

CITY OF ALBUQUERQUE



October 17, 2018

Dekker Perich Sabatini
Lana Idriss
7601 Jefferson NE Suite 100
Albuquerque, NM

Re: Sawmill market
1909 Bellamah Ave. NW Albuquerque NM
Traffic Circulation Layout
Engineer's/Architect's Stamp 10-01-2018 (J13-D017A)

Dear Ms. Idriss,

The TCL submittal received 10-17-18 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

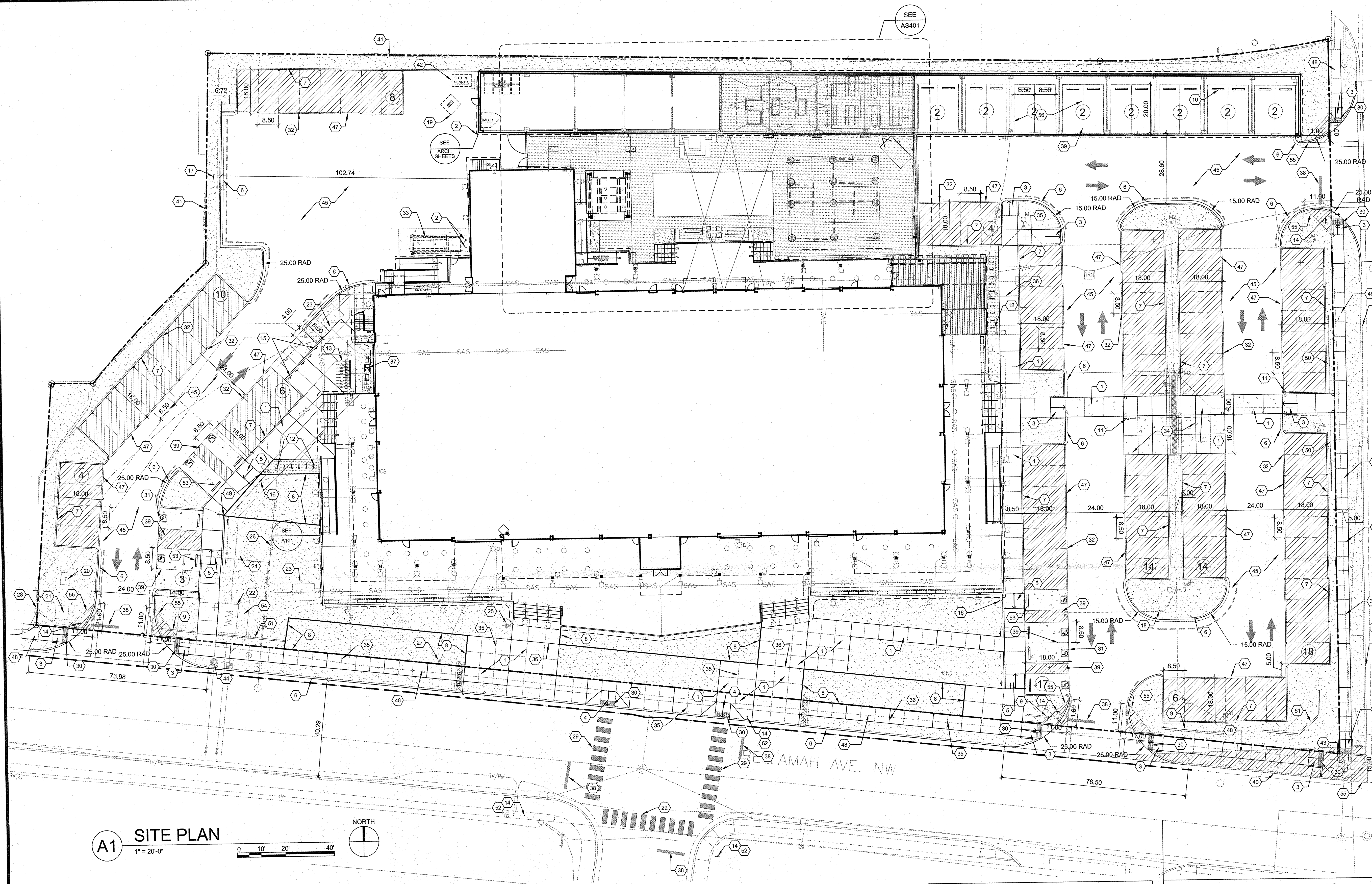
When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

