

# DRAINAGE INFORMATION SHEET

PROJECT TITLE: Walgreens - Rio Grande ZONE ATLAS/DRNG, FILE#: J-13/431  
DRB #: \_\_\_\_\_ EPC #: \_\_\_\_\_ WORK ORDER #: \_\_\_\_\_  
LEGAL DESCRIPTION: Tract A-2, Park Addition  
CITY ADDRESS: NW corner of Rio Grande and Central

ENGINEERING FIRM: Mark Goodwin & Associates PA CONTACT: Mark Goodwin PE  
ADDRESS: PO Box 90606 PHONE: 345-2010  
OWNER: Walgreens CONTACT: Mike  
ADDRESS: 2325 San Pedro NE #2A PHONE: 884-9110  
ARCHITECT: George Rainhart, AIA CONTACT: George Rainhart  
ADDRESS: 2325 San Pedro NE #2A PHONE: 884-9110  
SURVEYOR: John Esquibel CONTACT: John Esquibel  
ADDRESS: 1330 San Pedro PHONE: 266-8791  
CONTRACTOR: WILGAR Enterprises CONTACT: John Wilgar  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

## TYPE OF SUBMITTAL:

\_\_\_\_ DRAINAGE REPORT  
\_\_\_\_ DRAINAGE PLAN  
\_\_\_\_ CONCEPTUAL GRADING & DRAINAGE PLAN  
\_\_\_\_ GRADING PLAN  
\_\_\_\_ EROSION CONTROL PLAN  
☒ ENGINEER'S CERTIFICATION  
\_\_\_\_ OTHER

## PRE-DESIGN MEETING:

\_\_\_\_ YES  
☒ NO  
\_\_\_\_ COPY PROVIDED

## CHECK TYPE OF APPROVAL SOUGHT:

\_\_\_\_ SKETCH PLAT APPROVAL  
\_\_\_\_ PRELIMINARY PLAT APPROVAL  
\_\_\_\_ S. DEV. PLAN FOR SUB'D APPROVAL  
\_\_\_\_ S. DEV. PLAN FOR BLDG PERMIT APPROVAL  
\_\_\_\_ SECTOR PLAN APPROVAL  
\_\_\_\_ FINAL PLAT APPROVAL  
\_\_\_\_ FOUNDATION PERMIT APPROVAL  
\_\_\_\_ BUILDING PERMIT APPROVAL  
☒ CERTIFICATION OF OCCUPANCY APPROVAL  
\_\_\_\_ GRADING PERMIT APPROVAL  
\_\_\_\_ PAVING PERMIT APPROVAL  
\_\_\_\_ S.A.D. DRAINAGE REPORT  
\_\_\_\_ DRAINAGE REQUIREMENTS  
\_\_\_\_ OTHER \_\_\_\_\_ (Specify)

DATE SUBMITTED: 8/12/96

BY: Mark Goodwin  
Mark Goodwin PE

30 day  
Leave temp CO  
on 8/21/96  
4AM

103 12 00



50-19  
by subway

**PUBLIC WORKS DEPARTMENT**  
**SIDEWALK & DRIVEPAD INSPECTION**

**APPROVED**

  
Inspector

Permits Dispatch Insp. Office  
Phone: 768-2551 857-8025 857-8036

South Hill  
P. entrance  
4/2/16

**PUBLIC WORKS DEPARTMENT**  
**SIDEWALK & DRIVEPAD INSPECTION**

**APPROVED**

  
Inspector

Permits Dispatch Insp. Office  
Phone: 768-2551 857-8025 857-8036

104' P. entrance

**PUBLIC WORKS DEPARTMENT**  
**SIDEWALK & DRIVEPAD INSPECTION**

**APPROVED**

  
Inspector

Permits Dispatch Insp. Office  
Phone: 768-2551 857-8025 857-8036

P. entrance  
on central  
4/10/16

**PUBLIC WORKS DEPARTMENT**  
**SIDEWALK & DRIVEPAD INSPECTION**

**APPROVED**

  
Inspector

Permits Dispatch Insp. Office  
Phone: 768-2551 857-8025 857-8036



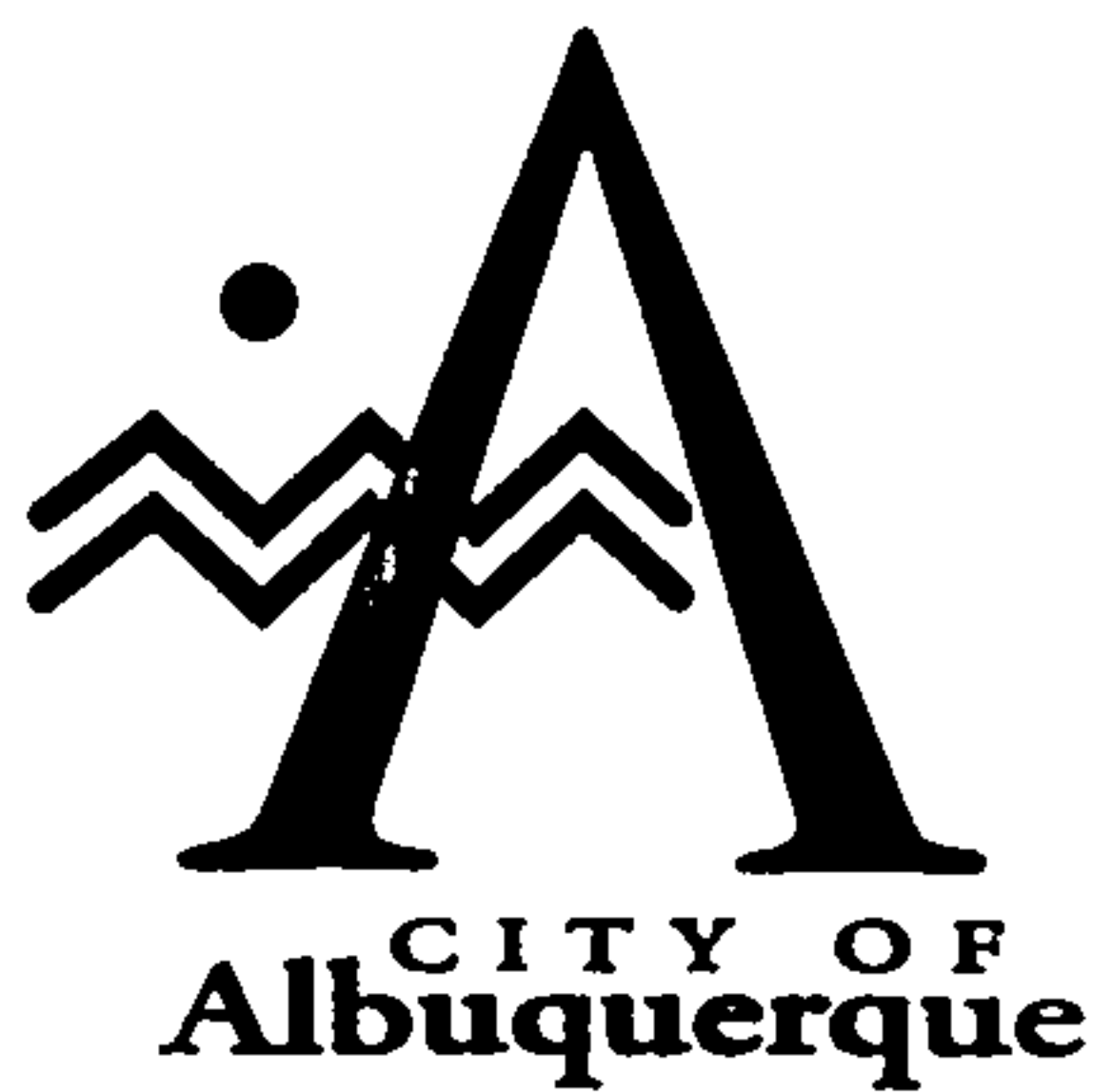
Date 7-18-96 Permit No. 981082  
Contractor Cambro Const  
Location 2505 Central  
Time 2:00 pm

Date 7-5-96 Permit No. 980669  
Contractor Cambro Const  
Location 2105 Central Ave  
Time 9:30 AM

Date 7-10-96 Permit No. 980916  
Contractor Cambro Const  
Location 2105 Central Ave  
Time 9:00 AM

Date 7-10-96 Permit No. \_\_\_\_\_  
Contractor Cambro Const  
Location 2105 Central  
Time 9:00 AM





September 3, 1996

Martin J. Chávez, Mayor

Mark Goodwin, PE  
Mark Goodwin & Assoc.  
P.O. Box 90606  
Albuquerque, NM 87199

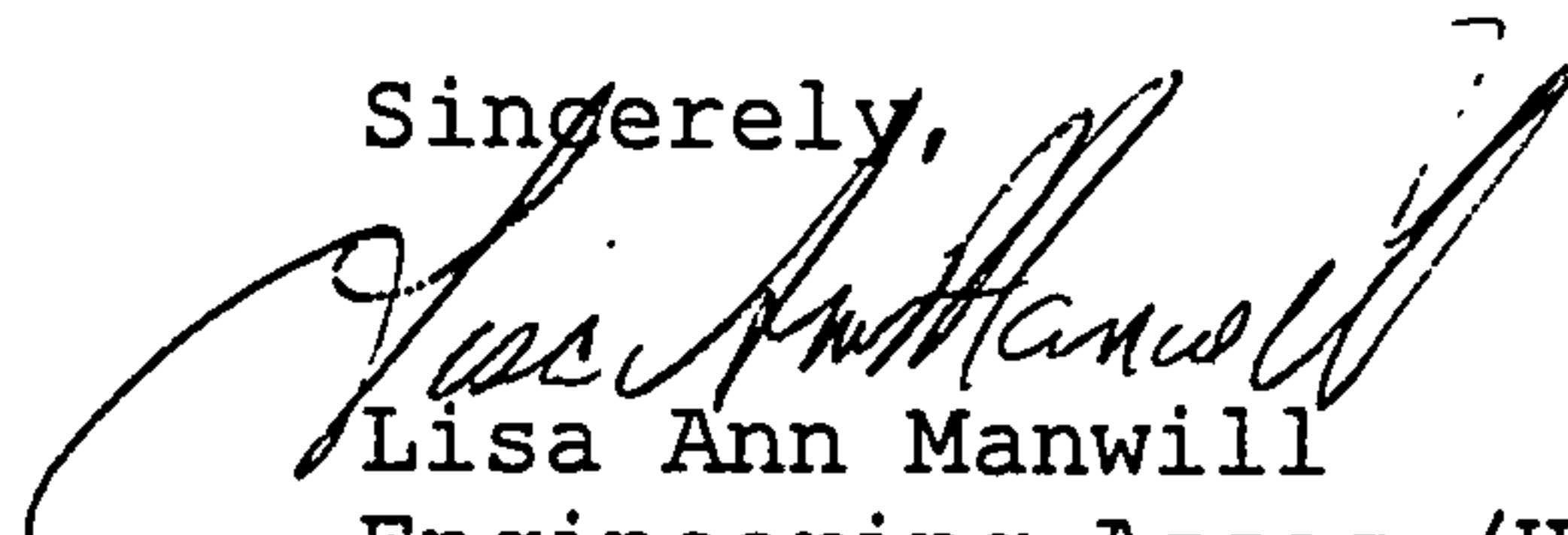
**RE: WALGREENS - RIO GRANDE(J13-D31). ENGINEER'S CERTIFICATION  
FOR CERTIFICATE OF OCCUPANCY. ENGINEER'S CERTIFICATION  
DATED AUGUST 12, 1996.**

Dear Mr. Goodwin:

Based on the information provided on your August 12, 1996  
submittal, the above referenced project is approved for  
Certificate of Occupancy.

