is entered into as of January 1, 2018, by and between Rio Grande Hotel Investment, LLC, a New Mexico limited liability company, as Managing Tenant, on behalf of the tenants in common which are collectively the owners of 100% of the undivided interests in the Hotel Albuquerque Parcel (as defined below) (collectively, "Hotel Albuquerque"), Hotel Chaco, LLC, a New Mexico limited liability company ("Chaco"), 1905/1909 Investment, LLC, a New Mexico limited liability company ("Bellamah"), and Sawmill 20th Street, LLC, a New Mexico limited liability company ("Sawmill").

WHEREAS, Hotel Albuquerque is the owner of that certain parcel of real estate located at 800 Rio Grande Blvd., NW, Albuquerque, New Mexico, (the "Hotel Albuquerque Parcel") described as follows:

Tracts lettered "A" and "B" of SHERATON OLD TOWN INN COMPLEX, in the City of Albuquerque, Bernalillo County, New Mexico, as the same are shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico, on December 12, 1977, as Document Number 77-77062, recorded in Vol. D 8, Folio 54, records of Bernalillo County, New Mexico.

WHEREAS, Chaco is the owner of that certain parcel of real estate located at 2000 Bellamah Avenue, NW, Albuquerque, New Mexico (the "Chaco Parcel") described as follows:

Tract lettered "D" of SHERATON OLD TOWN INN COMPLEX, in the City of Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico, on December 12, 1977, as Document Number 77-77062, recorded in Vol. D 8, Folio 54, records of Bernalillo County, New Mexico.

WHEREAS, Bellamah is the owner of that certain parcel of real estate located at 1909 Bellamah Avenue, NW, Albuquerque, New Mexico (the "Bellamah Parcel") described as follows:

A certain tract of land located within the corporate limits of the City of Albuquerque, New Mexico, comprising Tract 340A2A1C and portions of Tracts 340A2A1A2B & 340A2A2B, all on Middle Rio Grande Conservancy District Map No. 35, being more particularly described as follows:

BEGINNING at the Southeast corner of the parcel herein described, being the point of intersection of the North right of way line of Bellamah Avenue, NW and the west right of way line of 19th Street NW;

Thence N 83° 29' 00" W, a distance of 542.45 feet along the North right of way line of Bellamah Avenue NW;

Thence N 04° 41' 22" E, a distance of 98.57 feet;

Doc# 2018061914

07/16/2018 03:45 PM Page: 1 of 11
AGRE R: \$25.00 Linda Stover, Bernalillo County



Thence along the arc of a curve to the right with Delta= 00° 06' 44", R= 432.78 feet and L= 0.85 feet;

Thence S 88° 14' 07" E, a distance of 16.46 feet;

Thence along the arc of a curve to the right with Delta= 09° 46' 28", R= 400.00 feet and L=68.24 feet;

Thence N 01° 33' 32" E, a distance of 86.92 feet to a point on the South edge of the Atchison, Topeka and Santa Fe Railway Company Industry Tract 45;

Thence S 88° 31' 32" E, a distance of 369.28 feet along the South edge of the Atchison, Topeka and Santa Fe Railway Company Industry Tract 45;

Thence along the arc of a curve to the left with Delta= 12° 32' 00", R=433.75 feet and L=94.88 feet to a point on the West right of way line of 19th Street NW;

Thence S 00° 06' 06" E, a distance of 294.13 feet along the West right of way line of 19th Street to the Point of Beginning.

WHEREAS, Sawmill is the owner of that certain parcel of real estate located at 800 20th Street, NW (also designated as 1904 Bellamah Ave, NW), Albuquerque, New Mexico (the "Sawmill Parcel") described as follows:

Tract Lettered "A" of the Lands of Stewart-Walker, Albuquerque, New Mexico, as the same is shown and designated on the Plat thereof filed in the Office of the County Clerk of Bernalillo County, New Mexico on February 14, 1989 in Plat Book C38, folio 123.

