

CITY OF ALBUQUERQUE



March 13, 2020

Mimi Burns, RA
Dekker Perich Sabatini
7601 Jefferson NE
Albuquerque, NM 87109

Re: Sawmill Market
1909 Bellamah Ave NW, 87104
Request for Certificate of Occupancy
Transportation Development Final Inspection
Engineer's/Architect's Stamp dated 10-1-18 (J13D017A)
Certification dated 3-10-20

Dear Ms. Burns,

Based upon the information provided in your submittal received 3-11-20, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact Ernie Gomez at (505) 924-3981.

Sincerely,

Jeanne Wolfenbarger, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

Ernie Gomez
Plan Checker, Planning Dept.
Development Review Services

EG via: email
C: CO Clerk, File

TRAFFIC CERTIFICATION

DEKKER
PERICH
SABATINI

I, MIMI BURNS, NMRLA 274, OF THE FIRM DEKKER/PERICH/SABATINI, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 10-01-2018. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY LANA IDRIS OF THE FIRM DEKKER/PERICH/SABATINI. I FURTHER CERTIFY THAT PERSONALLY VISITED THE PROJECT SITE ON 03-06-2020, RECEIVED SITE WORK CONFIRMATION PHOTOS 03-10-2020, AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

Based on our observations, the following items differ from the attached approved TCL Plan but still meet the design intent:

1. Two parking spaces have been constructed as compact spaces due to site conditions.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



