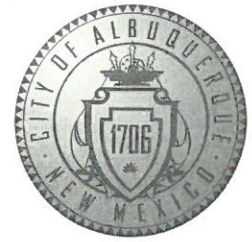


# CITY OF ALBUQUERQUE



May 18, 2017

Richard Bennett, R.A.  
RBA  
1104 Park Ave. NW  
Albuquerque, NM 87102

**Re: Plaza Hacinda Addition, Tract B, Plat Of The Lands Of Casa De Armijo  
And Plaza Hacienda  
Request for Certificate of Occupancy- Transportation Development**  
Architect's Stamp dated 3-31-16 (J13D037)  
Certification dated 5-15-17

Dear Mr. Bennett,

Based upon the information provided in your submittal received 5-15-17, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact me at (505) 924-3981.

Sincerely,

Monica Ortiz  
Plan Checker, Transportation & Hydrology  
Development Review Services

MA/MO            via: email  
C:            CO Clerk, File

**DRAINAGE AND TRANSPORTATION INFORMATION SHEET**  
(REV 02/2012)

PROJECT TITLE: PLAZA HACIENDA ADDITION ZONE MAP: J-13-~~1~~ D037  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: TRACK B LANDS CASA DE ARMIJO AND PLAZA HACIENDA  
CITY ADDRESS: CITY ALB, BERNALILLO COUNTY

ENGINEERING FIRM: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_  
EMAIL: \_\_\_\_\_

OWNER: JOYCE BATTAGLIA CONTACT: JOYCE BATTAGLIA  
ADDRESS: 1919 OLD TOWN RD NW SUITE 1 PHONE: (760) 207-8739  
CITY, STATE: ALB, NM ZIP CODE: 87104

ARCHITECT: RMA ARCHITECTURE PLANNING DESIGN CONTACT: DARBY MIERA  
ADDRESS: 1104 PARK AVE PHONE: (505) 242-1859  
CITY, STATE: ALB, NM ZIP CODE: 87102  
EMAIL: darby@rma81.com

SURVEYOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

**TYPE OF SUBMITTAL:**

☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1<sup>ST</sup> SUBMITTAL  
☐ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERT (HYDROLOGY)  
☐ CLOMR/LOMR  
☒ TRAFFIC CIRCULATION LAYOUT  
☐ ENGINEER'S CERT (TCL)  
☐ ENGINEER'S CERT (DRB SITE PLAN)  
☐ OTHER (SPECIFY) \_\_\_\_\_

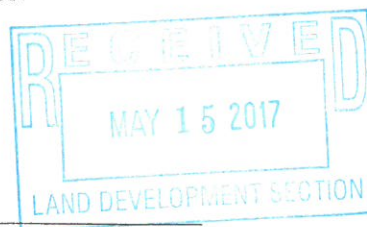
**CHECK TYPE OF APPROVAL SOUGHT:**

☐ SIA/FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☒ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY (PERM)  
☐ CERTIFICATE OF OCCUPANCY (TEMP)  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ GRADING CERTIFICATION  
☐ OTHER (SPECIFY) SO-19 \_\_\_\_\_

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES  
☐ NO  
☐ COPY PROVIDED

DATE SUBMITTED: 5/15/2017 BY: \_\_\_\_\_



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

Owen Johnson - Alcon - 369-9318



May 15, 2017

Re: Plaza Hacienda Addition Old Town  
1919 Old Town Rd, NW, Alb. NM  
Engineer's/Architect's stamp dated: 3/31/2016

## TRAFFIC CERTIFICATION

I, Rick Bennett, NMRA # 1240, of The Firm of Rick Bennett Architect, hereby certify that this project is in substantial compliance with and in accordance with the design intent of the Traffic Circulation Layout, approved TCL dated 04/18/2016 and with Architect's stamp dated 03/31/2016.