WHEREAS, each party desires to grant to each other party certain non-exclusive and perpetual easements for parking, access, ingress and egress on its respective Parcel. The Albuquerque Parcel, the Chaco Parcel, the Bellamah Parcel and the Sawmill Parcel are herein referenced each as "Parcel" and collectively, as the "Parcels".

NOW, THEREFORE, for and in consideration of Ten Dollars, in hand paid by each party to the other, the respective undertakings set forth herein, and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, the parties hereto hereby agree as follows:

1. Shared Parking. Each party hereby grants to each other party for the use of such parties and the successors, assigns, tenants, invitees, customers, agents, employees, licensees and guests of such parties, a non-exclusive reciprocal easement on each party's respective Parcel for parking of automobiles and other like vehicles. The granting party reserves to itself, its successors and assigns, the same rights for itself, its tenants, their employees; invitees, guests together with each and every right not inconsistent with those granted by this Agreement.

2. Shared Access. Each party hereby grants to each other party for the use of such parties and the successors, assigns, tenants, invitees, customers, agents, employees, licensees and guests of such parties, a non-exclusive reciprocal easement on each party's respective Parcel for access, ingress, and egress as pedestrians and for access, ingress,

and egress of automobiles and other like vehicles belonging to or in the custody of such other party and such other party's tenants, their employees, invitees and guests. The granting party reserves to itself, its successors and assigns, the same rights for itself, its tenants, their employees; invitees, guests together with each and every right not inconsistent with those granted by this Agreement.

3. Parking Designation. The parties hereto shall not segregate parking rights or significantly impair access on its respective Parcel. The foregoing will not, however, impair the right of any party to declare exclusive parking areas on its Parcel for items such as employee parking, valet parking, handicap spaces, motorcycle spaces, bicycle spaces, loading or designated timed areas or to take commercially reasonable actions to prevent parking in areas which are not designated parking spaces; provided, however, a party may not designate exclusive parking areas on Parcels owned by another party.

4. Policies. Each Party shall have the exclusive right to set policies, rules and regulations regarding parking spaces on its Parcel in its sole discretion, including the right to regulate hours of use, restrict types of vehicles, impose reasonable nondiscriminatory controls in order to comply with all statutes, laws, ordinances and land use controls, such as designating parking areas, driveway areas, providing stop signs and other similar traffic controls. Each Party shall cause its tenants, their employees, invitees and guests to strictly observe such policies at all times.

5. Other Agreements. This Agreement is in addition to, and does not serve to replace (i) the easement for reciprocal access for maintenance of the Common Improvements granted by that certain Declaration of Reciprocal Use Easement and Encroachment Agreement dated December 11, 2013, recorded December 12, 2013 as Document No. 2013132393, records of Bernalillo County, New Mexico, and (ii) the easement and access rights granted by that certain Shared Parking and Access Agreement dated August 6, 2014, recorded August 14, 2014, as Document No. 2014064037, records of Bernalillo County, New Mexico.

6. Remedies. The damages that would result from the breach of this Agreement would be impossible to calculate. Therefore, the parties hereto hereby agree that any party shall be entitled to injunctive relief (without the posting of any bond or other security) against another party with respect to the enforcement of this Agreement. Such injunctive relief shall be in addition to any other remedies available hereunder, whether at law or in equity. Should a party commence any action against another party to enforce any obligations hereunder, the prevailing party shall be entitled to recover from the non-prevailing party its costs and reasonable attorneys' fees. No Party shall have liability to another party for compensatory, special or consequential damages.

7. Insurance. Each party shall name the other parties as an additional insured on their general liability policies of insurance and upon request, shall provide each other party with certificates of insurance showing such parties as an additional insured.

8. Indemnification. Each Party shall indemnify, defend and hold the other parties harmless from any loss, cost, liability or expense (including, without limitation, reasonable attorneys' fees) that may be incurred by, or asserted against, such party which involves any matter relating to indemnifying party or the indemnifying party's agents' (including its tenants, their employees, invitees or guests) use of the Agreement.