Signature of Engineer or Architect

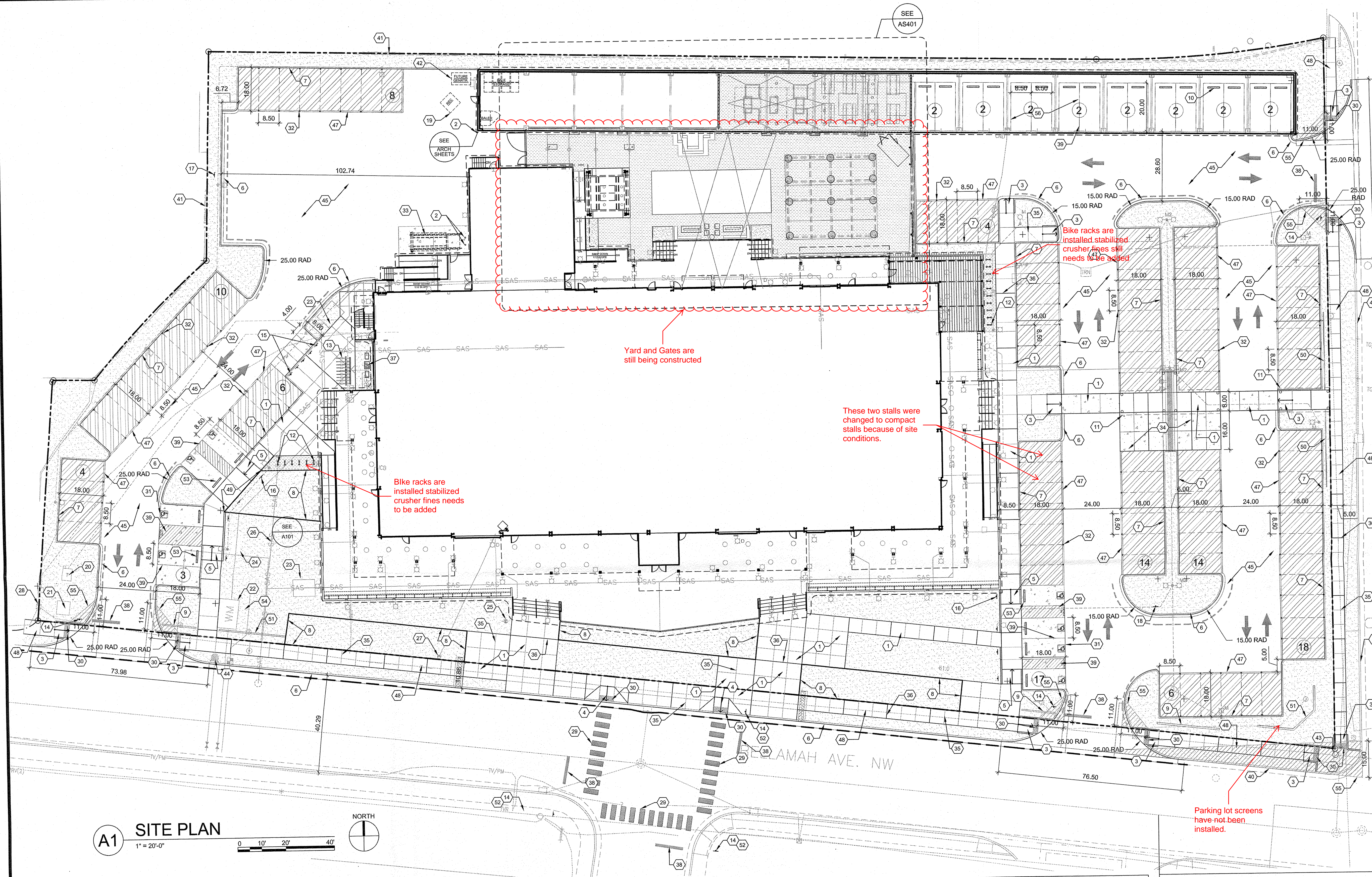
ENGINEER'S OR ARCHITECT'S STAMP



March 10, 2020

Date

**THIS CERTIFICATION MUST BE SUBMITTED ON COMPANY
LETTERHEAD, WITH AN ORIGINAL STAMP AND SIGNATURE**



GENERAL SHEET NOTES

1. CONTRACTOR IS TO VERIFY EXISTING UTILITY LOCATIONS BEFORE EXCAVATION.
2. SEE CIVIL PLANS FOR GRADING, DRAINAGE, AND UTILITY INFORMATION.
3. UTILITIES AND ASSOCIATED EQUIPMENT SHOWN FOR REFERENCE ONLY.
4. SITE LIGHTING SHALL CONSIST OF A COMBINATION OF BUILDING MOUNTED LIGHT FIXTURES AND POLE MOUNTED LIGHT FIXTURES. SEE SITE PLAN FOR POLE LOCATIONS. SEE LIGHTING PLAN FOR YARD AND VALET AREA SITE LIGHTING. ALL SITE PLAN DIMENSIONS ARE IN DECIMAL UNITS.
5. SIDEWALK JOINTS SHALL FOLLOW PATTERN AS SHOWN ON SITE PLAN.
6. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

PROJECT DATA

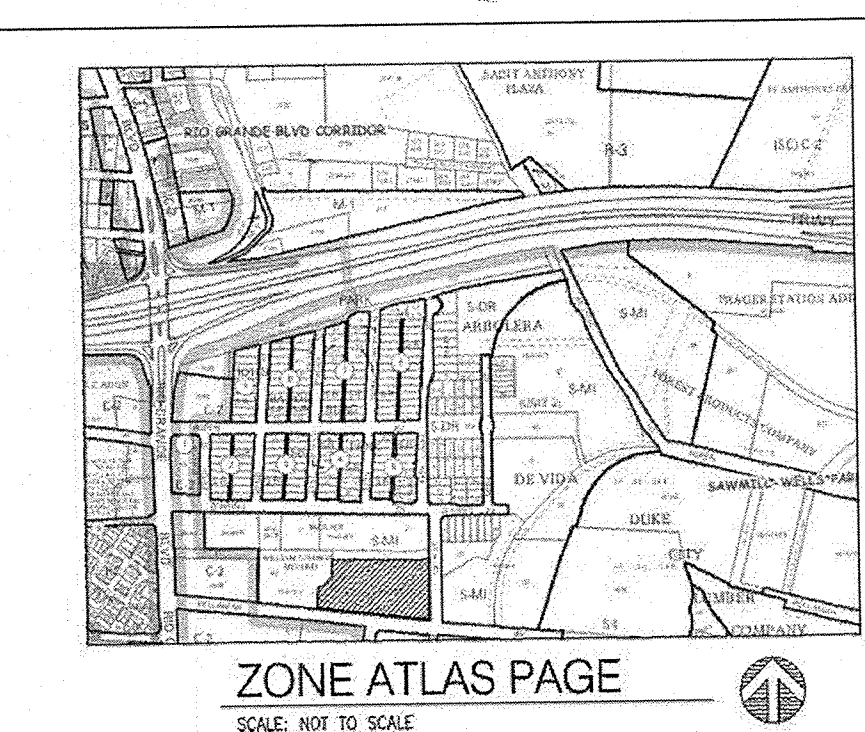
ADDRESS: 1909 BELLAMAH AVE. NW, ALBUQUERQUE, NM 87104
LEGAL DESCRIPTION: TRS 340A2A1A2B, 340A2A2B & 340A2A1C MRGCD MAP 35 CONT 3.0136 AC M/L
ZONE ATLAS PAGE: H-13
SITE AREA: 3.0136 AC
ZONING: NR-LM
BUILDING FOOTPRINT AND OUTDOOR DINING SPACES:
TOTAL BUILDING: 26,361 SF
MEZZANINE: 7,220 SF
TERRACE: 12,945 SF
YARD: 7,032 SF
LANDSCAPING: REFER TO SHEET LP101 FOR LANDSCAPE PLAN AND CALCULATIONS