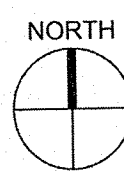
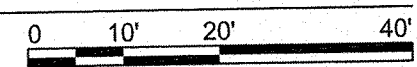
Sincerely,

Mojgan Maadandar
Associate Engineer, Planning Dept.
Development Review Services

MM via: email
C: File



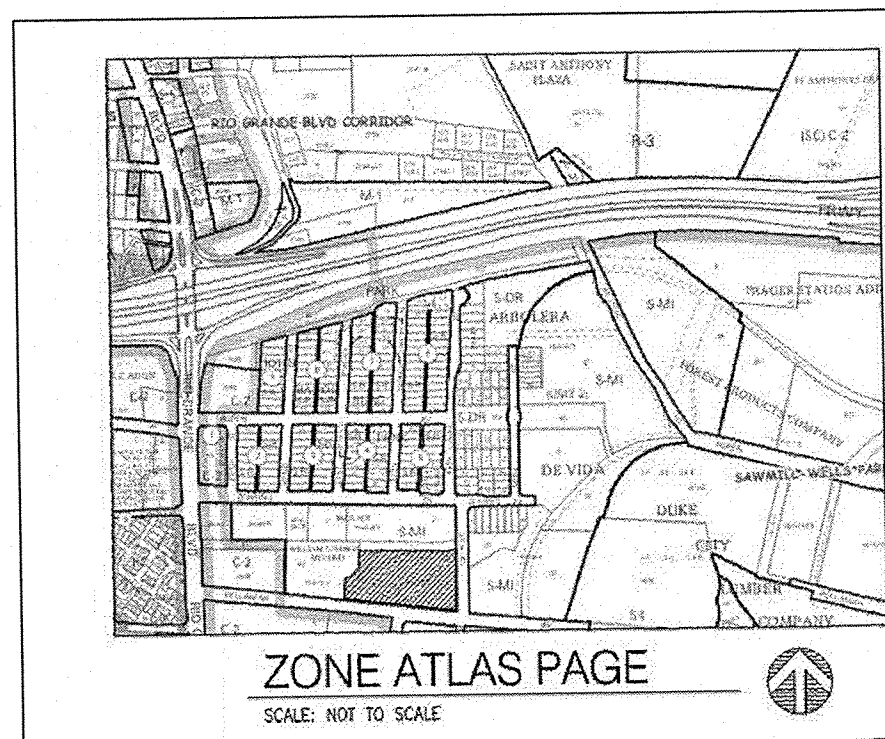
A1 SITE PLAN
1" = 20'-0"



TRAFFIC CIRCULATION LAYOUT
APPROVED
audrey
10-17-18
Date

TRAFFIC CIRCULATION LAYOUT
APPROVED
Date

ALL WHEELCHAIR RAMPS LOCATED
WITHIN THE PUBLIC RIGHT OF WAY
MUST HAVE TRUNCATED DOMES.



SITE CALCULATIONS

REQUIRED PARKING FOR NEW BUILDING (8 STALLS/1000SF)
REQUIRED PARKING FOR OUTDOOR DINING AREAS (5 STALLS/1,000 SF)
TOTAL REQUIRED PARKING STALLS: 369
TOTAL PARKING STALLS PROVIDED ON-SITE: 120
TOTAL SHARED PARKING STALLS PROVIDED: 249

MOTORCYCLE PARKING STALLS REQUIRED: 5
MOTORCYCLE STALLS PROVIDED: 5

ACCESSIBLE PARKING STALLS REQUIRED: 8 (2 VAN)
ACCESSIBLE PARKING STALLS PROVIDED: 8 (2 VAN)