9. Maintenance. Responsibility for the maintenance, operation, management and repair of the parking areas will be vested in the owner(s) of the Parcels upon which parking areas are located, and their respective successors and assigns.
10. Subordination. The parties hereto intend that this Agreement be superior to any and all mortgages, liens or encumbrances (hereinafter collectively, “**mortgage**” or “**mortgages**”) now placed on the Parcels. As to any mortgage hereafter placed on the Parcels, the mortgage will be deemed subordinate to this Agreement, to insure that this Agreement survives any foreclosure of any such mortgage, provided that nothing in this Agreement will affect the lien or validity of any such mortgage.
11. No Dedication. The easements declared by this Agreement are not intended nor will they create any prescriptive rights in the public to the easements conveyed and granted in this Agreement.
12. Covenants to Run with Land. This Agreement and the covenants and conditions contained in this Agreement will inure to the benefit of and be binding upon each party hereto and their successors and assigns. The easements, restrictions, benefits and obligations in this Agreement will create mutual and reciprocal benefits and servitudes upon all Parcels, which easements are perpetual and will run with and benefit all of the land included in the Parcels.
13. Notice. Any notice to be given as provided in this Agreement will be in writing and will be deemed to have been given when deposited in the United States mail, postage prepaid addressed, to the owner of each Parcel at the address provided for property tax notices.
14. Term. Easements, rights and privileges established by this Agreement will remain in effect until terminated by the written agreement of all of the parties hereto or their successors or assigns. The easements created by this Agreement will run with the Parcels indefinitely and perpetually.
15. Governing Law. The laws of the State of New Mexico will govern this Agreement.

SIGNATURES BEGIN ON NEXT PAGE

HOTEL ALBUQUERQUE:
RIO GRANDE HOTEL INVESTMENT, LLC,
a New Mexico limited liability company

By: _____
James M. Long
Its: Managing Member

Its: Managing Tenant

STATE OF NEW MEXICO

COUNTY OF BERNALILLO

This instrument was acknowledged before me on 1/31 2018, by
James M. Long, Managing Member of Rio Grande Hotel Investment, LLC, a New
Mexico limited liability company, in the capacity set forth above.

Katherine Swanson
Notary Public

11/28/2020
My commission expires:



CHACO:

HOTEL CHACO, LLC

a New Mexico limited liability company

By: RIO GRANDE HOTEL INVESTMENT, LLC,

a New Mexico limited liability company

Its: Managing Member

By:


James M. Long

Its: Managing Member

STATE OF NEW MEXICO

COUNTY OF BERNALILLO

This instrument was acknowledged before me on 1/31 2018, by James M. Long, Managing Member of Rio Grande Hotel Investment, LLC, a New Mexico limited liability company, in the capacity set forth above.


Notary Public

11/28/2020
My commission expires:



BELLAMAH:

1905/1909 INVESTMENT, LLC
a New Mexico limited liability company

By: SAWMILL BELLAMAH PROPERTIES, LLC
a New Mexico limited liability company
Its: Sole Member

By: Bell Tower Investment, LLC
a New Mexico limited liability company
Its: Managing Member

By: [Signature]
James M. Long
Its: Managing Member

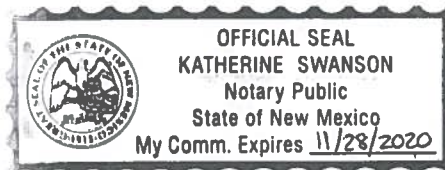
STATE OF NEW MEXICO

COUNTY OF BERNALILLO

This instrument was acknowledged before me on 11/31 2018, by
James M. Long, Managing Member of Bell Tower Investment, LLC, a New Mexico
limited liability company, in the capacity set forth above.

