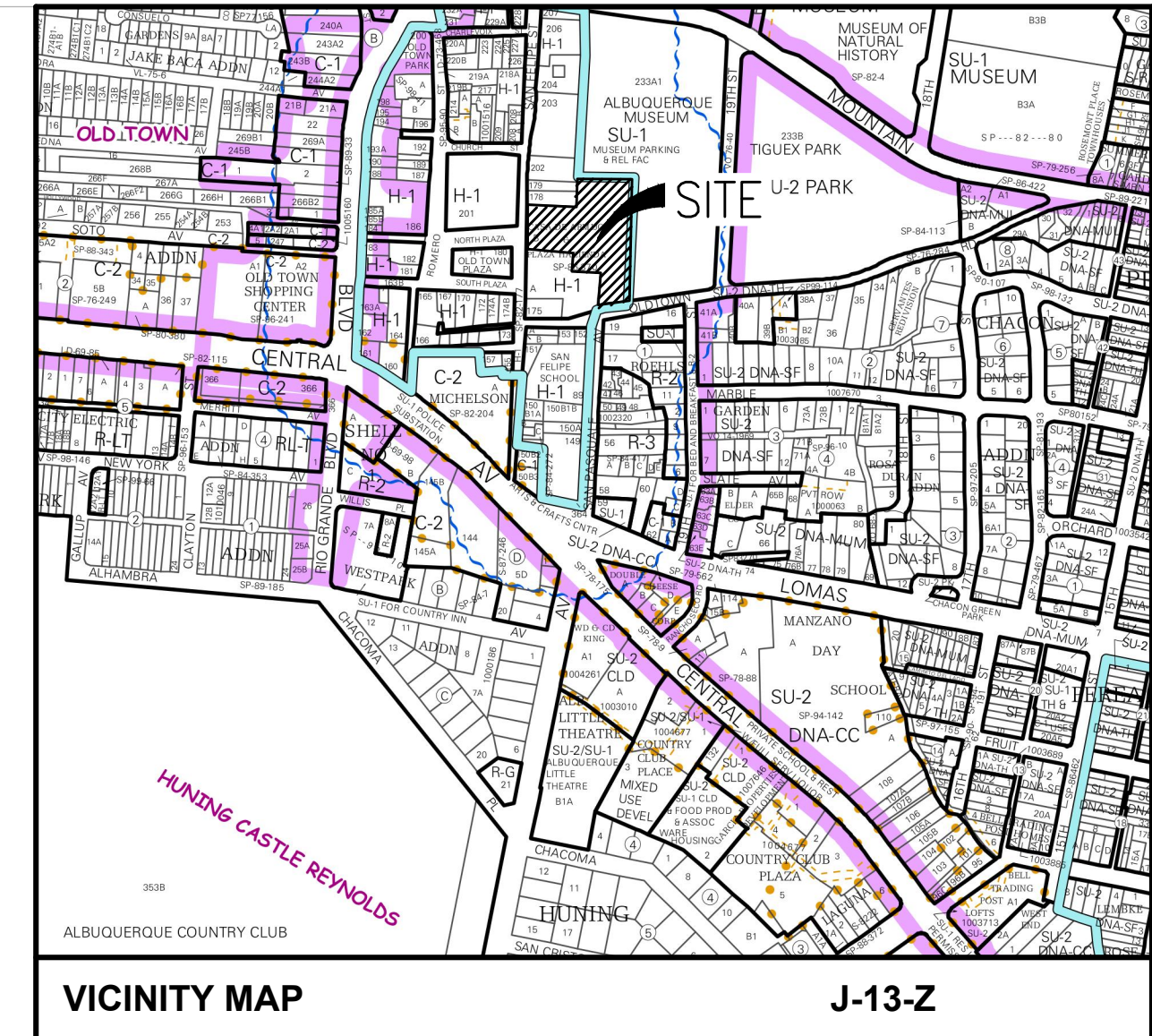