SHEET KEYED NOTES

- | CODE | DESCRIPTION |
|------|--|
| 1 | CONCRETE PAVING WITH SALT FINISH, SEE A1/AS501 AND SPECIFICATIONS |
| 2 | PIPE BOLLARD, SEE E3/AS501 |
| 3 | CONCRETE ACCESSIBLE RAMP TYPE A, SEE A3/AS501 |
| 4 | CONCRETE RAMP TYPE B, SEE A4/AS501 |
| 5 | CONCRETE ACCESSIBLE RAMP TYPE C, SEE A5/AS501 |
| 6 | CONCRETE CURB AND GUTTER, SEE CIVIL |
| 7 | CONCRETE HEADER CURB, SEE CIVIL |
| 8 | STEEL PLANTERS, SEE DETAIL B5/AS501 AND SPECIFICATIONS |
| 9 | 3'-0" CMU WALL WITH STUCCO AND BRICK CAP, SEE B2/AS501 AND SPECIFICATIONS |
| 10 | WOOD PARKING BUMPER, SEE C3/AS501 AND SPECIFICATIONS |
| 11 | FUTURE STEEL TRELLIS, TO BE DESIGNED BY OWNER, NOT IN CONTRACT |
| 12 | BIKE RACKS, SEE C2/AS501 AND SPECIFICATIONS |
| 13 | PACE BIKE SHARE, PROVIDED BY OWNER |
| 14 | STOP SIGN, SEE D5/AS501 |
| 15 | MOTORCYCLE PARKING SIGN, SEE D5/AS501 |
| 16 | ACCESSIBLE PARKING SIGN, SEE D5/AS501 |
| 17 | NO PARKING SIGN, SEE D5/AS501 |
| 18 | VALET PARKING SIGN, SEE D5/AS501 |
| 19 | 6' YD. RECYCLING BIN, PROVIDED BY OWNER |
| 20 | TRANSFORMER, SEE ELECTRICAL |
| 21 | SWITCHGEAR, SEE ELECTRICAL |
| 22 | UNDERGROUND WATER METER, SEE CIVIL |
| 23 | GREASE TRAP, SEE CIVIL |
| 24 | BACKFLOW PREVENTOR, SEE CIVIL |
| 25 | POST INDICATOR VALVE, SEE CIVIL |
| 26 | SANITARY SEWER LINE, SEE CIVIL |
| 27 | POST TYPE FIRE DEPARTMENT CONNECTION, SEE CIVIL |
| 28 | COMMUNICATIONS PEDESTAL, SEE ELECTRICAL |
| 29 | PAINTED CROSSWALK, SEE D3/AS501 |
| 30 | DETECTABLE WARNING SURFACE, SEE B3/AS501 |
| 31 | ADA PAVEMENT MARKING, SEE D4/AS501 |
| 32 | LOW PROFILE PARKING SPACE DEMARCATION MARKER 100 MM, FINISH: BRONZE, SOURCE: URBANFINISH OR APPROVED EQUAL BY OWNER. |
| 33 | COMPACTOR, 30 CU. YD. CAPACITY WITH ANGLE IRON WHEEL STOPS, PROVIDED BY OWNER |
| 34 | CONCRETE VALET DRIVE, SEE CIVIL, SALT FINISH |
| 35 | CONCRETE CONTROL JOINT, SEE A6/AS501 |
| 36 | CONCRETE EXPANSION JOINT, SEE A6/AS501 |
| 37 | IRRI-GARD BACKFLOW PREVENTER, SEE L101 |
| 38 | STOP LINE PAVEMENT STRIPING, SEE D2/AS501 |
| 39 | PARKING STRIPING, SEE B4/AS501 |
| 40 | EXISTING CURB TO REMAIN |
| 41 | EXISTING FENCE TO REMAIN |
| 42 | FUTURE GENERATOR, SEE ELECTRICAL |
| 43 | EXISTING FIRE HYDRANT TO REMAIN |
| 44 | NEW FIRE HYDRANT, SEE CIVIL |
| 45 | ASPHALT PAVING, SEE CIVIL |
| 46 | CONCRETE FLUSH CURB, SEE CIVIL |
| 47 | CONCRETE SIDEWALK WITH SALT FINISH PER COA DPM STD. 2430 |
| 48 | 6" TALL STEEL EDGING, SEE B5/AS501 AND SPECIFICATIONS |
| 49 | 3'-0" TALL TRELLIS, SEE DETAIL E1/AS501 AND SPECIFICATIONS |
| 50 | MONUMENT SIGN, BY OTHERS |
| 51 | PEDESTRIAN CROSSING SIGN, SEE D5/AS501 |
| 52 | CONCRETE PARKING BUMPER, SEE C4/AS501 |
| 53 | EXISTING ASPHALT PAVING TO REMAIN, SEE CIVIL |
| 54 | CLEAR SIGHT TRIANGLE |
| 55 | |