If I can be of further assistance, please feel free to contact me  
at 768-3622.

Sincerely,



Lisa Ann Manwill  
Engineering Assoc./Hyd.

c: Andrew Garcia  
File

Good for You, Albuquerque!



# DRAINAGE INFORMATION SHEET

PROJECT TITLE: Walgreens - Rio Grande ZONE ATLAS/DRNG, FILE#: J-13 / 1031  
DRB #: \_\_\_\_\_ EPC #: \_\_\_\_\_ WORK ORDER #: \_\_\_\_\_  
LEGAL DESCRIPTION: Tract A-2, Park Addition  
CITY ADDRESS: NW corner of Rio Grande and Central

ENGINEERING FIRM: Mark Goodwin & Associates PA CONTACT: Mark Goodwin PE  
ADDRESS: PO Box 90606 PHONE: 345-2010  
OWNER: Walgreens CONTACT: Mike  
ADDRESS: 2325 San Pedro NE #2A PHONE: 884-9110  
ARCHITECT: George Rainhart, AIA CONTACT: George Rainhart  
ADDRESS: 2325 San Pedro NE #2A PHONE: 884-9110  
SURVEYOR: John Esquibel CONTACT: John Esquibel  
ADDRESS: 1330 San Pedro PHONE: 266-8791  
CONTRACTOR: N/A CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

## TYPE OF SUBMITTAL:

## CHECK TYPE OF APPROVAL SOUGHT:

☐ DRAINAGE REPORT  
☒ DRAINAGE PLAN  
☐ CONCEPTUAL GRADING & DRAINAGE PLAN  
☒ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERTIFICATION  
☐ OTHER

☐ SKETCH PLAT APPROVAL  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. PLAN FOR BLDG PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☒ BUILDING PERMIT APPROVAL  
☐ CERTIFICATION OF OCCUPANCY APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ S.A.D. DRAINAGE REPORT  
☐ DRAINAGE REQUIREMENTS  
☒ OTHER S.O. 19 (Specify)

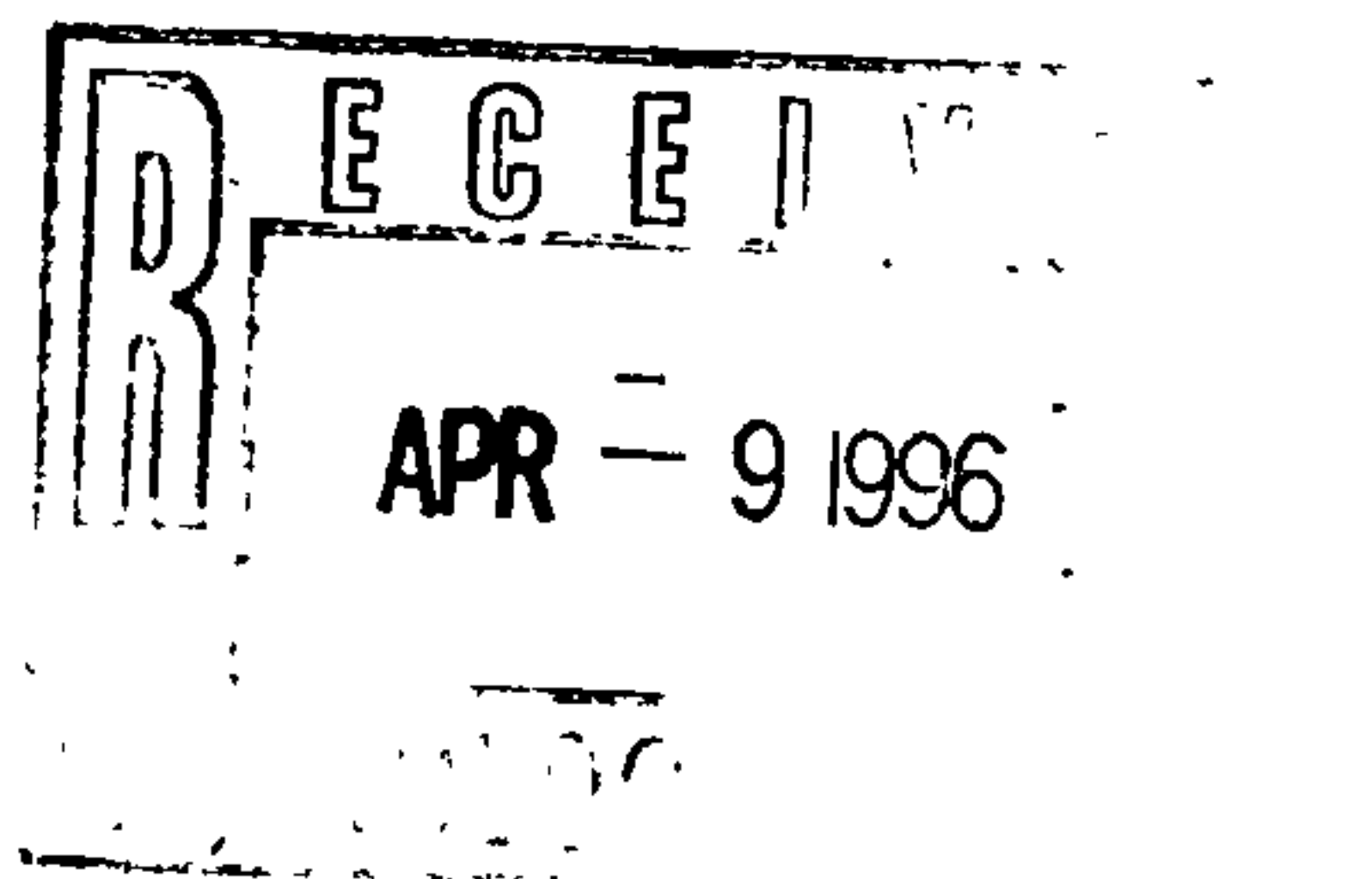
## PRE-DESIGN MEETING:

☐ YES  
☒ NO  
☐ COPY PROVIDED

*Stamp 4-9-96  
copy Arlene*

DATE SUBMITTED: 4/9/96

BY: Mark Goodwin  
Mark Goodwin PE





D. Mark Goodwin & Associates, P.A.  
Consulting Engineers and Surveyors  
P.O. BOX 90606, ALBUQUERQUE, NM 87199  
(505) 345-2010

*April 8, 1996*

*Ms. Lisa Manwill  
Hydrology Division  
City of Albuquerque  
P.O. Box 1293  
Albuquerque, NM 87103*

**Re: Walgreen's — Rio Grande; J13-D31**

*Dear Ms. Manwill:*

*In response to your letter of April 2, 1996, we offer the following response:*

- 1. Historical flow pattern will not change nor will the rate. We have provided additional spots and the existing topography for your use.*

*With this submittal, we hereby request Building Permit and SO-19 Approval. Please contact our office if you have any further questions or comments.*

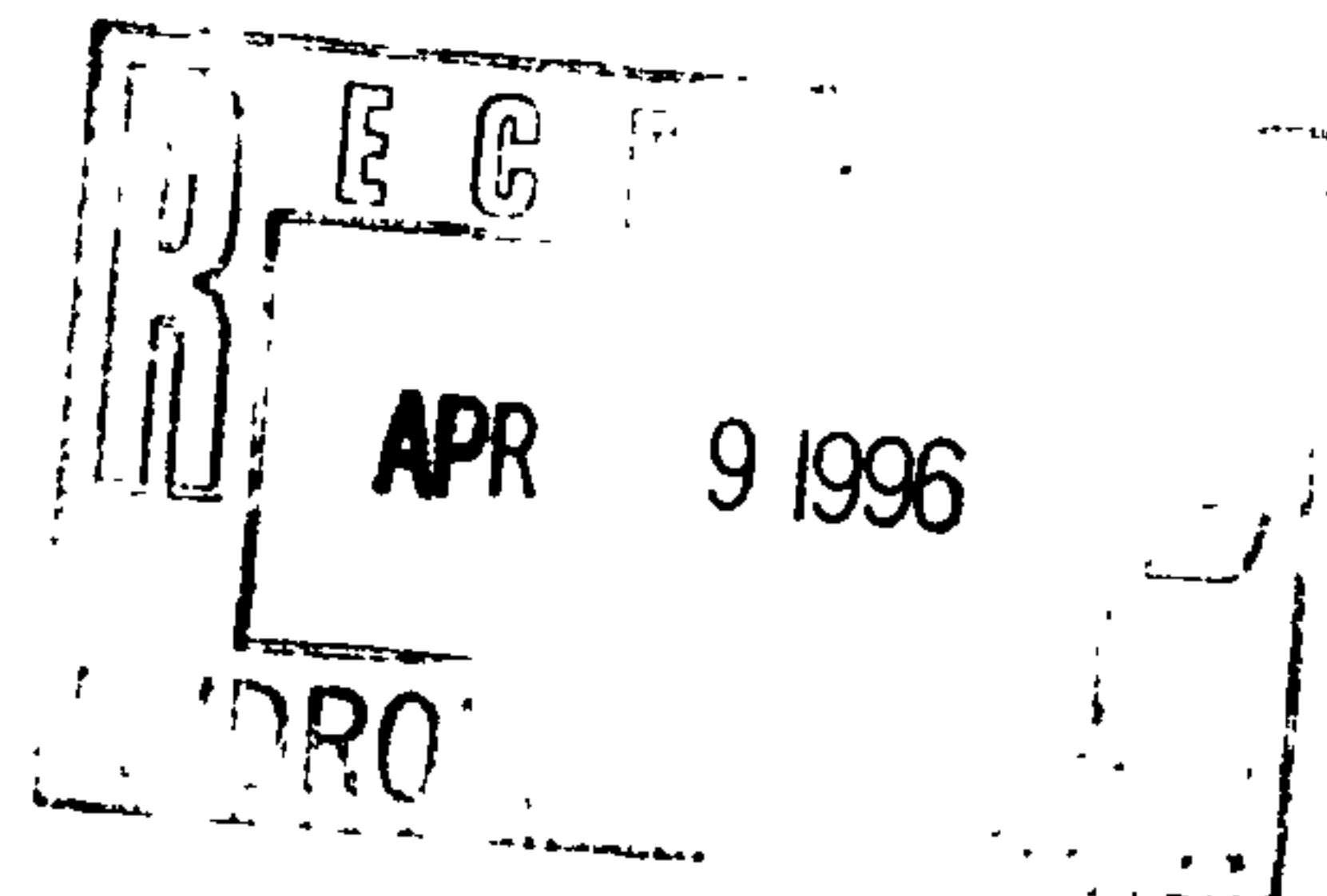
*Sincerely,*

**MARK GOODWIN & ASSOCIATES, P.A.**

*Mark Goodwin, P.E.  
President*

*DMG/sr*

*b:\walgreen.rio\comments*





# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

April 2, 1996

Mark Goodwin, PE  
Mark Goodwin & Assoc.  
P.O. Box 90606  
Albuquerque, NM 87199

**RE: WALGREENS - RIO GRAND (J13-D31) GRADING AND DRAINAGE PLAN  
FOR BUILDING AND SO #19 PERMIT APPROVALS. ENGINEER'S STAMP  
DATED MARCH 18, 1996.**

Dear Mr. Goodwin:

Based on the information provided on your March 19, 1996  
submittal, please address the following comments:

1. Has the flow pattern changed with the proposed development? Does the same amount of proposed and historical flow exit on to Rio Grande and Central Avenues? Please provide some more spots to clarify this.
2. Please provide a copy of the existing topography with out the proposed improvements.
3. I will need two copies of your proposed grading and drainage plan for SO #19 Permit approval. One copy is for the Hydrology Section's files and the other copy is for the Construction Section's inspector.