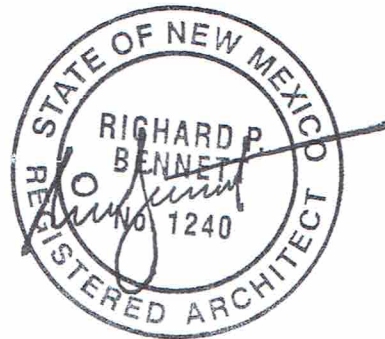
The record information edited onto the original design document has been obtained by Rick Bennett Architect, of the firm. I further certify that I have personally visited the project site on February 2, 2016 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Certificate of Occupancy (Permanent) for Plaza Hacienda Addition Old Town. Located at 1919 Old Town Rd. NW 87104, Lot B, Lands of Casa De Armijo, Track B, of Albuquerque, Bernalillo County, New Mexico.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Date: 10/17/2016

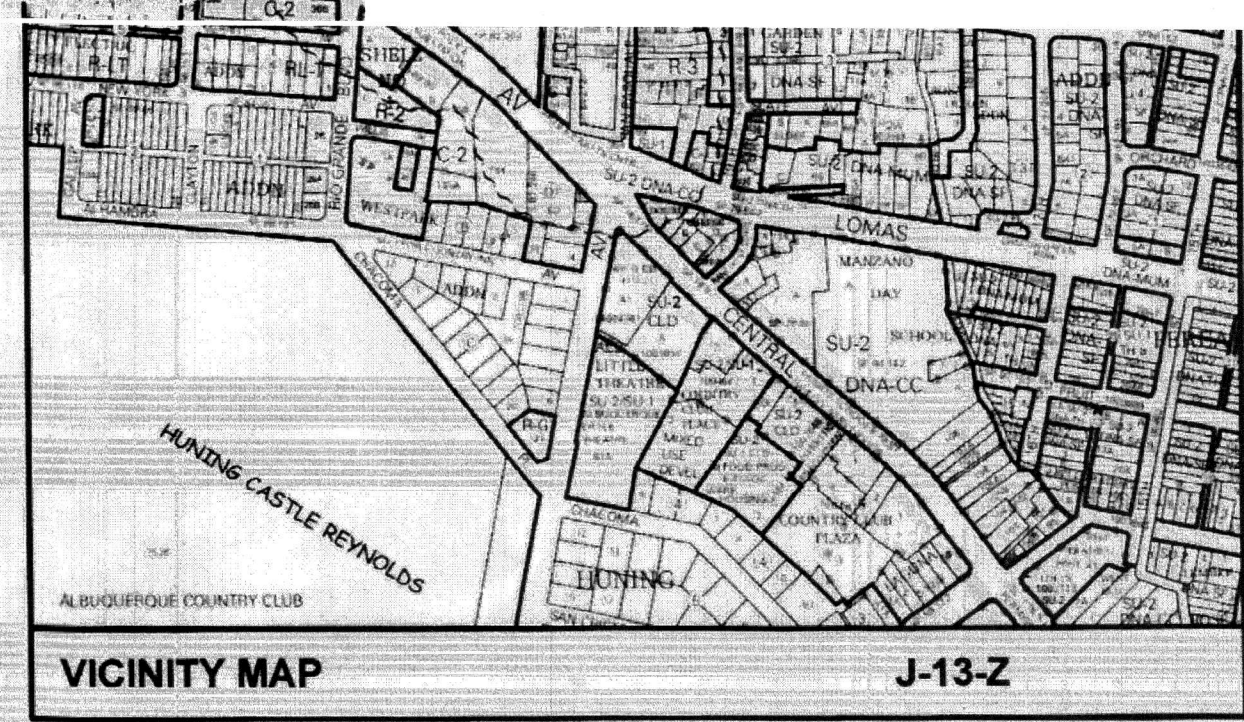
Sincerely,

Rick Bennett, Architect





CITY OF ALBUQUERQUE  
PLANNING  
APPROVED  
The Applicant has demonstrated that the proposed project is in compliance with the City of Albuquerque's Comprehensive Zoning Ordinance.  
PERMIT # 1201080948  
DATE: 07/15/16