[Signature]
Notary Public

11/28/2020
My commission expires:



SAWMILL:

SAWMILL 20TH STREET, LLC
a New Mexico limited liability company

By: SAWMILL BELLAMAH PROPERTIES, LLC
a New Mexico limited liability company
Its: Sole Member

By: Bell Tower Investment, LLC
a New Mexico limited liability company
Its: Managing Member

By: _____
James M. Long
Its: Managing Member

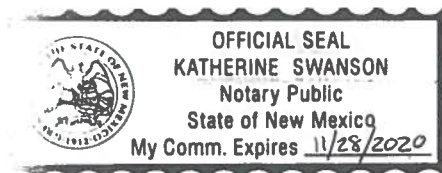
STATE OF NEW MEXICO

COUNTY OF BERNALILLO

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James M. Long, Managing Member of Bell Tower Investment, LLC, a New Mexico
limited liability company, in the capacity set forth above.

Katherine Swanson
Notary Public

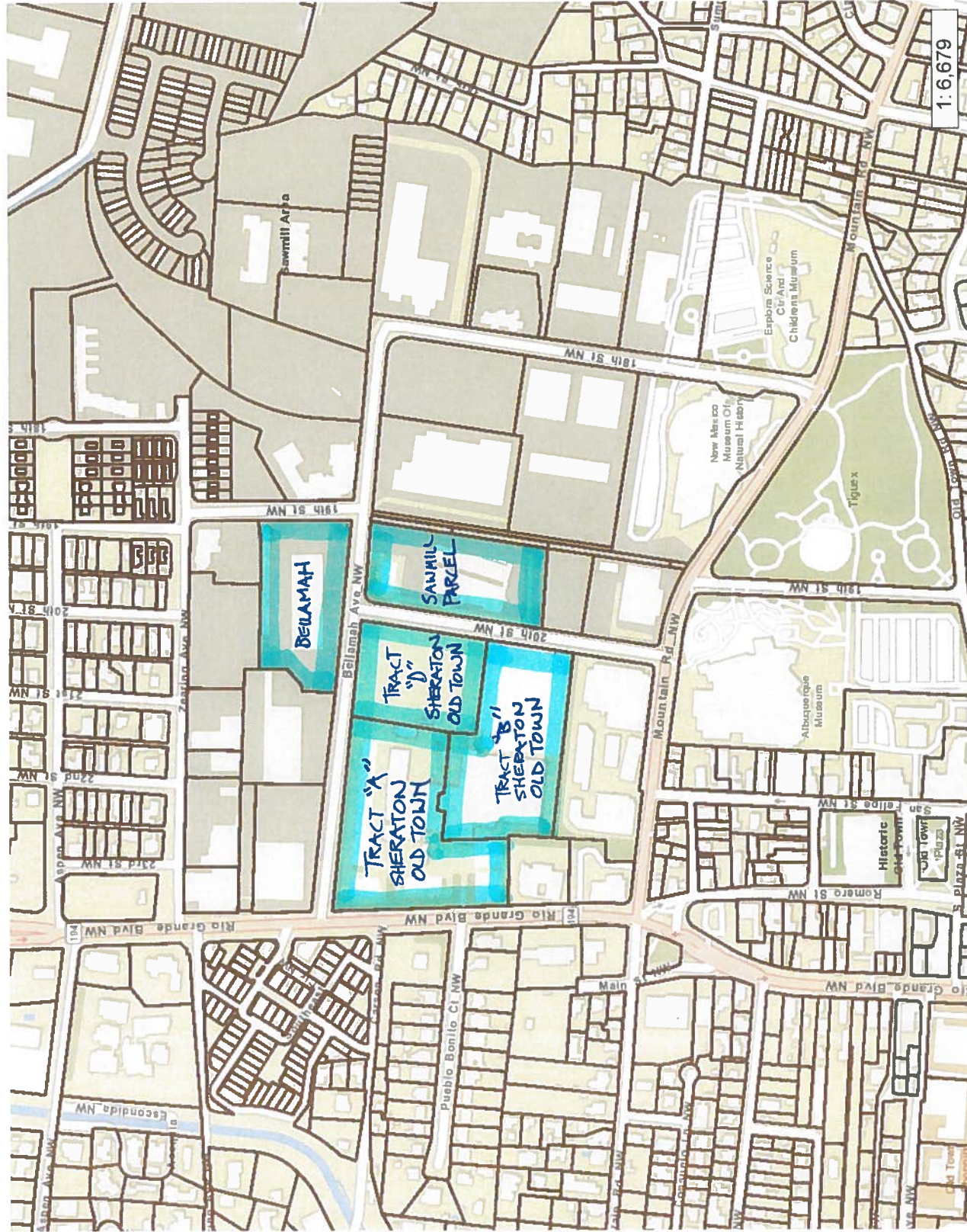
11/28/2020
My commission expires:





Legend

- Bernalillo County Parcels
- Municipal Limits
 - Corrales
 - Edgewood
 - Los Ranchos
 - Rio Rancho
 - Tijeras
 - UNINCORPORATED
- World Street Map



1:6,679

Notes

0.1 0 0.07 0.1 Miles

WGS_1984_Web_Mercator_Auxiliary_Sphere
1/24/2018
© City of Albuquerque

This map is a user generated static output from www.cabq.gov/gis and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.
THIS MAP IS NOT TO BE USED FOR LEGAL PURPOSES



7000 Jefferson NE Suite 100
Albuquerque, NM 87109
505 761-9108
fax 761-4222
info@psa10.com

Gensler

ARCHITECT

**AMENDMENT
TO EXISTING
SITE DEVELOPMENT PLAN**

PROJECT

Hotel Albuquerque
800 Rio Grande Blvd. NW
Albuquerque, New Mexico

**DRB
SUBMITTAL**
June 24, 2014

REVISIONS
△ 5.24.14 Revised Per DRP Conditions 5.24.14
▽
▽

DRAWN BY CM
REVIEWED BY MJB / WVG
DATE 6.24.2014
PROJECT NO 13-0020
DRAWING NAME
SITE PLAN

SHEET NO
SDP-1.1
OF

PROJECT NUMBER: 1000318

APPLICATION NUMBER: DRB Amendment to Existing Site Development Plan

Is an Interim Order Required? () Yes () No If yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

DATE 07-09-14

TRAFFIC ENGINEER/PLANNING DIVISION

DATE 07/09/14

UTILITIES DIVISION

DATE 09-03-14

PARKS AND RECREATION DEPARTMENT

DATE 7-9-14

CITY ENGINEER

DATE 06-23-14

SOLID WASTE AGREEMENT

DATE

DATE 9-4-14

CITY ENGINEER, PLANNING DEPARTMENT

GENERAL SHEET NOTES

- THIS SUBMITTAL IS TO AMEND THE EXISTING SITE DEVELOPMENT PLAN FOR THE SHERATON OLD TOWN INN COMPLEX (PROPOSED) BE REMOVED FROM THE OVERALL SITE DEVELOPMENT PLAN ASSOCIATED WITH THE EXISTING HOTEL ALBUQUERQUE. THE PRIMARY REASON FOR REMOVING TRACT D IS TO ESTABLISH SEPARATE ZONING THAT IS MORE ALIGNED WITH THE NEW HOTEL CONCEPTS. SEE SITE DEVELOPMENT PLAN FOR TRACT D FOR MORE INFORMATION.
- THE EXISTING HOTEL ALBUQUERQUE (TRACTS A, B, AND C) IS TO REMAIN. BETWEEN THE EXISTING HOTEL (TRACTS A, B, AND C) AND TRACT D TO SUPPORT PARKING DEMAND ON TRACT D. BEYOND WHAT IS PROVIDED ON THE TRACT.
- PHASES OF DEVELOPMENT: THE MODIFICATIONS TO THE PARKING AREA WILL BE MADE IN ONE PHASE IN ASSOCIATION WITH DEVELOPMENT OF TRACT D.