If I can be of further assistance, please feel free to contact me  
at 768-3622.

Sincerely,

  
Lisa Ann Manwill  
Engineering Assoc./Hyd.

c: Andrew Garcia  
File



April 30, 1996

Martin J. Chávez, Mayor

Mark Goodwin, PE  
Mark Goodwin & Assoc.  
P.O. Box 90606  
Albuquerque, NM 87199

**RE: WALGREENS - RIO GRAND (J13-D31) GRADING AND DRAINAGE PLAN  
FOR BUILDING AND SO #19 PERMIT APPROVALS. ENGINEER'S STAMP  
DATED MARCH 18, 1996.**

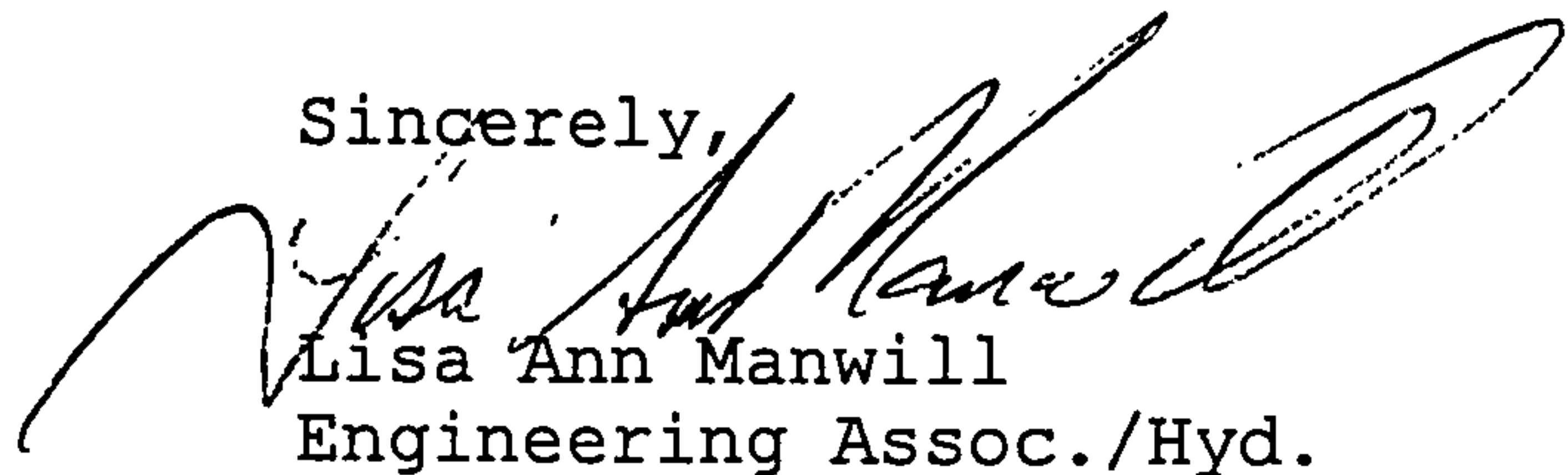
Dear Mr. Goodwin:

Based on the information provided on your April 9, 1996  
submittal, the above referenced project is approved for Building  
and SO #19 permits.

Prior to Certificate of Occupancy approval, and Engineer's  
Certification will be required.

If I can be of further assistance, please feel free to contact me  
at 768-3622.

Sincerely,



Lisa Ann Manwill  
Engineering Assoc./Hyd.

c: Arlene Portillo  
Andrew Garcia  
File

Good for You, Albuquerque!





## DRAINAGE INFORMATION SHEET

PROJECT TITLE: Walgreens - Rio Grande ZONE ATLAS/DRNG, FILE#: J-13 / 131  
DRB #: \_\_\_\_\_ EPC #: \_\_\_\_\_ WORK ORDER #: \_\_\_\_\_  
LEGAL DESCRIPTION: Tract A-2, Park Addition  
CITY ADDRESS: NW corner of Rio Grande and Central

ENGINEERING FIRM: <u>Mark Goodwin &amp; Associates PA</u>	CONTACT: <u>Mark Goodwin PE</u>
ADDRESS: <u>PO Box 90606</u>	PHONE: <u>345-2010</u>
OWNER: <u>Walgreens</u>	CONTACT: <u>Mike</u>
ADDRESS: <u>2325 San Pedro NE #2A</u>	PHONE: <u>884-9110</u>
ARCHITECT: <u>George Rainhart, AIA</u>	CONTACT: <u>George Rainhart</u>
ADDRESS: <u>2325 San Pedro NE #2A</u>	PHONE: <u>884-9110</u>
SURVEYOR: <u>John Esquibel</u>	CONTACT: <u>John Esquibel</u>
ADDRESS: <u>1330 San Pedro</u>	PHONE: <u>266-8791</u>
CONTRACTOR: <u>N/A</u>	CONTACT: _____
ADDRESS: _____	PHONE: _____

### TYPE OF SUBMITTAL:

<input type="checkbox"/>	DRAINAGE REPORT
<input checked="" type="checkbox"/>	DRAINAGE PLAN
<input type="checkbox"/>	CONCEPTUAL GRADING & DRAINAGE PLAN
<input checked="" type="checkbox"/>	GRADING PLAN
<input type="checkbox"/>	EROSION CONTROL PLAN
<input type="checkbox"/>	ENGINEER'S CERTIFICATION
<input type="checkbox"/>	OTHER

### PRE-DESIGN MEETING:

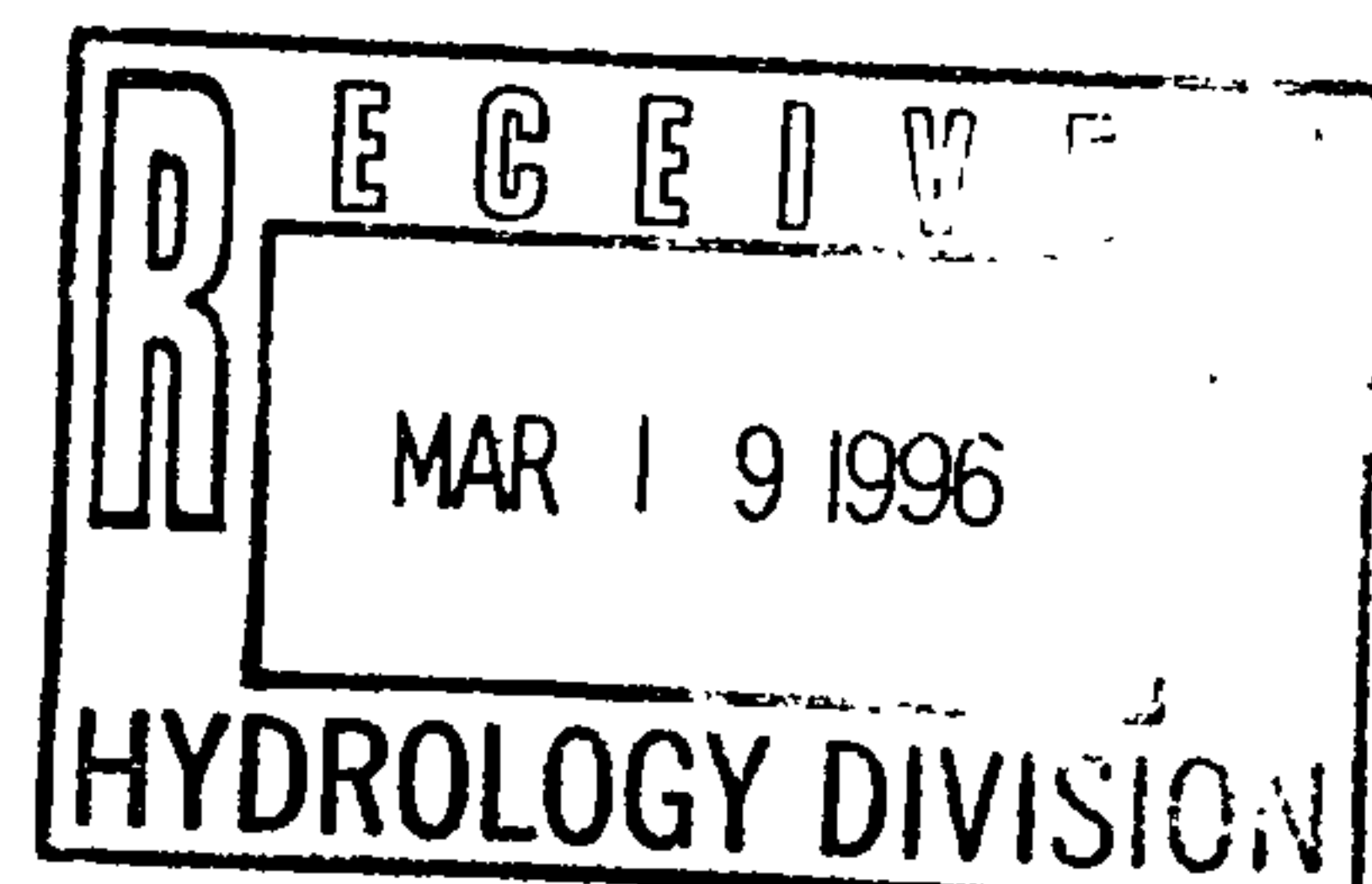
<input type="checkbox"/>	YES
<input checked="" type="checkbox"/>	NO
<input type="checkbox"/>	COPY PROVIDED

### CHECK TYPE OF APPROVAL SOUGHT:

<input type="checkbox"/>	SKETCH PLAT APPROVAL
<input type="checkbox"/>	PRELIMINARY PLAT APPROVAL
<input type="checkbox"/>	S. DEV. PLAN FOR SUB'D APPROVAL
<input type="checkbox"/>	S. DEV. PLAN FOR BLDG PERMIT APPROVAL
<input type="checkbox"/>	SECTOR PLAN APPROVAL
<input type="checkbox"/>	FINAL PLAT APPROVAL
<input type="checkbox"/>	FOUNDATION PERMIT APPROVAL
<input checked="" type="checkbox"/>	BUILDING PERMIT APPROVAL
<input type="checkbox"/>	CERTIFICATION OF OCCUPANCY APPROVAL
<input type="checkbox"/>	GRADING PERMIT APPROVAL
<input type="checkbox"/>	PAVING PERMIT APPROVAL
<input type="checkbox"/>	S.A.D. DRAINAGE REPORT
<input type="checkbox"/>	DRAINAGE REQUIREMENTS
<input checked="" type="checkbox"/>	OTHER <u>S.O. 19</u> (Specify)

DATE SUBMITTED: 3/18/96

BY: Mark Goodwin  
Mark Goodwin PE





# City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

DESIGN HYDROLOGY SECTION  
123 Central NW, Albuquerque, NM 87102  
(505) 766-7644

May 2, 1986

Rich Allen  
James N. Rowland Partners  
400 Gold Avenue, SW Suite 810  
Albuquerque, New Mexico 87102

RE: DRAINAGE PLAN FOR OLD TOWN BUILDING & BUS SHELTER  
(J-13/D31) RECEIVED APRIL 21, 1986

Dear Mr. Allen:

The referenced plan dated April 18, 1986, is approved for Building Permit sign-off.