BICYCLE PARKING STALLS REQUIRED: 32
BICYCLE PARKING STALLS PROVIDED: 32

THE REMAINDER OF THE PARKING REQUIREMENT (249 SPACES, 67 % OF REQUIREMENT) SHALL BE MET BY A SHARED PARKING AGREEMENT WITH HOTEL CHACO/HOTEL ALBUQUERQUE, WHICH ARE UNDER THE SAME OWNERSHIP AS SAWMILL MARKET AND ARE LOCATED DIRECTLY ACROSS BELLAMAH AVENUE. PER PREVIOUSLY APPROVED DRB SUBMITTALS, HOTEL ALBUQUERQUE / HOTEL CHACO HAVE A SURPLUS OF 306 SPACES. AFTER ALLOCATING 249 SPACES FOR SAWMILL MARKET AND 31 FOR THE PREVIOUSLY APPROVED ART BARN (ARTECHOUSE), HOTEL ALBUQUERQUE / HOTEL CHACO HAVE A REMAINING SURPLUS OF 26 SPACES.

GENERAL SHEET NOTES

- CONTRACTOR IS TO VERIFY EXISTING UTILITY LOCATIONS BEFORE EXCAVATION.
- SEE CIVIL PLANS FOR GRADING, DRAINAGE, AND UTILITY INFORMATION.
- UTILITIES AND ASSOCIATED EQUIPMENT SHOWN FOR REFERENCE ONLY.
- SITE LIGHTING SHALL CONSIST OF A COMBINATION OF BUILDING MOUNTED LIGHT FIXTURES AND POLE MOUNTED LIGHT FIXTURES. SEE SITE PLAN FOR POLE LOCATIONS. SEE LIGHTING PLAN FOR YARD AND VALET AREA SITE LIGHTING. ALL SITE PLAN DIMENSIONS ARE IN DECIMAL UNITS.
- SIDEWALK JOINTS SHALL FOLLOW PATTERN AS SHOWN ON SITE PLAN.
- LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

PROJECT DATA

ADDRESS: 1909 BELLAMAH AVE. NW, ALBUQUERQUE, NM 87104
LEGAL DESCRIPTION: TRS 340A2A1A2B, 340A2A2B & 340A2A1C MRGCD MAP 35 CONT 3.0136 AC M/L
ZONE ATLAS PAGE: H-13
SITE AREA: 3.0136 AC
ZONING: NR-LM
BUILDING FOOTPRINT AND OUTDOOR DINING SPACES:
TOTAL BUILDING: 26,361 SF
MEZZANINE: 7,220 SF
TERRACE: 12,945 SF
YARD: 7,032 SF
LANDSCAPING: REFER TO SHEET LP101 FOR LANDSCAPE PLAN AND CALCULATIONS