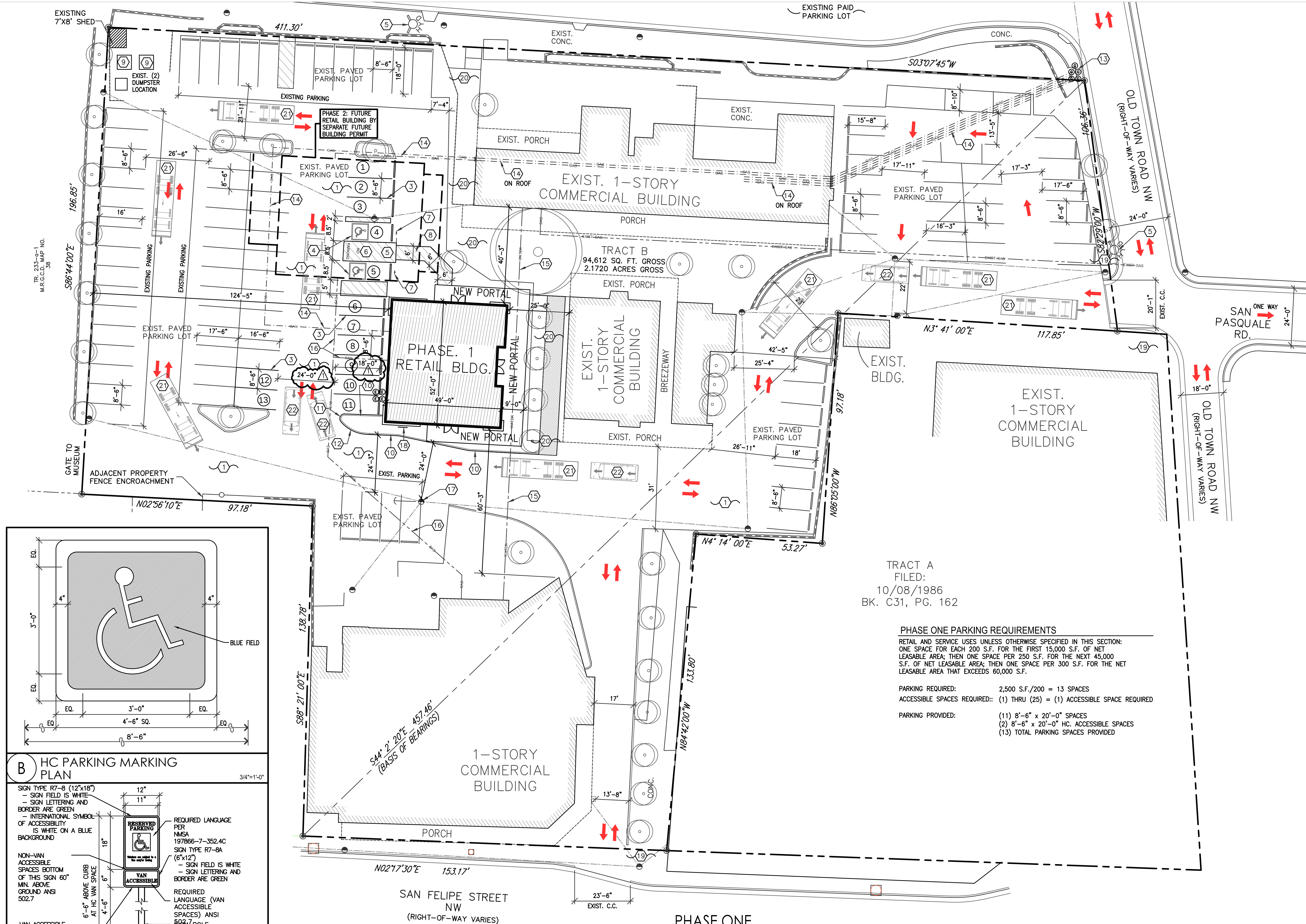