Please attach a copy of this approved plan along with the appropriately approved "Drainage Facilities Within City Right-of-Way" document to both sets of construction plans prior to sign-off by Hydrology.

If you have any questions, call me at 766-7644.

Cordially,

Carlos A. Montoya, P.E.  
City/County Floodplain Administrator

CAM/bsj



# DRAINAGE INFORMATION SHEET

PROJECT TITLE: OLD TOWN SHOPPING CENTER  
PAD BUILDING AND BUS SHELTER PHASE II ZONE ATLAS/DRAINAGE FILE # J-13/D31

LEGAL DESCRIPTION: Attached

CITY ADDRESS: NOT AVAILABLE 2101-2125 CENTRAL, NW  
87104

ENGINEERING FIRM: JAMES N. ROWLAND PARTNERS CONTACT: RICH ALLEN

ADDRESS: 400 GOLD SW, SUITE 810 PHONE: 243-5700

OWNER: PETERSON & RENEAU CONTACT: Dick Peterson

ADDRESS: 2201 SAN PEDRO NE SUITE 200 PHONE: \_\_\_\_\_  
BLDG #4

ARCHITECT: DE LA TORRE & RAINHART CONTACT: Bob Muller

ADDRESS: 200 WOODWARD BLDG, LOMAS, NE PHONE: 842-9500

SURVEYOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_

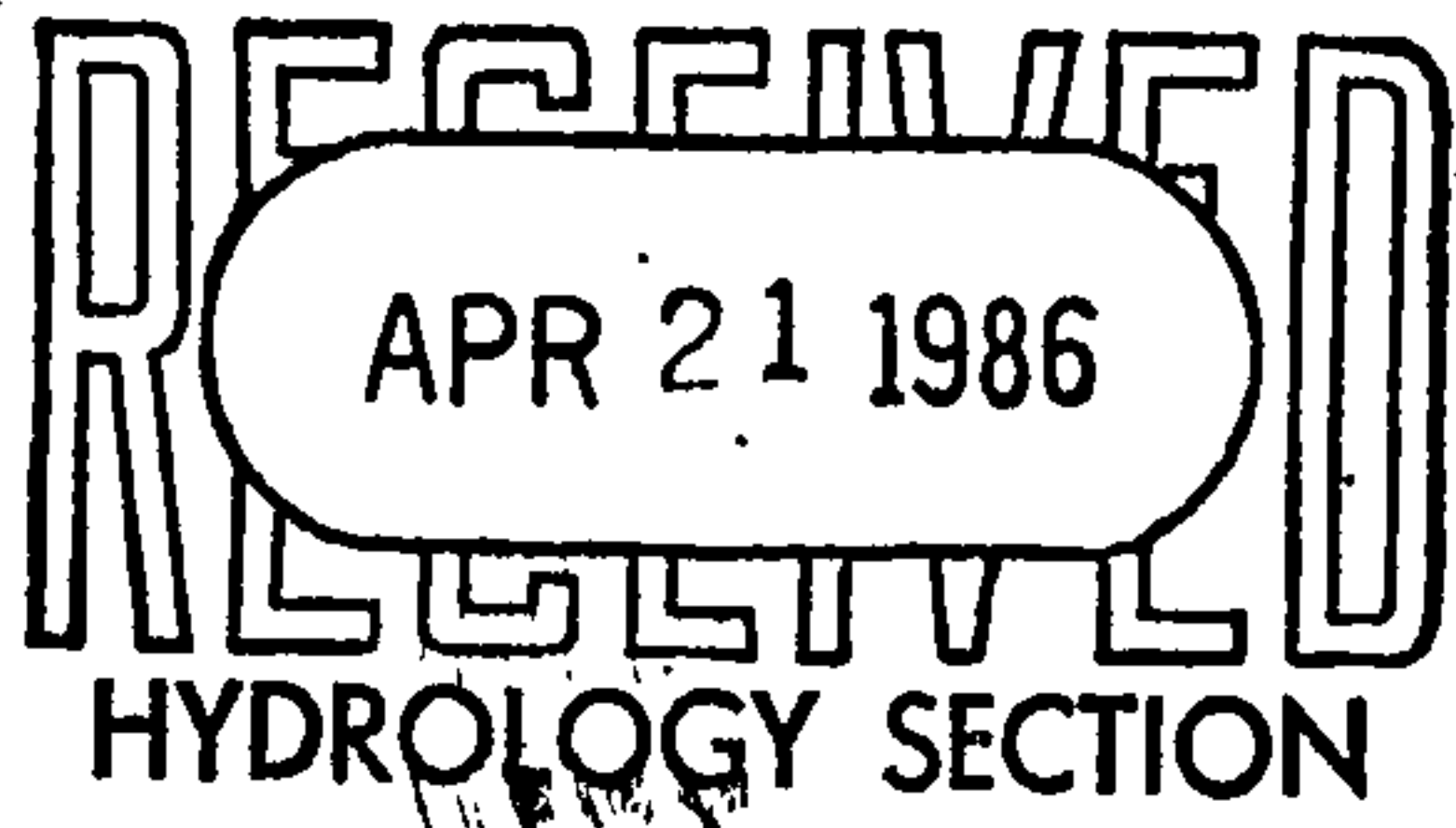
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

PRE-DESIGN MEETING:

☒ YES

☐ NO

☒ COPY OF CONFERENCE  
 RECAP SHEET PROVIDED



DRB NO. \_\_\_\_\_

EPC NO. \_\_\_\_\_

PROJECT NO. \_\_\_\_\_

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT

☒ DRAINAGE PLAN

☐ CONCEPTUAL GRADING & DRAIN PLAN

☐ GRADING PLAN

☒ EROSION CONTROL PLAN

☐ ENGINEER'S CERTIFICATION

CHECK TYPE OF APPROVAL SOUGHT:

☐ SECTOR PLAN APPROVAL

☐ SKETCH PLAT APPROVAL

☐ PRELIMINARY PLAT APPROVAL

☐ SITE DEVELOPMENT PLAN APPROVAL

☐ FINAL PLAT APPROVAL

☒ BUILDING PERMIT APPROVAL

☐ FOUNDATION PERMIT APPROVAL

☐ CERTIFICATE OF OCCUPANCY  
 APPROVAL

☐ ROUGH GRADING PERMIT APPROVAL

☐ GRADING/PAVING PERMIT APPROVAL

☐ OTHER \_\_\_\_\_ (SPECIFY)

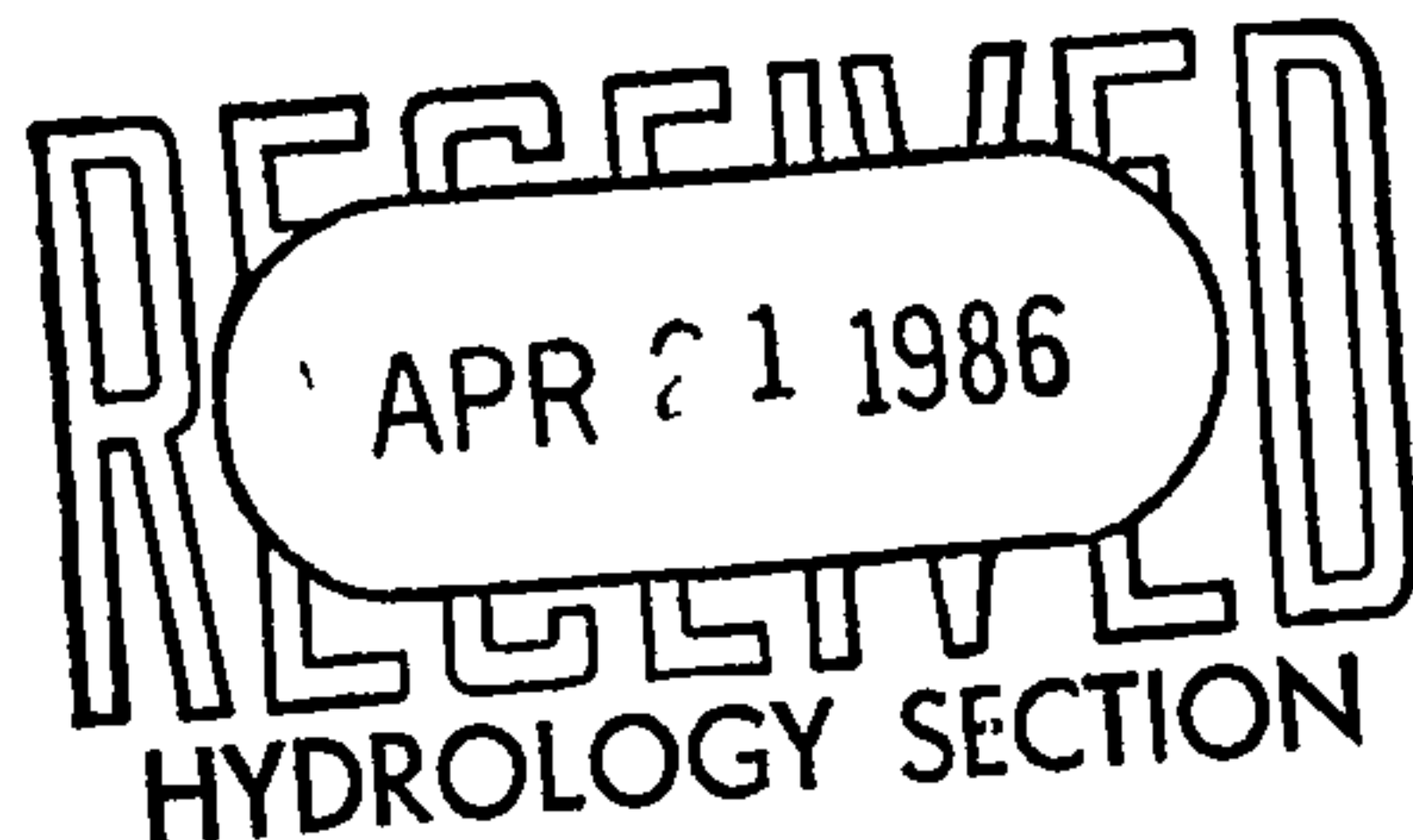
DATE SUBMITTED: 4/18/86  
 BY: Richard H. Allen, PE

TOPOGRAPHIC  
A.L.T.A. SURVEY

FOR

OLD TOWN SHOPPING CENTER

ALBUQUERQUE, NEW MEXICO



DECEMBER 1985

LEGAL DESCRIPTION

Beginning, for a tie, at the original Northwest corner of Block 3 of Traction Park Addition, as said Block 3 is above described, a point on the Northerly right of way line of Soto Avenue NW, as it now exists, and running thence S. 86°15'E., 95.10 feet along the Northerly right of way line of said Soto Avenue NW and the identical original Northerly boundary of said Block 3 to the original Northeast corner of said Block 3, a point marking the intersection of the Northerly right of way line of said Soto Avenue NW with the Westerly right of way line of a lane; thence S. 4°50' W., 50.01 feet along the original Easterly boundary of said Block 3 to a point marking the intersection of the Southerly right of way line of said Soto Avenue NW with the Westerly right of way line of said lane, being the beginning corner No. 1 of the tract herein set forth; thence continuing

S. 4°50' W., 10.63 feet along the Easterly boundary of said Block 3 and the identical Westerly right of way line of said lane to an angle point of said lane, being corner No. 2 of the tract herein set forth; thence

S. 86°35'E., 309.37 feet along the Southerly right of way line of said lane to its intersection with the Westerly right of way line of Rio Grande Boulevard NW, being the Northeast corner No. 3 of the tract herein set forth; thence