SITE CALCULATIONS

REQUIRED PARKING FOR NEW BUILDING (8 STALLS/1000SF)
REQUIRED PARKING FOR OUTDOOR DINING AREAS (5 STALLS/1,000 SF)
TOTAL REQUIRED PARKING STALLS: 369
TOTAL PARKING STALLS PROVIDED ON SITE: 120
TOTAL SHARED PARKING STALLS PROVIDED: 249
MOTORCYCLE PARKING STALLS REQUIRED: 5
MOTORCYCLE STALLS PROVIDED: 5
ACCESSIBLE PARKING STALLS REQUIRED: 8 (2 VAN)
ACCESSIBLE PARKING STALLS PROVIDED: 8 (2 VAN)
BICYCLE PARKING STALLS REQUIRED: 32
BICYCLE PARKING STALLS PROVIDED: 32
THE REMAINDER OF THE PARKING REQUIREMENT (249 SPACES, 67 % OF REQUIREMENT) SHALL BE MET BY A SHARED PARKING AGREEMENT WITH HOTEL CHACO/HOTEL ALBUQUERQUE, WHICH ARE UNDER THE SAME OWNERSHIP AS SAWMILL MARKET AND ARE LOCATED DIRECTLY ACROSS BELLAMAH AVENUE. PER PREVIOUSLY APPROVED DRB SUBMITTALS, HOTEL ALBUQUERQUE / HOTEL CHACO HAVE A SURPLUS OF 306 SPACES. AFTER ALLOCATING 249 SPACES FOR SAWMILL MARKET AND 31 FOR THE PREVIOUSLY APPROVED ART BARN (ARTECHOUSE), HOTEL ALBUQUERQUE / HOTEL CHACO HAVE A REMAINING SURPLUS OF 26 SPACES.



LEGEND

- PROPERTY LINE
- FIRE LANE STRIPING, SEE D1/AS501
- 3" DEPTH OF STABILIZED CRUSHER FINES, COLOR SMOKE, SEE B1/AS501
- LANDSCAPE AREA, SEE LANDSCAPE SHEETS
- IRRIGATED TURF, SEE LANDSCAPE SHEETS
- HEAVY DUTY CONCRETE, SEE CIVIL SHEETS
- PERVIOUS PAVING, SEE CIVIL SHEETS
- PAINTED PAVEMENT MARKING, SEE E5/AS501

TRAFFIC CIRCULATION LAYOUT
APPROVED
audrey
10-17-18
Date

TRAFFIC CIRCULATION LAYOUT
APPROVED
Date

ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

ERIC HASKINS, AIA
ARCHITECT

201 THIRD STREET NW
SUITE 1140
ALBUQUERQUE, NM 87102

505.212.9148

CONSULTANT

STAMP

SAWMILL MARKET, PHASE 1
SITE, SHELL, COMMON AREAS

1909 BELLAMAH AVENUE NW
ALBUQUERQUE, NEW MEXICO

DATE 10.9.2018

DRAWN BY LI

CHECKED BY MB

SCALE 1"=20'

SHEET TITLE
TCL
SITE PLAN

JOB NUMBER 18-0041

SHEET NUMBER

TCL

