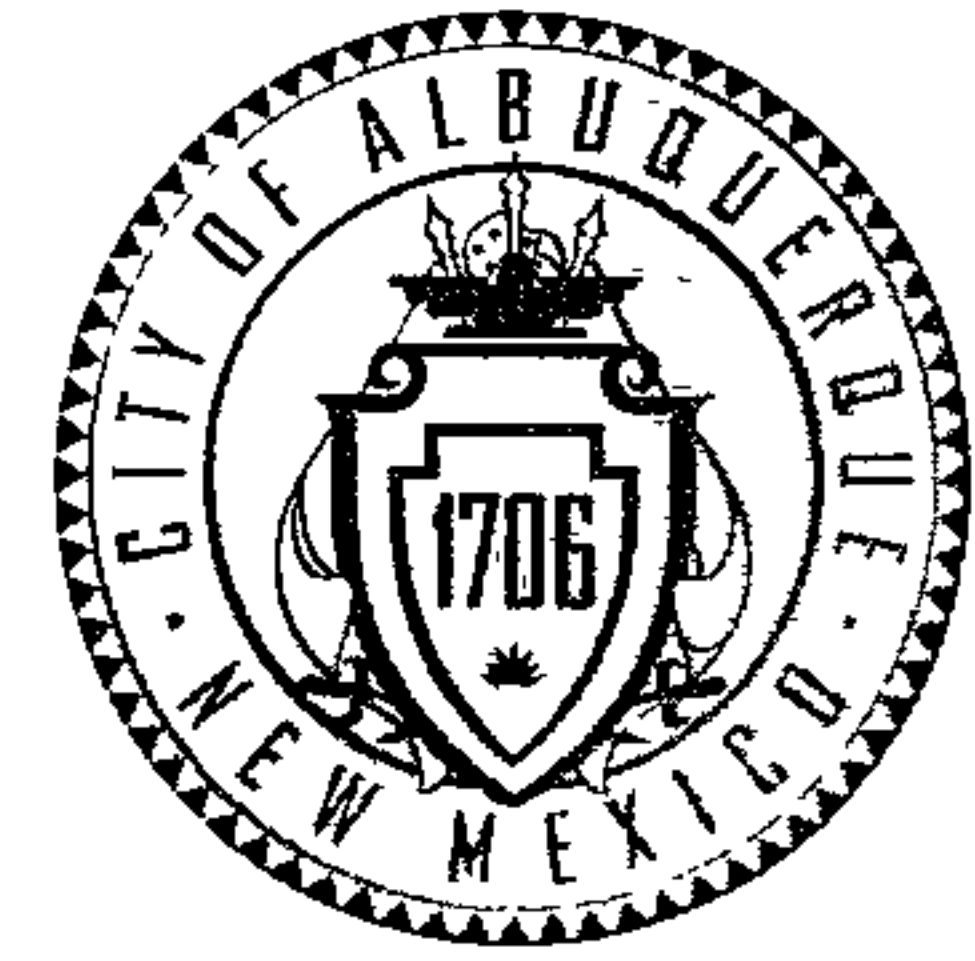


CITY OF ALBUQUERQUE



June 25, 2012

Richard Bennett, R.A.
Rick Bennett Architects
1104 Park Ave. SW
Albuquerque, NM 87102