PROJECT DATA

ADDRESS: 800 RIO GRANDE BLVD. NW, ALBUQUERQUE, NM 87104

LEGAL DESCRIPTION: TRACTS A, B, AND C OF SHERATON OLD TOWN INN COMPLEX, IN THE CITY OF ALBUQUERQUE, NEW MEXICO

ZONE: ALU-9 PAGE: 1-13

SITE AREA:

TRACTS A & B: 9,889 AC

TRACT D: 2,804 AC

ZONING: C-3

EXISTING BUILDING FOOTPRINT:

CHURCH: 2,488 SF

POOL HOUSE: 624 SF

LANDSCAPING: REFER TO SHEET SDP-2.1 FOR LANDSCAPE PLAN

PARKING CALCULATIONS

TOTAL PARKING SPACES REQUIRED PER CODE:

1 SPACE PER GUEST ROOM - 100 SPACES

TOTAL EXISTING PARKING:

STANDARD CAR SPACES

TOTAL CAR SPACES

MOTORCYCLE SPACES

TOTAL PROPOSED PARKING:

STANDARD CAR SPACES

TOTAL CAR SPACES

MOTORCYCLE SPACES

EXCESS PARKING ON SITE:

308 SPACES

TRACT D IS TO BE REMOVED FROM THIS PLAN IN A SEPARATE ACTION

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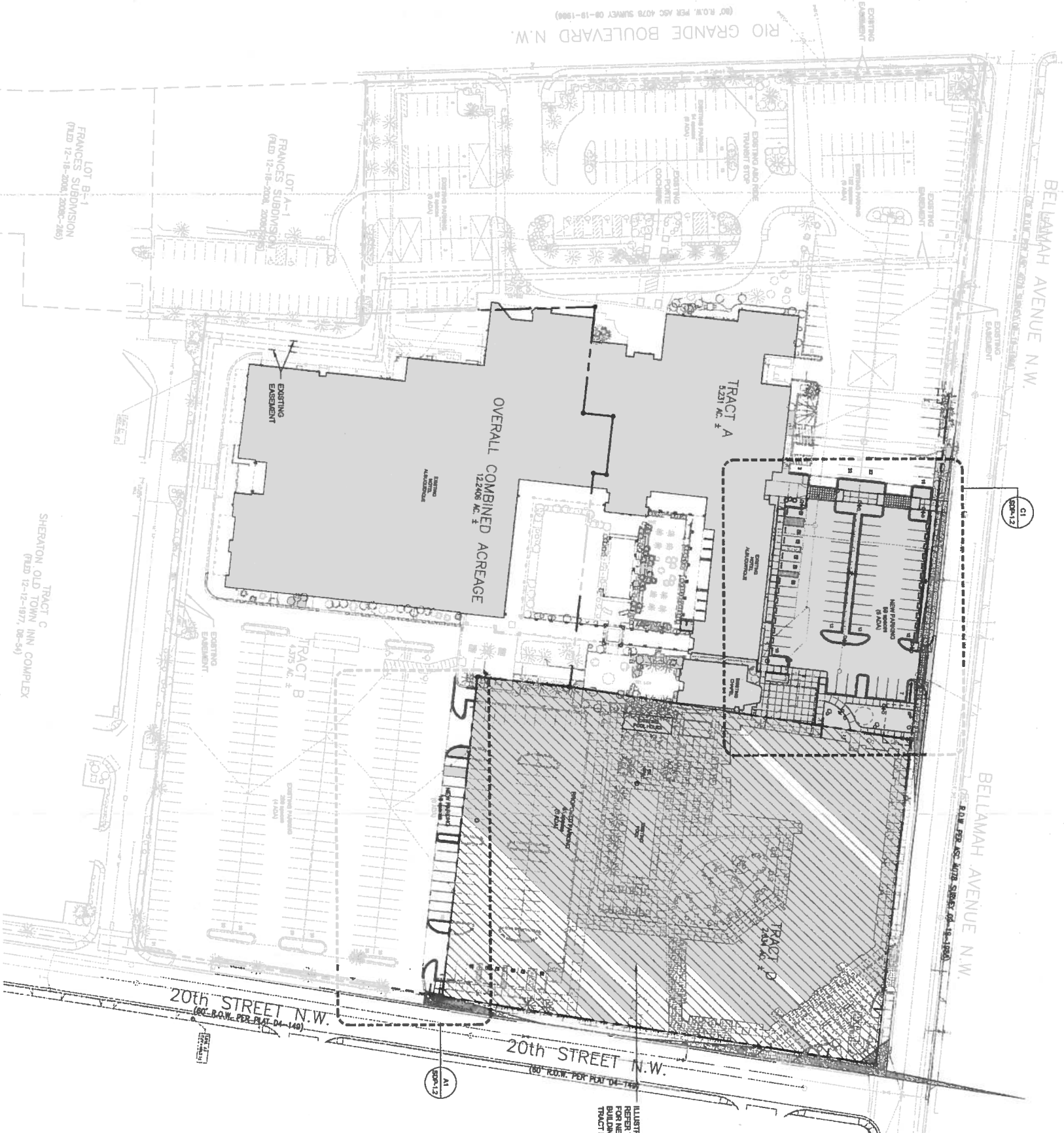
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TRACT D IS TO BE REMOVED FROM THIS PLAN IN A SEPARATE ACTION