S. 2°50' W., 261.95 feet along the Westerly right of way line of said Rio Grande Boulevard NW to point of curve of a curved street "return" situate at the Southeast corner of the tract herein set forth, being Corner No. 4 of the tract herein set forth; thence leaving said Rio Grande Boulevard NW and running Southwesterly along a curve right having a radius of 32.00 feet along said curved street "return" a distance along arc of 51.38 feet (chord equals S. 48°50' W., 46.04 feet) to end of curve at Corner No. 5 of the tract herein set forth, a point on the Northerly right of way line of Central Avenue West (U.S. Highway 66); thence

N. 85°10' W., 231.92 feet along the Northerly right of way line of said Central Avenue West to an angle point therein and corner No. 6 of the tract herein set forth; thence

N. 79°27'22" W., 100.50 feet continuing along the Northerly right of way line of said Central Avenue West to an angle point therein and Corner No. 7 of the tract herein set forth; thence

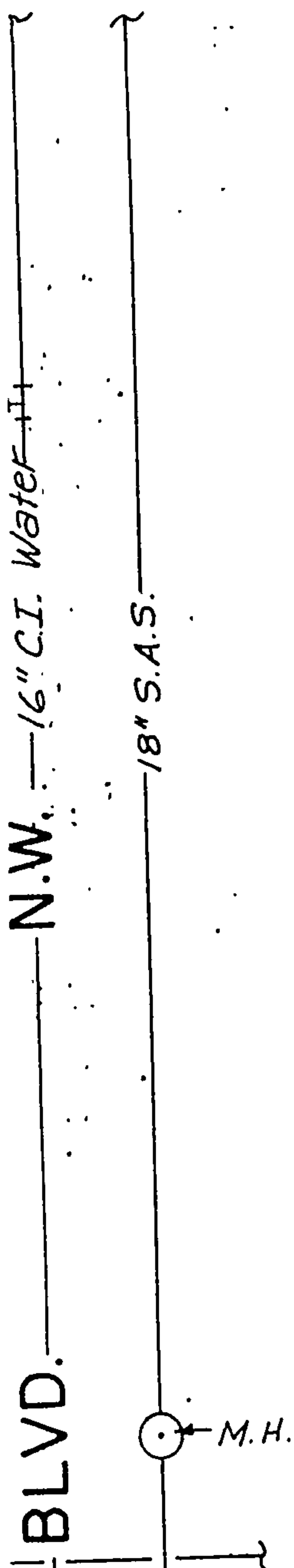
N. 85°10' W., 82.79 feet continuing along the Northerly right of way line of said Central Avenue West to the Southwest corner No. 8 of the tract herein set forth; thence leaving said Central Avenue West and running

N. 4°57'E., 285.48 feet to the Northwest corner No. 9 of the tract herein set forth, a point on the Southerly right of way line of said Soto Avenue NW; thence

S. 86°15'E., 127.71 feet along the Southerly right of way line of said Soto Avenue NW to the beginning corner No. 1 of the tract herein set forth;

containing 127,943 square feet, more or less.

(Description Per Deed filed July 13, 1961, Book D-598, Page 335)

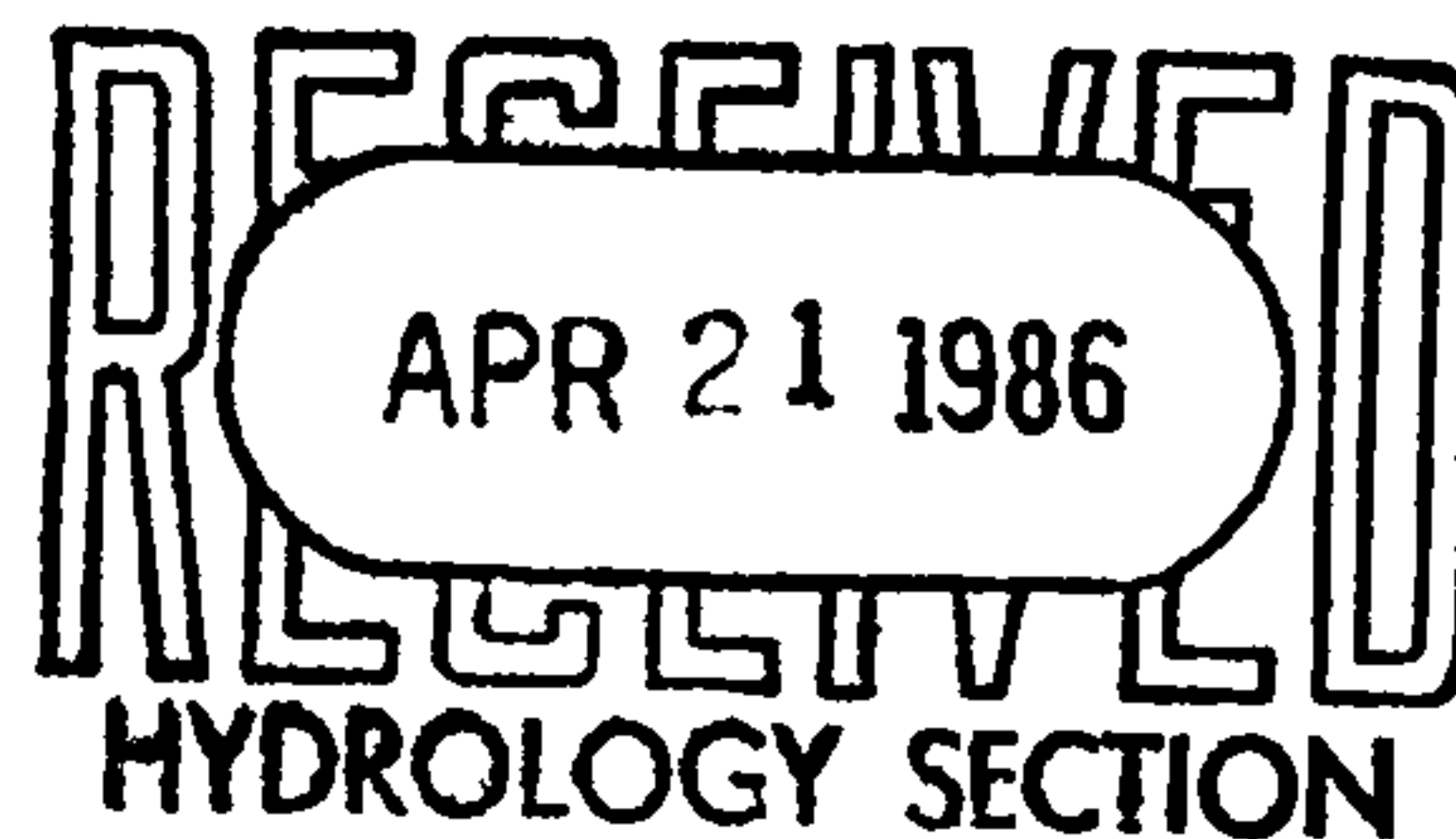




james n. rowland  
partners, inc.

# architects & planners

albuquerque & las vegas , new mexico



April 18, 1986

SUBJECT: OLD TOWN SHOPPING CENTER PAD BUILDING AND BUS SHELTER PHASE II  
DRAINAGE PLAN  
FILE NO: 12186/2.5  
DRAINREP.LET

Mr. Billy Goolsby, P.E.  
City of Albuquerque - Hydrology  
P. O. Box 1293  
Albuquerque, New Mexico 87103

Dear Mr. Goolsby:

Enclosed are two copies of the Site and Drainage Plan for the subject project together with the associated Detail sheet and Architect's Landscape Plan. The Drainage Plan has been prepared in accordance with the minutes of our meeting on 3/7/86. As you will recall, the project involves the addition of one pad building to the Southeast corner of the existing Old Town Shopping Center. The attached Drainage Plan addresses storm runoff associated with the addition of this one building. The balance of the site will remain basically unchanged as far as runoff characteristics are concerned.

I should mention that the existing drop inlets located in Central and Rio Grande in the proximity of the site are filled with debris and do not appear to be functioning as intended. It is recommended that the City clean out these inlets as soon as possible in order to allow them to function properly.

If you have any questions regarding the project, please call me. Your earliest possible review will be appreciated.

Sincerely,

A handwritten signature in dark ink, appearing to read "Richard H. Allen".

Richard H. Allen, P.E.

RHA/tms

Enclosure

cc: Dick Peterson  
Bob Muller, DELATORRE & RAINHART, Architects

CITY OF ALBUQUERQUE  
MUNICIPAL DEVELOPMENT DEPARTMENT  
ENGINEERING DIVISION/DESIGN HYDROLOGY SECTION

CONFERENCE RECAP

DRAINAGE FILE/ZONE ATLAS PAGE NO.: J-13 DATE: 3/7/86  
PLANNING DIVISION NOS: EPC: \_\_\_\_\_ DRB: \_\_\_\_\_  
SUBJECT: Old Town Shopping Center  
STREET ADDRESS (IF KNOWN): NW Corn of Rio Grande & Central  
SUBDIVISION NAME: \_\_\_\_\_

APPROVAL REQUESTED:

_____ PRELIMINARY PLAT	_____ FINAL PLAT
<u>X</u> SITE DEVELOPMENT PLAN Amendment.	<u>X</u> BUILDING PERMIT
_____ OTHER	_____ ROUGH GRADING

ATTENDANCE:	WHO	REPRESENTING
	<u>Richard Allen</u>	<u>James N Rowland Ptnrs. Inc.</u>
	<u>Billy J. Goolsby</u>	<u>City/Design Hydrology</u>

FINDINGS:

- (1) Minimum requirement for SDP amendment will be an approved Conceptual Drainage Plan!!
- (2) For Building Permit an approved drainage plan is required. This plan can serve for both approvals requested.
- (3) Since the site is currently fully developed the drainage scheme for the proposed amendment shall remain as close to existing as possible. The rate of discharge shall not exceed existing conditions.
- (4) An approved erosion control plan for the

The undersigned agrees that the above findings are summarized accurately and are only subject to change if further investigation reveals that they are not reasonable or that they are based on inaccurate information.