- KEYED NOTES**
- EXISTING ASPHALT PAVING. NOTE: PATCH AND REPAIR EXIST. ASPHALT PAVING AT LOCATION AROUND NEW BUILDING AND NEW PAINTED STRIPE PARKING AREAS.
 - EXIST. FIRE HYDRANT.
 - NEW 2" WIDE PAINTED PARKING STRIPE PER CITY OF ALBUQUERQUE STANDARDS, TYPICAL FOR 13 PARKING SPACES.
 - NEW HANDICAP SYMBOL PER CITY OF ALBUQUERQUE STANDARDS, REF: DETAIL B/C-1.0.
 - NEW HANDICAP ACCESSIBLE AISLE PER CITY OF ALBUQUERQUE STANDARDS. NOTE: ACCESSIBLE AISLE WITH MAX 2% SLOPE.
 - "NO PARKING" IN CAPITAL LETTERS, 12" HIGH x 2" WIDE, LOCATE SIGN AT THE REAR OF THE PARKING SPACE SO AS TO BE CLOSE TO WHERE AN ADJACENT VEHICLE'S TIRE WOULD BE. (66-1-4.1.B NMSA 1978).
 - NEW HANDICAP ACCESSIBLE SIGNAGE PER CITY REQUIREMENTS, REF: DETAIL A/C-1.0.
 - NEW PAINTED STRIP 6 FT. WIDE ADA ACCESSIBLE PEDESTRIAN PATH-WAY. NOTE: NEW ACCESSIBLE PEDESTRIAN PATH-WAY TO HAVE MAX. 2% SLOPE TO NEW PROPOSED PHASE ONE BUILDING.
 - EXISTING (2) DUMPSTER LOCATION, NOTE: EXISTING DUMPSTERS FOR NEW AND EXISTING BUILDINGS ON THE SITE PLAN.
 - NEW 6" RAISED CONCRETE CURB AND GUTTER.
 - NEW 2'-0" RADIUS.
 - NEW 15'-0" RADIUS.
 - NEW GAS METER BANK LOCATION - 5 NEW GAS METERS.
 - NEW GAS LINE(S), REF: PLUMBING PLANS.
 - EXISTING 2" WATER LINE.
 - NEW SEWER LINE, REF: PLUMBING PLANS.
 - EXISTING POWER POLE WITH THREE PHASE POWER
 - NEW PREMIS ID TO BE 24 INCH HIGH NUMERALS, 4" STROKE ON A CONTRASTING BACKGROUND.
 - EXISTING LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SITE REQUIREMENT, THEREFORE, SIGNS, WALL, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL AT MEASURED FROM THE GUTTER WILL NOT BE ACCEPTABLE IN THIS AREA.
 - G.C. TO REMOVE AND REPLACE EXIST. PEDESTRIAN CONCRETE SIDEWALKS AND EXIST. BRICK PAVEMENT WALK-WAYS AS REQUIRED ADJACENT TO PROPOSED PHASE ONE BUILDING.
 - REFUSE TRUCK, TYP.
 - DELIVERY VAN/TRUCK, TYP.