LEGEND

- PROPERTY LINE
- EXISTING EASEMENT (ALL EASEMENTS ARE EXISTING)
- 24" MAX HT. POLE LIGHT, DOUBLE FULL CUT-OFF, DARK COLOR TO COORDINATE WITH EXISTING FIXTURES
- 36" MAX HT. POLE LIGHT, SINGLE FULL CUT-OFF, DARK COLOR TO COORDINATE WITH EXISTING FIXTURES



SITE PLAN

A1

NORTH

1" = 50'-0"

0

50'

100'

0

50'

100'

0

50'

100'

0

50'

100'



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 3/2018)

Project Title: Sawmill Market **Building Permit #:** _____ **Hydrology File #:** _____
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: TRS 340A2A1A2B, 340A2A2B & 340A2A1C MRGCD MAP 35 CONT 3.0136 AC M/L
City Address: 1909 Bellamah Ave. NW, Albuquerque, NM 87104

Applicant: Dekker Perich Sabatini **Contact:** Lana Idriss
Address: 7601 Jefferson NE, Suite 100, Albuquerque, NM 87109
Phone#: 505-761-9700 **Fax#:** _____ **E-mail:** lanai@dpsdesign.org
Other Contact: Heritage Hotels and Resorts **Contact:** Eric Haskins
Address: 201 Third St. NW Suite 1140, Albuquerque, NM 87102
Phone#: 505-212-9148 **Fax#:** _____ **E-mail:** ehaskins@hhandr.com

Check all that Apply:

IS THIS A RESUBMITTAL?: Yes ☒ No ☐

DEPARTMENT:

☒ HYDROLOGY/ DRAINAGE
☒ TRAFFIC/ TRANSPORTATION

TYPE OF SUBMITTAL:

☐ ENGINEER/ARCHITECT CERTIFICATION
☐ PAD CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
☐ ELEVATION CERTIFICATE
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ OTHER (SPECIFY) _____
☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ FLOODPLAIN DEVELOPMENT PERMIT
☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 2.11.2020 **By:** Lana Idriss

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

Gomez, Ernest P.

Appr. Per

From: Gomez, Ernest P.
Sent: Wednesday, February 12, 2020 3:32 PM
To: Gomez, Matthew D.
Cc: Biazar, Shahab; 'jpekin@hartconstruction.net'
Subject: 1909 Bellamah Ave NE (J13D017A) Sawmill Market

Good Afternoon,

Please release 1909 Bellamah Ave NE for 30 Day Temp CO for Transportation. This email serves as the 30day Temp letter.



ERNIE GOMEZ

plan checker

o 505.924.3981

e epgomez@cabq.gov

cabq.gov/planning