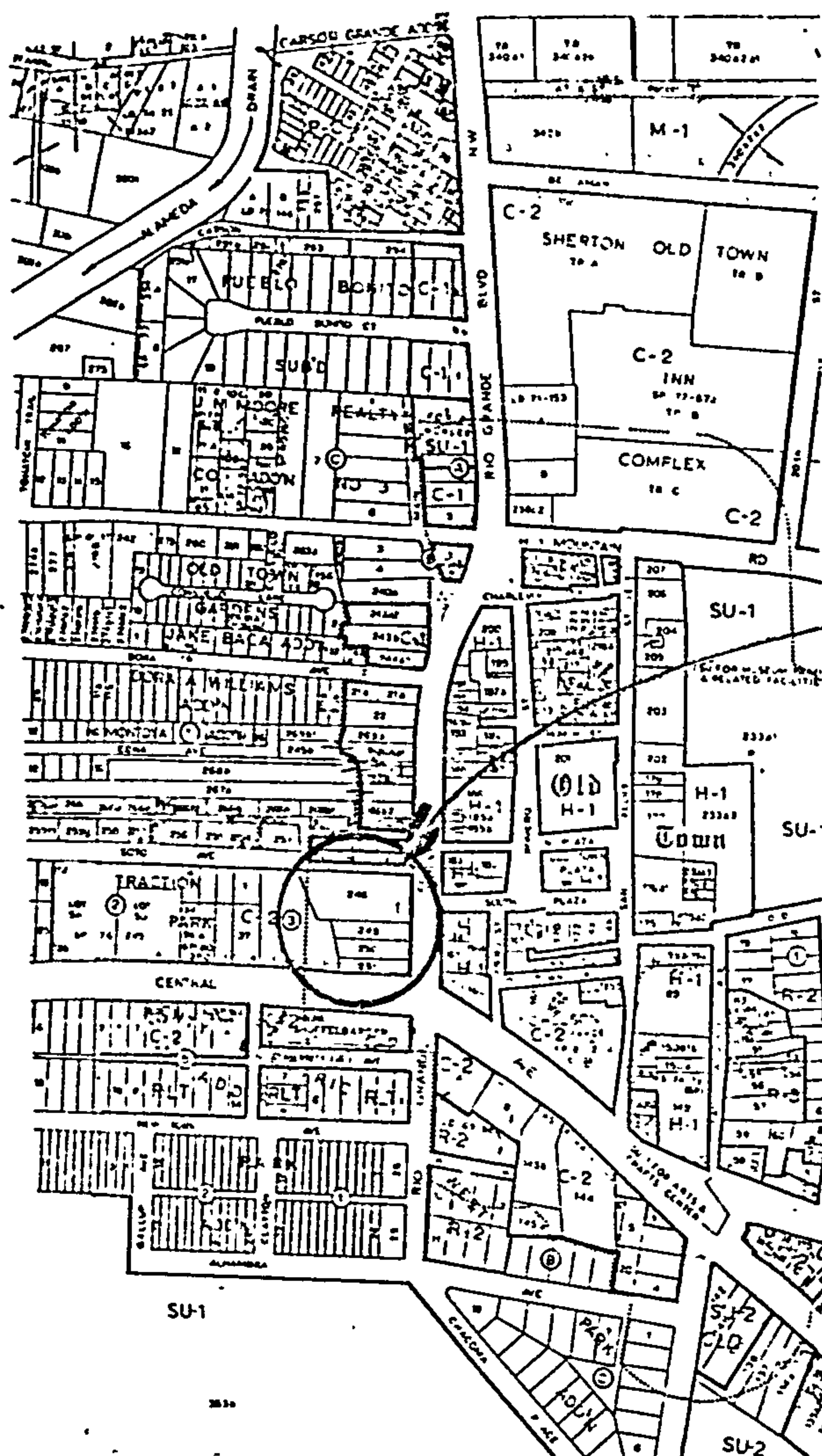
period of construction is 12 months to ensure sediment remain on-site

SIGNED: <u>Billy J. Goolsby</u>	SIGNED: <u>Richard Allen</u>
TITLE: <u>CEI Design Hydrology</u>	TITLE: <u>Design Engineer</u>
DATE: <u>3/7/86</u>	DATE: <u>3/7/86</u>

\*\*NOTE\*\* PLEASE PROVIDE A COPY OF THIS RECAP WITH THE DRAINAGE SUBMITTAL



## DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY



SCALE

FACILITY #1: (LOCATION) 46'-6" ±  
FROM PROPERTY CORNER  
(TYPE) SIDEWALK CULVERT  
WITH STEEL PLATE TOP.

FACILITY #2: (LOCATION) 37.31'  
FROM PROPERTY CORNER  
(TYPE) DRAIN LINE THROUGH CURB

PROJECT SITE

LEGAL DESCRIPTION: PERMIT FOR  
TRACT 'A', OLD TOWN SHOPPING CENTER  
FORMERLY REING TRACTS 243, 249, 250  
& 251 AND ADDITION OF BLOCK 3,  
TRACTION PARK ADDITION.

LEGAL DESCRIPTION  
1. 10.0  
2. 3.0  
3. 1.0  
4. 1.0  
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J-13-Z

ALBUQUERQUE PLANNING DIVISION  
MUNICIPAL DEVELOPMENT DEPARTMENT

BENCHMARK: THE STATION IS LOCATED 1.1 MILE WEST OF DOWNTOWN ALBUQUERQUE  
AT THE INTERSECTION OF CENTRAL AVE. AND RIO GRANDE BLVD, AT THE  
WESTERN TIP OF THE MEDIAN IN CENTRAL AVE.  
THE STATION MARK IS A STANDARD ACS ALUMINUM CAP STAMPED "14-J13  
1983" SET FLUSH WITH THE CURB,  
SPIKIT LEVEL ELEVATION (SLD) 4954.70'

## NOTICE TO CONTRACTOR

1. An excavation/construction permit will be required before beginning any work within City right-of-way. An approved copy of these plans must be submitted at the time of application for this permit.
2. All work detailed on these plans to be performed, except as otherwise stated or provided hereon, shall be constructed in accordance with City of Albuquerque Interim Standards Specifications for Public Works Construction, 1925.
3. Two working days prior to any excavation, contractor must contact Line Locating Service, 765-1234, for location of existing utilities.
4. Prior to construction, the contractor shall excavate and verify the horizontal and vertical locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
5. Backfill compaction shall be according to ARTERIAL Street use.
6. Maintenance of these facilities shall be the responsibility of the owner of the property served.

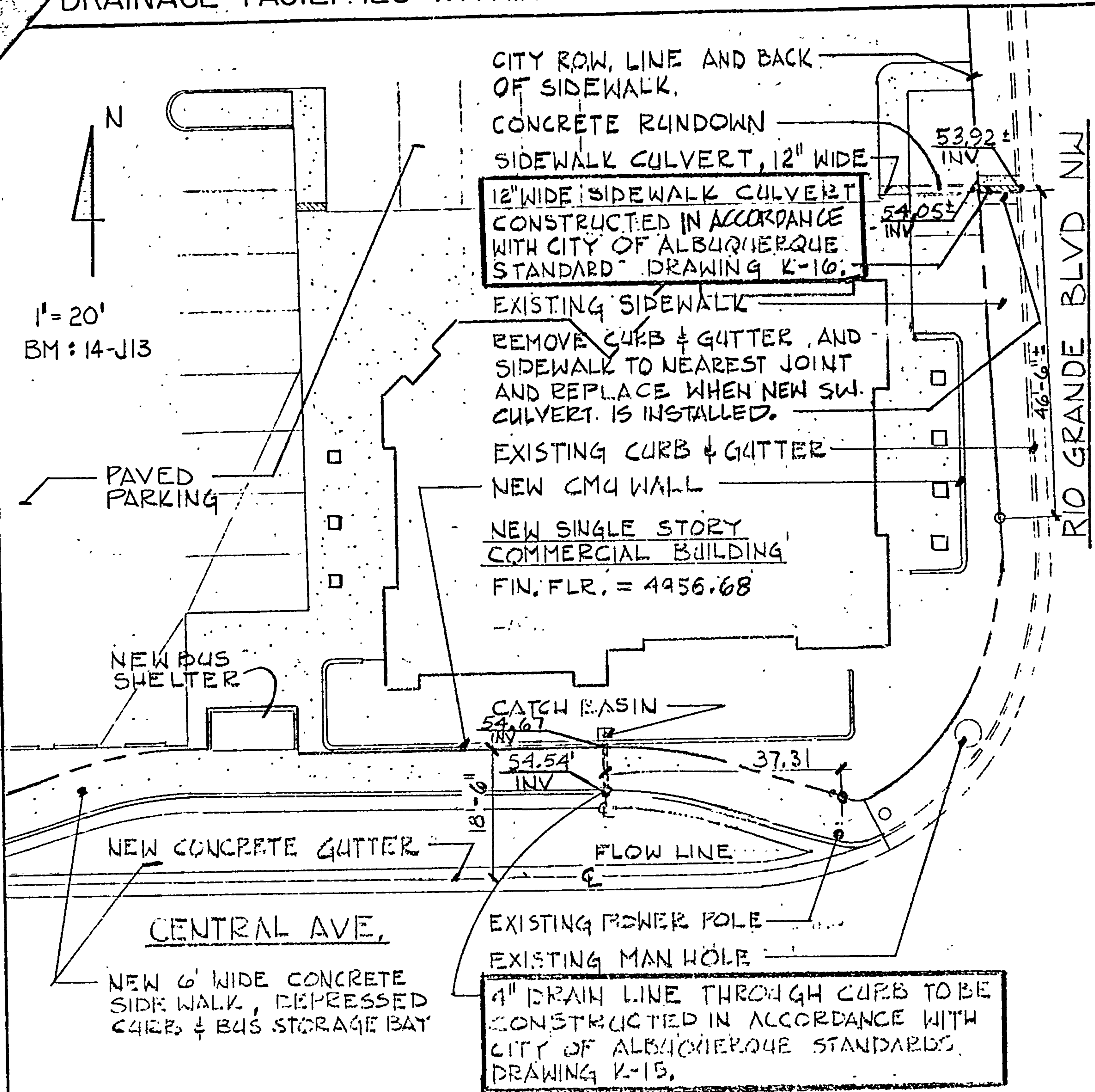
SUMMIT CONSTRUCTION

SUMMIT CONSTRUCTION			TITLE: OLD TOWN SHOPPING CENTER & PAD BUILDING & BUS SHELTER.  CENTRAL & RIO GRANDE BLVD.	
APPROVALS	NAME	DATE		
A.C.E./DESIGN	Philip Fisher	6/3/86	PERMIT NO. 30281 SHEET 1 OF 2	
INSPECTOR	Thomas Rye	9/16/86		
A.C.E./FIELD	Donald Rye	9/22/86		
			MAP NO. J-13-Z	