TRACT A
FILED:
10/08/1986
BK. C31, PG. 162

PHASE ONE PARKING REQUIREMENTS

RETAIL AND SERVICE USES UNLESS OTHERWISE SPECIFIED IN THIS SECTION:
ONE SPACE FOR EACH 200 S.F. FOR THE FIRST 15,000 S.F. OF NET LEASABLE AREA; THEN ONE SPACE PER 250 S.F. FOR THE NEXT 45,000 S.F. OF NET LEASABLE AREA; THEN ONE SPACE PER 300 S.F. FOR THE NET LEASABLE AREA THAT EXCEEDS 60,000 S.F.

PARKING REQUIRED: 2,500 S.F./200 = 13 SPACES

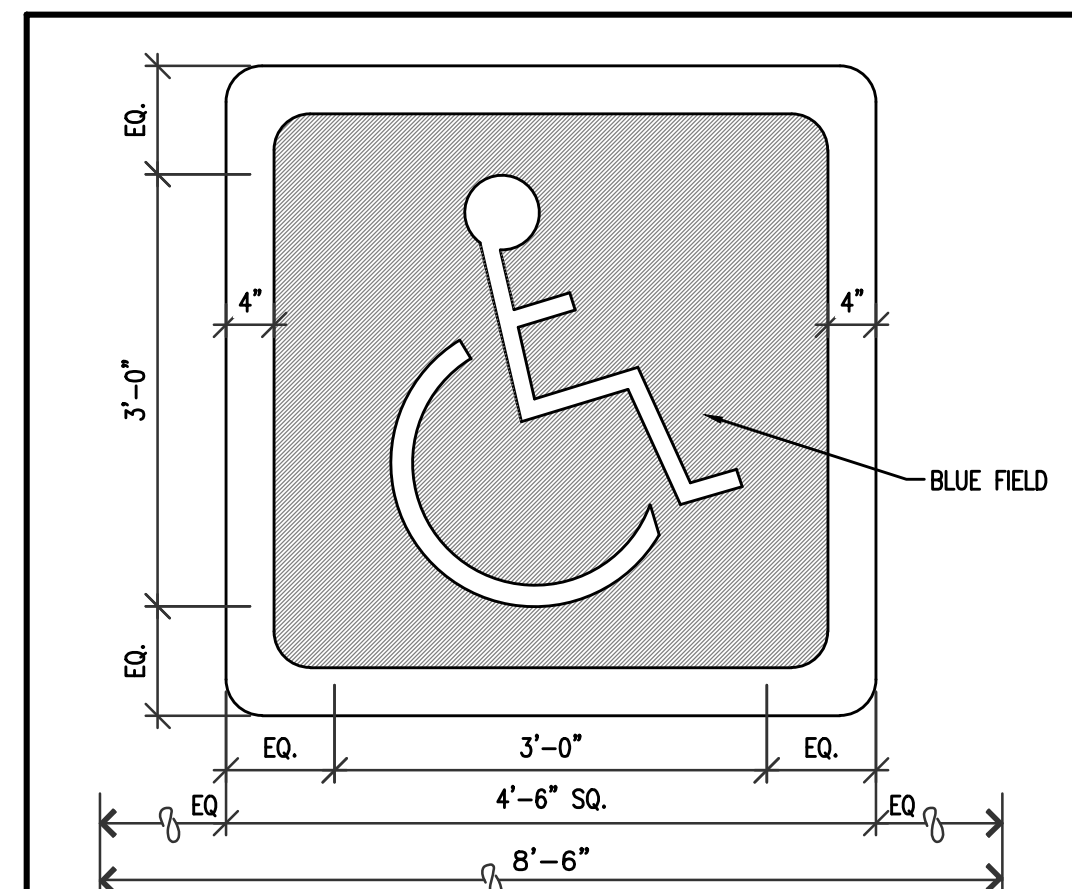
ACCESSIBLE SPACES REQUIRED: (1) THRU (25) = (1) ACCESSIBLE SPACE REQUIRED

PARKING PROVIDED:

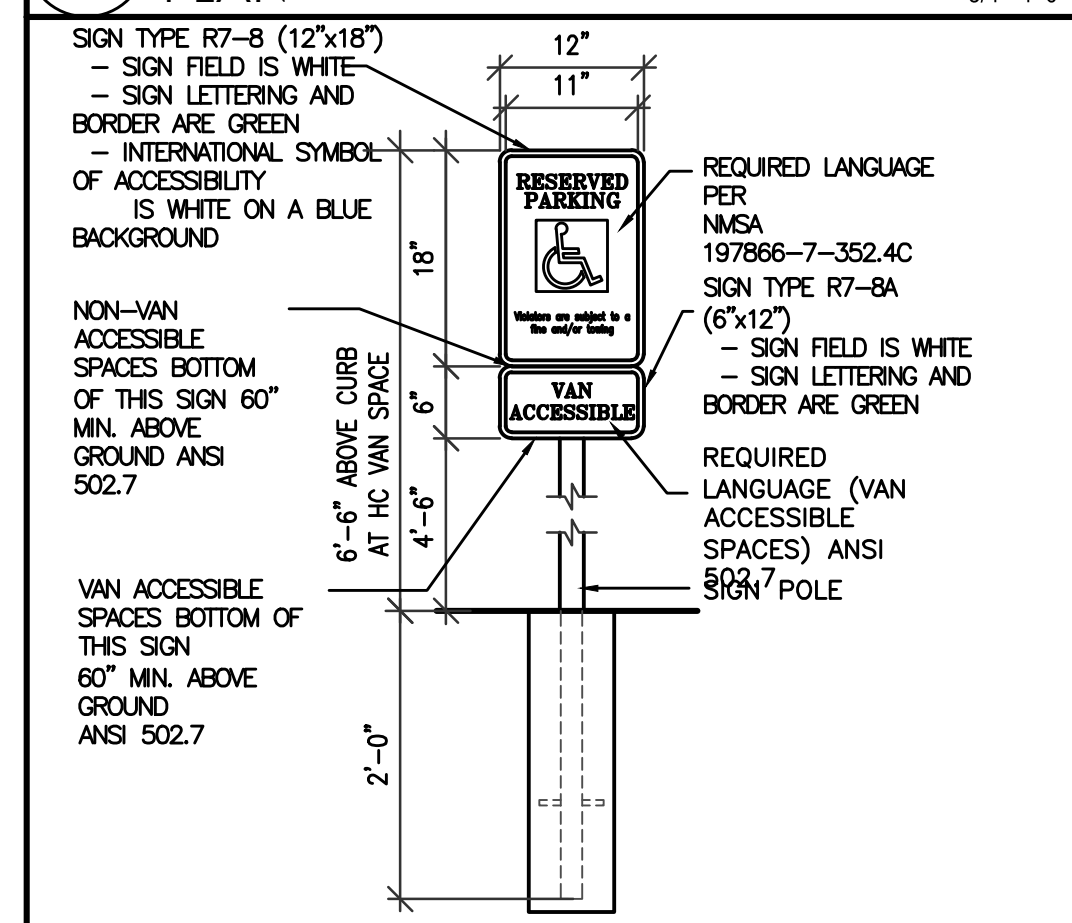
- (1) 8'-6" x 20'-0" SPACES
- (2) 8'-6" x 20'-0" HC ACCESSIBLE SPACES
- (13) TOTAL PARKING SPACES PROVIDED

SYMBOLS LEGEND

- = POWER POLE
- OHU- = OVERHEAD UTILITY LINE
- >— = ANCHOR
- = WATER METER
- ⊙ = FIRE HYDRANT
- X— = BLOCK WALL
- X— = FENCE
- = WROUGHT IRON FENCE



B HC PARKING MARKING PLAN



A HC PARKING SIGNAGE ELEVATIONS

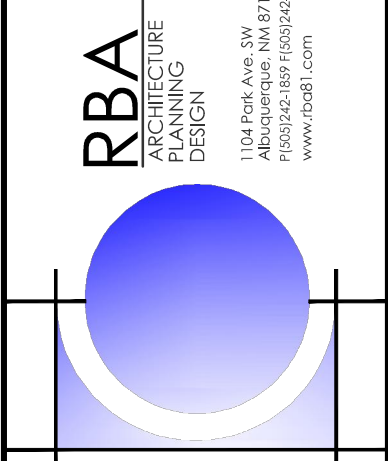
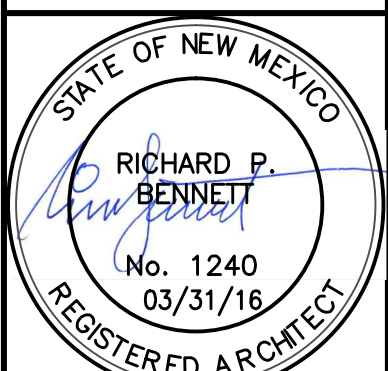


PHASE ONE NEW SITE PLAN

LEGAL DESCRIPTION
TRACT B, PLAT OF THE LANDS OF
CASA DE ARMUJO (LA PLACITA PATIO
MARKETS) AND PLAZA HACIENDA
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JULY, 2012

PLAZA HACIENDA ADDITION AT OLD TOWN
PHASE ONE NEW SITE PLAN
ALBUQUERQUE, NM
PROJECT #1579

REVISION DATE
PER CITY TOL REVIEW
04-18-2016



DATE
03-31-2016

SHEET NUMBER
C-2.0