SHEET KEYED NOTES

- | CODE | DESCRIPTION |
|------|--|
| 1 | CONCRETE PAVING WITH SALT FINISH, SEE A1/AS501 AND SPECIFICATIONS |
| 2 | PIPE BOLLARD, SEE E3/AS501 |
| 3 | CONCRETE ACCESSIBLE RAMP TYPE A, SEE A3/AS501 |
| 4 | CONCRETE RAMP TYPE B, SEE A4/AS501 |
| 5 | CONCRETE ACCESSIBLE RAMP TYPE C, SEE A5/AS501 |
| 6 | CONCRETE CURB AND GUTTER, SEE CIVIL |
| 7 | CONCRETE HEADER CURB, SEE CIVIL |
| 8 | STEEL PLANTERS, SEE DETAIL B5/AS501 AND SPECIFICATIONS |
| 9 | 3'-0" CMU WALL WITH STUCCO AND BRICK CAP, SEE B2/AS501 AND SPECIFICATIONS |
| 10 | WOOD PARKING BUMPER, SEE C3/AS501 AND SPECIFICATIONS |
| 11 | FUTURE STEEL TRELLIS, TO BE DESIGNED BY OWNER, NOT IN CONTRACT |
| 12 | BIKE RACKS, SEE C2/AS501 AND SPECIFICATIONS |
| 13 | PACE BIKE SHARE, PROVIDED BY OWNER |
| 14 | STOP SIGN, SEE D5/AS501 |
| 15 | MOTORCYCLE PARKING SIGN, SEE D5/AS501 |
| 16 | ACCESSIBLE PARKING SIGN, SEE D5/AS501 |
| 17 | NO PARKING SIGN, SEE D5/AS501 |
| 18 | VALET PARKING SIGN, SEE D5/AS501 |
| 19 | 6' YD. RECYCLING BIN, PROVIDED BY OWNER |
| 20 | TRANSFORMER, SEE ELECTRICAL |
| 21 | SWITCHGEAR, SEE ELECTRICAL |
| 22 | UNDERGROUND WATER METER, SEE CIVIL |
| 23 | GREASE TRAP, SEE CIVIL |
| 24 | BACKFLOW PREVENTOR, SEE CIVIL |
| 25 | POST INDICATOR VALVE, SEE CIVIL |
| 26 | SANITARY SEWER LINE, SEE CIVIL |
| 27 | POST TYPE FIRE DEPARTMENT CONNECTION, SEE CIVIL |
| 28 | COMMUNICATIONS PEDESTAL, SEE ELECTRICAL |
| 29 | PAINTED CROSSWALK, SEE D3/AS501 |
| 30 | DETECTABLE WARNING SURFACE, SEE B3/AS501 |
| 31 | ADA PAVEMENT MARKING, SEE D4/AS501 |
| 32 | LOW PROFILE PARKING SPACE DEMARCATION MARKER 100 MM, FINISH: BRONZE, SOURCE: URBANFINISH OR APPROVED EQUAL BY OWNER. |
| 33 | COMPACTOR, 30 CU. YD. CAPACITY WITH ANGLE IRON WHEEL STOPS, PROVIDED BY OWNER |
| 34 | CONCRETE VALET DRIVE, SEE CIVIL, SALT FINISH |
| 35 | CONCRETE CONTROL JOINT, SEE A6/AS501 |
| 36 | CONCRETE EXPANSION JOINT, SEE A6/AS501 |
| 37 | IRREGULAR BACKFLOW PREVENTER, SEE L101 |
| 38 | STOP LINE PAVEMENT STRIPING, SEE D2/AS501 |
| 39 | PARKING STRIPING, SEE B4/AS501 |
| 40 | EXISTING CURB TO REMAIN |
| 41 | EXISTING FENCE TO REMAIN |
| 42 | FUTURE GENERATOR, SEE ELECTRICAL |
| 43 | EXISTING FIRE HYDRANT TO REMAIN |
| 44 | NEW FIRE HYDRANT, SEE CIVIL |
| 45 | ASPHALT PAVING, SEE CIVIL |
| 46 | CONCRETE FLUSH CURB, SEE CIVIL |
| 47 | CONCRETE SIDEWALK WITH SALT FINISH PER COA DPM STD. 2430 |
| 48 | 6" TALL STEEL EDGING, SEE B5/AS501 AND SPECIFICATIONS |
| 49 | 3'-0" TALL TRELLIS, SEE DETAIL E1/AS501 AND SPECIFICATIONS |
| 50 | MONUMENT SIGN, BY OTHERS |
| 51 | PEDESTRIAN CROSSING SIGN, SEE D5/AS501 |
| 52 | CONCRETE PARKING BUMPER, SEE C4/AS501 |
| 53 | EXISTING ASPHALT PAVING TO REMAIN, SEE CIVIL |
| 54 | CLEAR SIGHT TRIANGLE |

LEGEND

- PROPERTY LINE
- FIRE LANE STRIPING, SEE D1/AS501
- 3" DEPTH OF STABILIZED CRUSHER FINES, COLOR SMOKE, SEE B1/AS501
- LANDSCAPE AREA, SEE LANDSCAPE SHEETS
- IRRIGATED TURF, SEE LANDSCAPE SHEETS
- HEAVY DUTY CONCRETE, SEE CIVIL SHEETS
- PERVIOUS PAVING, SEE CIVIL SHEETS
- PAINTED PAVEMENT MARKING, SEE E5/AS501

ERIC HASKINS,
ARCHITECT

201 THIRD STREET NW
SUITE 1140
ALBUQUERQUE, NM 87102

505.212.9148

CONSULTANT

STAMP

SAWMILL MARKET, PHASE 1
SITE, SHELL, COMMON AREAS

1909 BELLAMAH AVENUE NW
ALBUQUERQUE, NEW MEXICO

DATE 10.9.2018

DRAWN BY LI

CHECKED BY MB

SCALE 1"=20'

SHEET TITLE
TCL
SITE PLAN

JOB NUMBER 18-0041

SHEET NUMBER

TCL