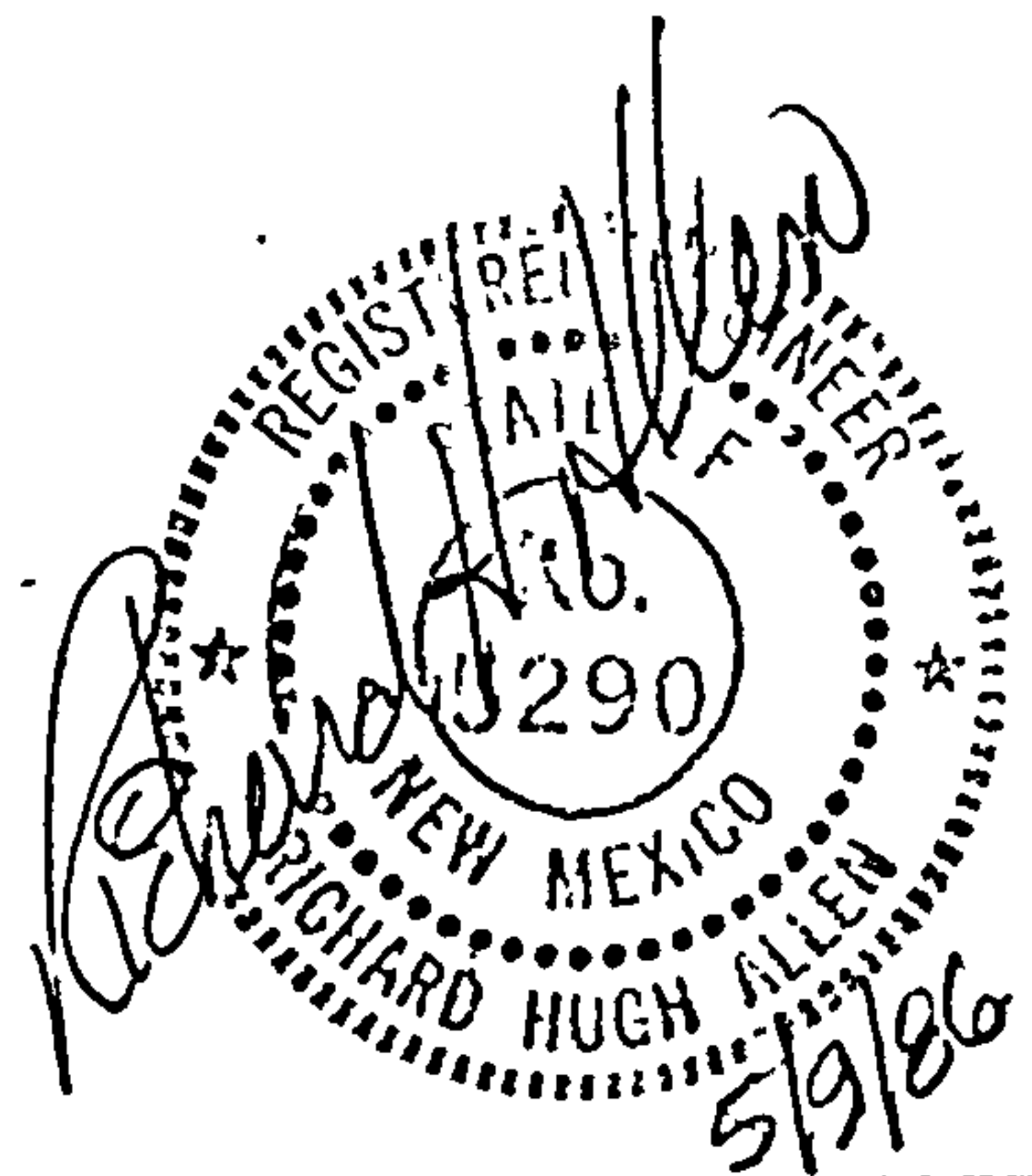


# CITY OF ALBUQUERQUE

## DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY



### PARTIAL SITE PLAN



F-47

SUMMIT CONSTRUCTION

APPROVALS	NAME	DATE	TITLE: OLD TOWN SHOPPING CENTER & PAD BUILDING & BUS SHELTER
A.C.E./DESIGN	<i>Phil Friedman</i>	6/3/86	CENTRAL & RIO GRANDE BLVD.
INSPECTOR	<i>[Signature]</i>	9/16/86	PERMIT NO. 30281
A.C.E./FIELD	<i>[Signature]</i>	9-27-86	SHEET 2 OF 2
			MAP NO. J-11



# CITY OF ALBUQUERQUE

## DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY

SEP 23 1986

HYDROLOGY SECTION  
FACILITY #1: (LOCATION) 46'-6" ±  
FROM PROPERTY CORNER  
(TYPE) SIDEWALK CULVERT  
WITH STEEL PLATE TOP.

FACILITY #2: (LOCATION) 37.31'  
FROM PROPERTY CORNER  
(TYPE) DRAIN LINE THROUGH CURB.

PROJECT SITE.

LEGAL DESCRIPTION: PERMIT FOR  
TRACT 'A', OLD TOWN SHOPPING CENTER  
FORMERLY BEING TRACTS 248, 249, 250  
& 251 AND A PORTION OF BLOCK 3,  
TRACTION PARK ADDITION.



LEGAL DESCRIPTION  
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100. 10.0

MAP AMENDED THROUGH  
JAN 1987

J-13-Z

ALBUQUERQUE PLANNING DIVISION  
MUNICIPAL DEVELOPMENT DEPARTMENT

BENCHMARK: THE STATION IS LOCATED 1.1 MILE WEST OF DOWNTOWN ALBUQUERQUE  
AT THE INTERSECTION OF CENTRAL AVE. AND RIO GRANDE BLVD, AT THE  
WESTERN TIP OF THE MEDIAN IN CENTRAL AVE.  
THE STATION MARK IS A STANDARD ACS ALUMINUM CAP STAMPED "14-J13  
1983" SET FLUSH WITH THE CURB,  
GIRTH LEVEL ELEVATION (SLD) 4954.70'

### NOTICE TO CONTRACTOR

1. An excavation/construction permit will be required before beginning any work within City right-of-way. An approved copy of these plans must be submitted at the time of application for this permit.
2. All work detailed on these plans to be performed, except as otherwise stated or provided hereon, shall be constructed in accordance with City of Albuquerque Interim Standards Specifications for Public Works Construction, 1985.
3. Two working days prior to any excavation, contractor must contact Line Locating Service, 765-1224, for location of existing utilities.
4. Prior to construction, the contractor shall excavate and verify the horizontal and vertical locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
5. Backfill compaction shall be according to ARTERIAL Street use.
6. Maintenance of these facilities shall be the responsibility of the owner of the property served.

SHIMMIT CONSTRUCTION

APPROVALS

NAME

DATE

TITLE: OLD TOWN SHOPPING CENTER:  
PAD BUILDING & BUS SHELTER.

A.C.E./DESIGN

INSPECTOR

CENTRAL & RIO GRANDE BLVD.

NO. 30281

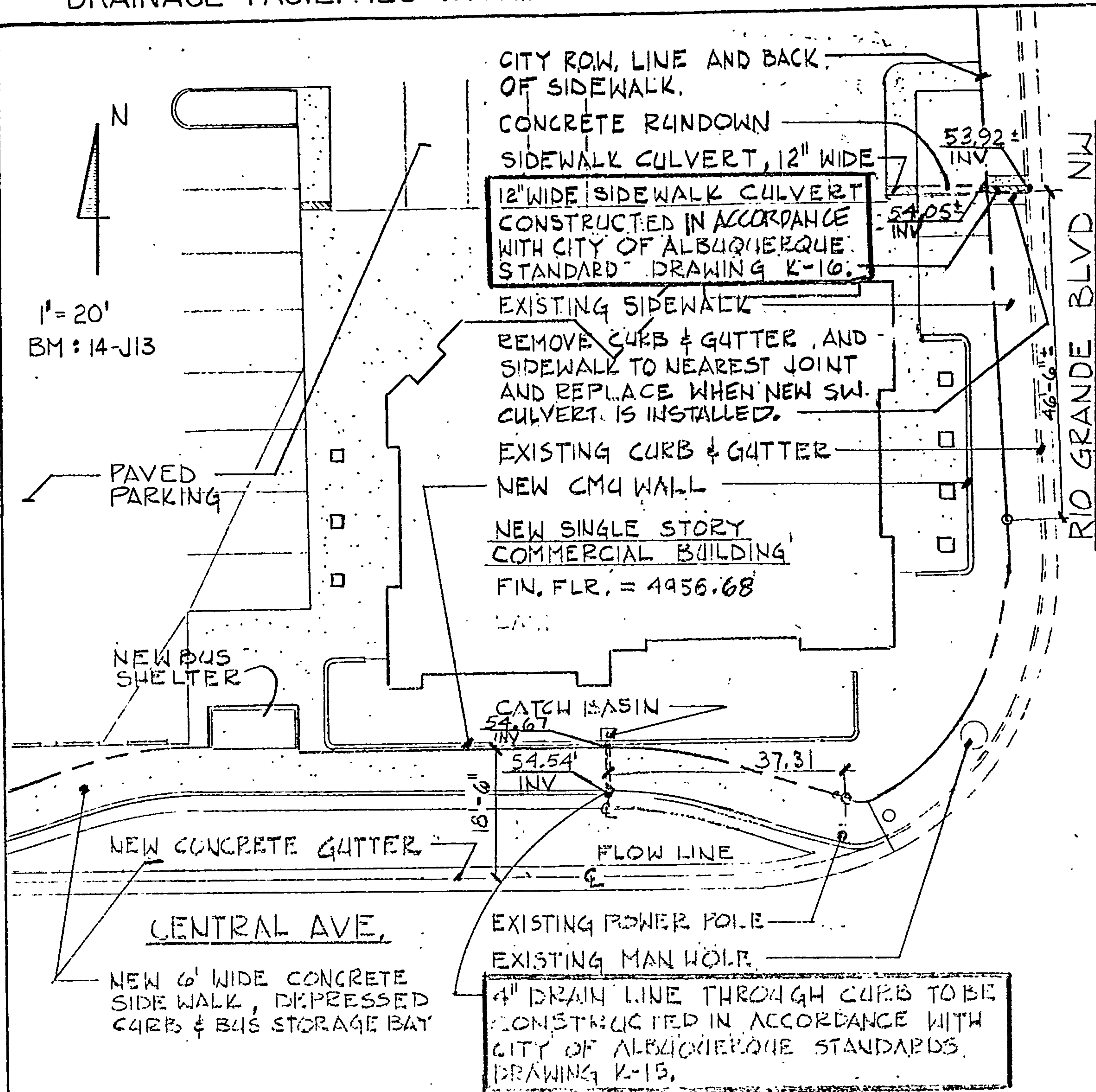
MAP

NO. J 117

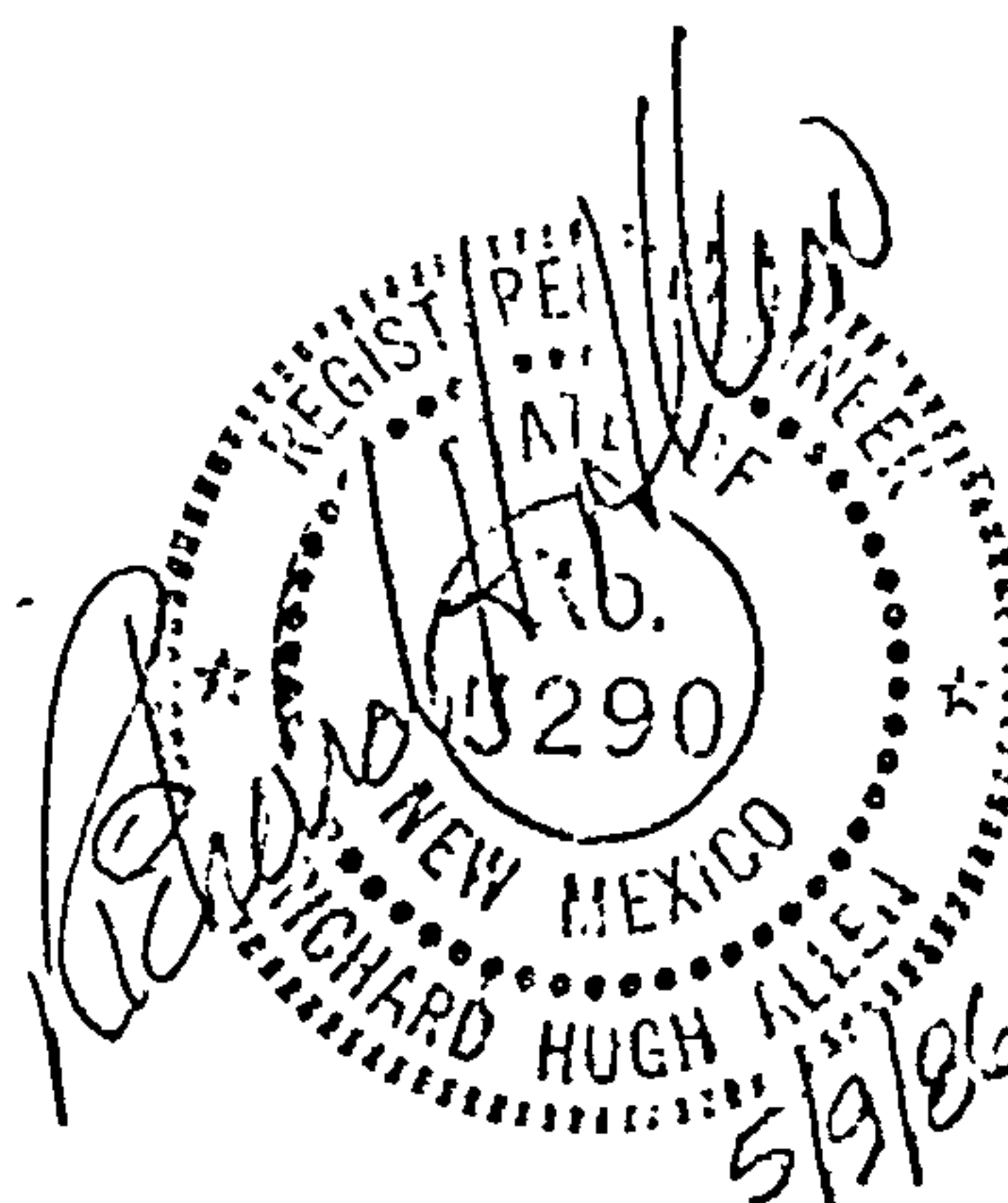


# CITY OF ALBUQUERQUE

## DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY



### PARTIAL SITE PLAN



F-47

SUMMIT CONSTRUCTION

APPROVALS	NAME	DATE	TITLE: OLD TOWN SHOPPING CENTER & PAD BUILDING & BUS SHELTER
A.C.E./DESIGN	Philip Friedman	6/3/86	CENTRAL & RIO GRANDE BLVD.
INSPECTOR	Thomas Allen	7/11/86	PERMIT NO. 30281
			MAP