**Re: Pueblo Viejo, No Address Provided, Traffic Circulation Layout
Architect's Stamp dated 06-05-12 (J13-D024)**

Dear Mr. Bennett,

Based upon the information provided in your submittal received 06-05-12, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Records indicate that this portion of Willis Place SW (DRB Project Number 1007081) was approved to be vacated on July 27, 2011. However, there is no record of a platting action finalizing this vacation. Prior to any building permit approval, the final plat must be approved and recorded. Please provide a copy with the next submittal.
2. Clearly show all adjacent lot lines. Identify all adjacent lots.
3. Access easements are shown with Lots 7A, 7B, and 145B. These easements must be recorded, preferably with the platting action, prior to approval.
4. Clearly show how access will be shared with lot 145B. Does lot 145B access Central directly?
5. What is the address for the site?
6. This site was approved for 4 on-street parking credits on March 26, 2012. However, Transportation Development did not approve striping the parking stalls on the roadway. Please remove all on-street striping.
7. The parking calculations show shared parking with lot 7A. This requires a Shared Parking Agreement, signed by the City Attorney and the City Planning Director. Please refer to Appendix J of the *City of Albuquerque Zoning Code* for a sample agreement.
8. List radii for all curves shown; for passenger vehicles, the minimum end island radius is 15 feet.
9. Existing and proposed water meters are shown in the proposed parking stalls (see keyed notes 40 and 41). Are these meters traffic rated?
10. The handicapped spaces must include an 8-foot wide van access aisle; all other aisles should be 5 feet in width.

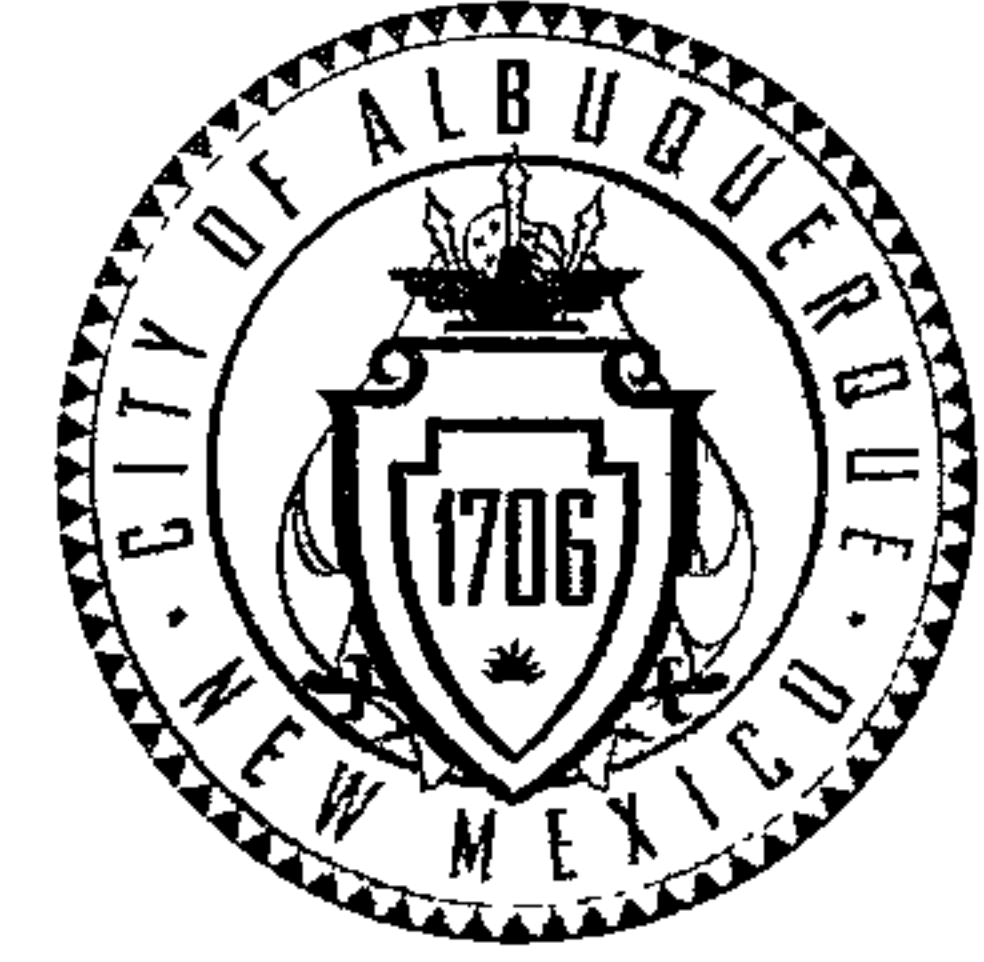
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Albuquerque