# CITY OF ALBUQUERQUE

## DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY

AUG 29 1986

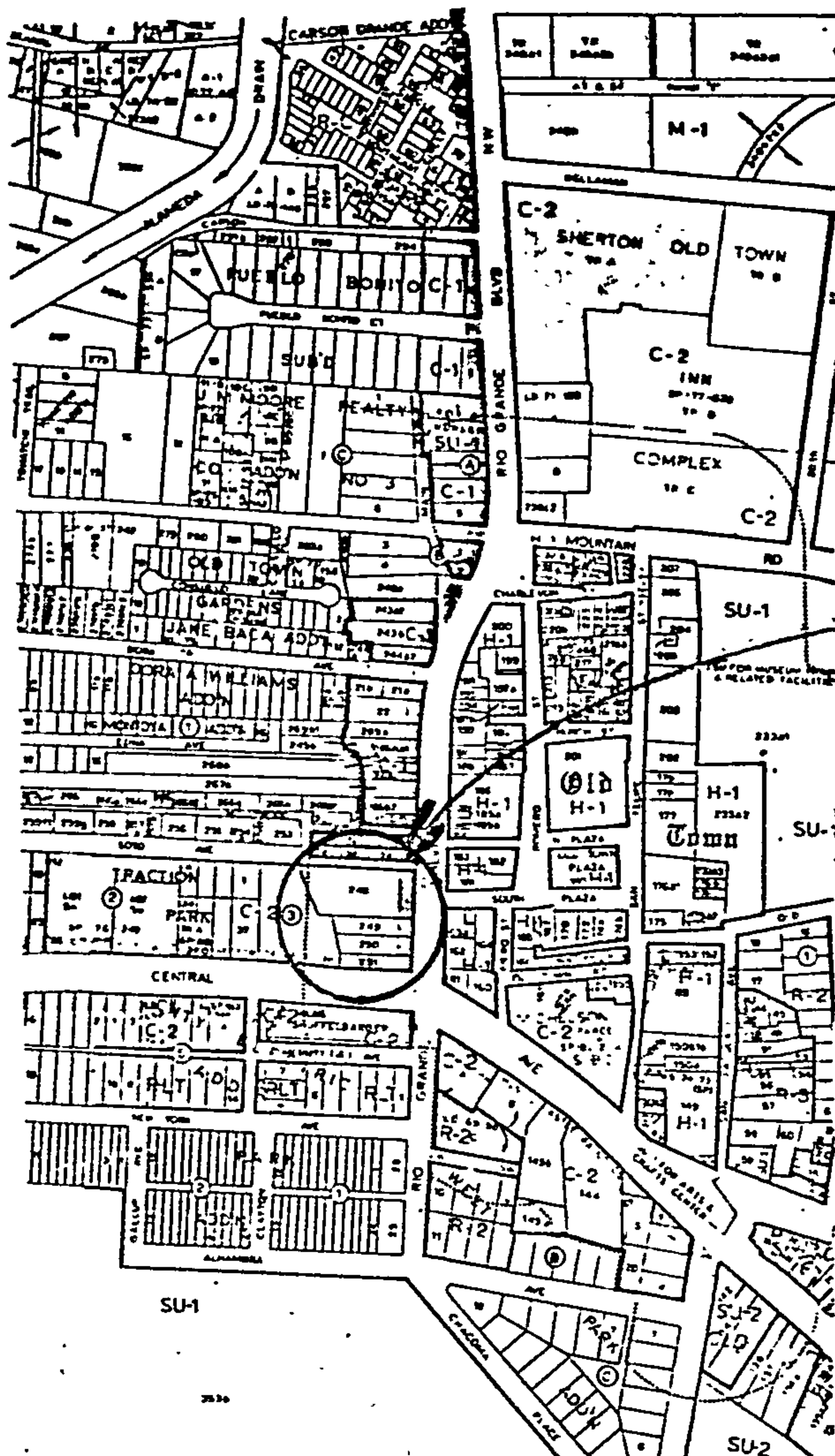
HYDROLOGY SECTION

FACILITY #1: (LOCATION) 46'-6" ±  
FROM PROPERTY CORNER  
(TYPE) SIDEWALK CULVERT  
WITH STEEL PLATE TOP.

FACILITY #2: (LOCATION) 37.31'  
FROM PROPERTY CORNER  
(TYPE) DRAIN LINE THROUGH CURB.

PROJECT SITE.

LEGAL DESCRIPTION: REPLAT FOR  
TRACT 'A', OLD TOWN SHOPPING CENTER  
FORMERLY BEING TRACTS 248, 249, 250  
#251 AND A PORTION OF BLOCK 3,  
TRACTION PARK ADDITION.



LEGAL DESCRIPTION  
TRACT 'A', OLD TOWN SHOPPING CENTER  
FORMERLY BEING TRACTS 248, 249, 250  
#251 AND A PORTION OF BLOCK 3,  
TRACTION PARK ADDITION.

UNIFORM PROPERTY CODE  
1-013-050

MAP AMENDED THROUGH  
JUNE 1985

J-13-Z

ALBUQUERQUE PLANNING DIVISION  
MUNICIPAL DEVELOPMENT DEPARTMENT



**BENCHMARK:** THE STATION IS LOCATED 1.1 MILE WEST OF DOWNTOWN ALBUQUERQUE  
AT THE INTERSECTION OF CENTRAL AVE. AND RIO GRANDE BLVD, AT THE  
WESTERN TIP OF THE MEDIAN IN CENTRAL AVE.  
THE STATION MARK IS A STANDARD ACS ALUMINUM CAP STAMPED "14-J13  
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113-D31

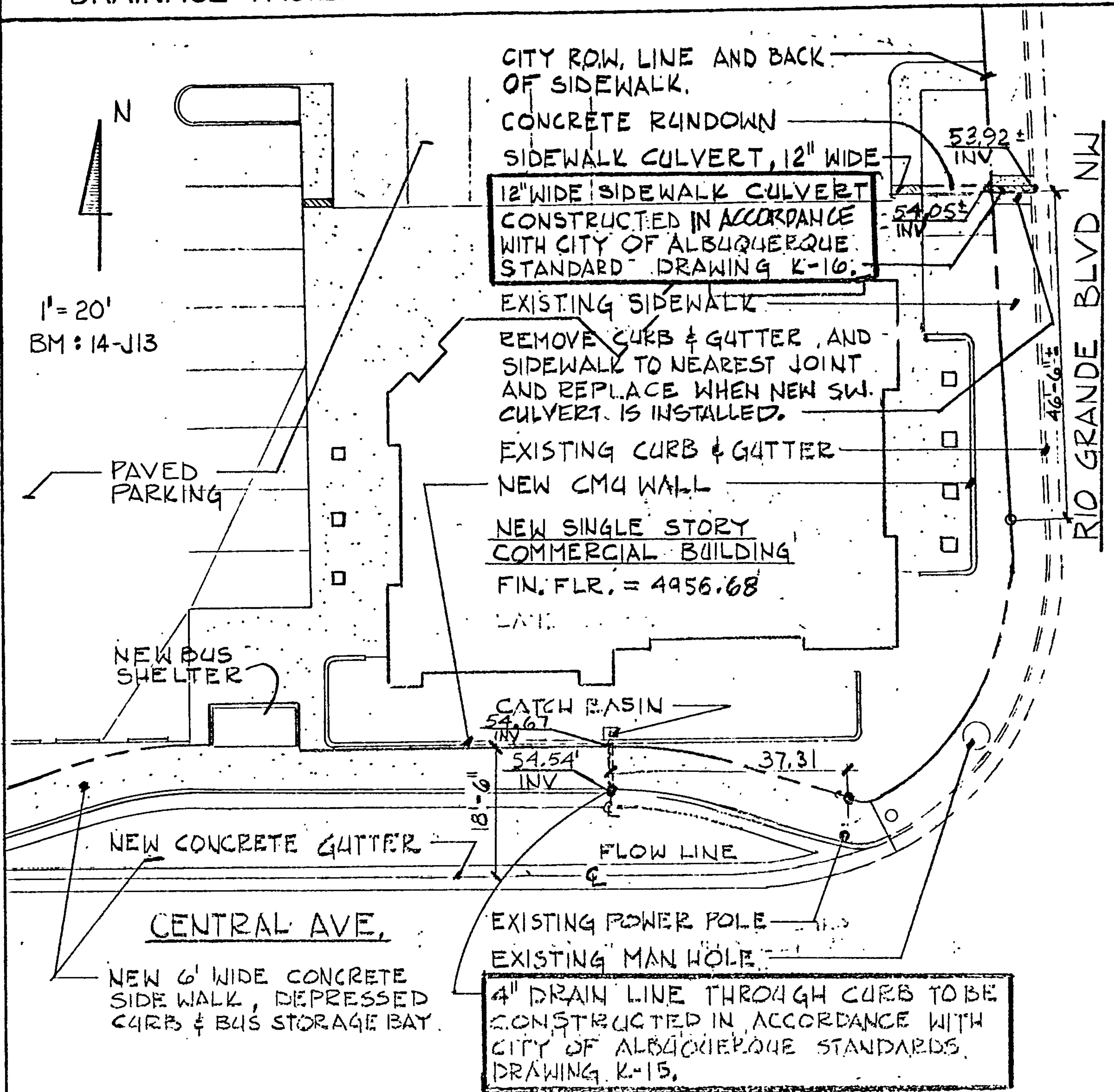
F-47

APPROVALS	NAME	DATE	TITLE: OLD TOWN SHOPPING CENTER PAD BUILDING & BUS SHELTER CENTRAL & RIO GRANDE BLVD
A.C.E./DESIGN	Philip F. Fisher	6/3/86	
INSPECTOR			
FILED			
			MAP NO. J-13-Z



# CITY OF ALBUQUERQUE

## DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY



F-47

APPROVALS	NAME	DATE	TITLE: OLD TOWN SHOPPING CENTER & PAD BUILDING & BUS SHELTER
A.C.E. / DESIGN	Philip Friedman	6/3/86	CENTRAL & RIO GRANDE BLVD.
INSPECTOR			PERMIT NO.
			SHEET 2 OF 2
			MAP NO. 111



Rick Duran

Hydrology