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11. Label the compact parking spaces by placing the words "compact" on the pavement of each space.
12. A standard parking stall is 18 feet long, with a maximum 2-foot overhang. Overhang is not permitted across the property line.
13. Define width of all sidewalk, existing and proposed.
14. Keyed note 10 refers to City of Albuquerque Standard 2425; please revise to refer to City of Albuquerque Standard 2426.
15. Provide a legend, defining all linetypes and hatching.
16. Keyed note 11 defines a pedestrian way. However, this appears to be a valley gutter. Please remove proposed striping.
17. All sidewalks within the site must be 6 feet in width.
18. Clarify how vehicles will maneuver within the dead end parking aisle.
19. Per the *Development Process Manual*, Chapter 27, Section 2, Part B.1, only the following scales may be used:
 - 1" = 50'
 - 1" = 40'
 - 1" = 20'
 - 1" = 10'
 - 1" = 100' (for overall layouts only)

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If you have any questions, you can contact me at 924-3991.

Sincerely,

NM 87103

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

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C: File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 02/2012)

PROJECT TITLE: PUEBLO VIEJO ZONE MAP: J-13-2024
DRB#: _____ EPC#: _____ WORK ORDER#: _____
LEGAL DESCRIPTION: LOT C-1, SHELL SUBDIVISION WITHIN TOWN OF ALBUQUERQUE GRANT
CITY ADDRESS: _____
ENGINEERING FIRM: BRASHER & LORENZ INC CONTACT: DENNIS LORENZ
ADDRESS: 2201 SAN PEDRO DR NE PHONE: 505-888-6088
CITY, STATE: ALB, NM ZIP CODE: 87110
EMAIL: DENNISL@BRASHERLORENZ.COM

OWNER: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: RBA CONTACT: RICK BENNETT
ADDRESS: 1104 PARK AVE PHONE: 242-1859
CITY, STATE: ALB, NM ZIP CODE: 87102
EMAIL: RICK@RBAB1.COM

SURVEYOR: HARRIS SURVEYING INC CONTACT: TONY HARRIS
ADDRESS: 2412 MONROE ST NW PHONE: 505-889-8056
CITY, STATE: ALB, NM ZIP CODE: 87110

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:
____ DRAINAGE REPORT
____ DRAINAGE PLAN 1st SUBMITTAL
____ DRAINAGE PLAN RESUBMITTAL
____ CONCEPTUAL G & D PLAN
____ GRADING PLAN
____ EROSION CONTROL PLAN
____ ENGINEER'S CERT (HYDROLOGY)
____ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT
____ ENGINEER'S CERT (TCL)
____ ENGINEER'S CERT (DRB SITE PLAN)
____ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:
____ SIA/FINANCIAL GUARANTEE RELEASE
____ PRELIMINARY PLAT APPROVAL
____ S. DEV. PLAN FOR SUB'D APPROVAL
____ S. DEV. FOR BLDG. PERMIT APPROVAL
____ SECTOR PLAN APPROVAL
____ FINAL PLAT APPROVAL
____ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
____ CERTIFICATE OF OCCUPANCY (PERM)
____ CERTIFICATE OF OCCUPANCY (TEMP)
____ GRADING PERMIT APPROVAL
____ PAVING PERMIT APPROVAL
____ WORK ORDER APPROVAL
____ GRADING CERTIFICATION
____ OTHER (SPECIFY) SO-19

WAS A PRE-DESIGN CONFERENCE ATTENDED:
____ YES
☒ NO
____ COPY PROVIDED

DATE SUBMITTED: _____ BY: _____

2
**HYDROLOGY
SECTION**

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