- KEYED NOTES**
- EXISTING ASPHALT PAVING. NOTE: PATCH AND REPAIR EXIST. ASPHALT PAVING AT LOCATION AROUND NEW BUILDING AND NEW PAINTED STRIPE PARKING AREAS.
  - EXIST. FIRE HYDRANT.
  - NEW 2" WIDE PAINTED PARKING STRIPE PER CITY OF ALBUQUERQUE STANDARDS, TYPICAL FOR 13 PARKING SPACES.
  - NEW HANDICAP SYMBOL PER CITY OF ALBUQUERQUE STANDARDS, REF: DETAIL B/C-1.0.
  - NEW HANDICAP ACCESSIBLE AISLE PER CITY OF ALBUQUERQUE STANDARDS. NOTE: ACCESSIBLE AISLE WITH MAX 2% SLOPE.
  - "NO PARKING" IN CAPITAL LETTERS, 12" HIGH x 2" WIDE, LOCATE SIGN AT THE REAR OF THE PARKING SPACE SO AS TO BE CLOSE TO WHERE AN ADJACENT VEHICLE'S TIRE WOULD BE (66-1-4.1.B NMSA 1978).
  - NEW HANDICAP ACCESSIBLE SIGNAGE PER CITY REQUIREMENTS, REF: DETAIL A/C-1.0.
  - NEW PAINTED STRIP 6 FT. WIDE ADA ACCESSIBLE PEDESTRIAN PATH-WAY. NOTE: NEW ACCESSIBLE PEDESTRIAN PATH-WAY TO HAVE MAX. 2% SLOPE TO NEW PROPOSED PHASE ONE BUILDING.
  - EXISTING (2) DUMPSTER LOCATION. NOTE: EXISTING DUMPSTERS FOR NEW AND EXISTING BUILDINGS ON THE SITE PLAN.
  - NEW 6" RAISED CONCRETE CURB AND GUTTER.
  - NEW 2'-0" RADIUS.
  - NEW 15'-0" RADIUS.
  - NEW GAS METER BANK LOCATION - 5 NEW GAS METERS.
  - NEW GAS LINE(S), REF: PLUMBING PLANS.
  - EXISTING 2" WATER LINE.
  - NEW SEWER LINE, REF: PLUMBING PLANS.
  - EXISTING POWER POLE WITH THREE PHASE POWER.
  - NEW PREMISE ID TO BE 24 INCH HIGH NUMERALS, 4" STROKE ON A CONTRASTING BACKGROUND.
  - EXISTING LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SITE REQUIREMENT. THEREFORE, SIGNS, WALL, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL AT MEASURED FROM THE GUTTER WILL NOT BE ACCEPTABLE IN THIS AREA.
  - C.C. TO REMOVE AND REPLACE EXIST. PEDESTRIAN CONCRETE SIDEWALKS AND EXIST. BRICK PAVEMENT WALK-WAYS AS REQUIRED ADJACENT TO PROPOSED PHASE ONE BUILDING.
  - REFUSE TRUCK, TYP.
  - DELIVERY VAN/TRUCK, TYP.

PLAZA HACIENDA ADDITION AT OLD TOWN  
PHASE ONE NEW SITE PLAN  
ALBUQUERQUE, NM  
PROJECT #1579

RECEIVED  
APR 14 2016  
LAND DEVELOPMENT SECTION

- SYMBOLS LEGEND**
- = POWER POLE
  - OHU — = OVERHEAD UTILITY LINE
  - = ANCHOR
  - = WATER METER
  - ⊗ = FIRE HYDRANT
  - = BLOCK WALL
  - X — = FENCE
  - ○ — = WROUGHT IRON FENCE

TRAFFIC CIRCULATION LAYOUT  
APPROVED  
Signed: [Signature] Date: 4/13/16

ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

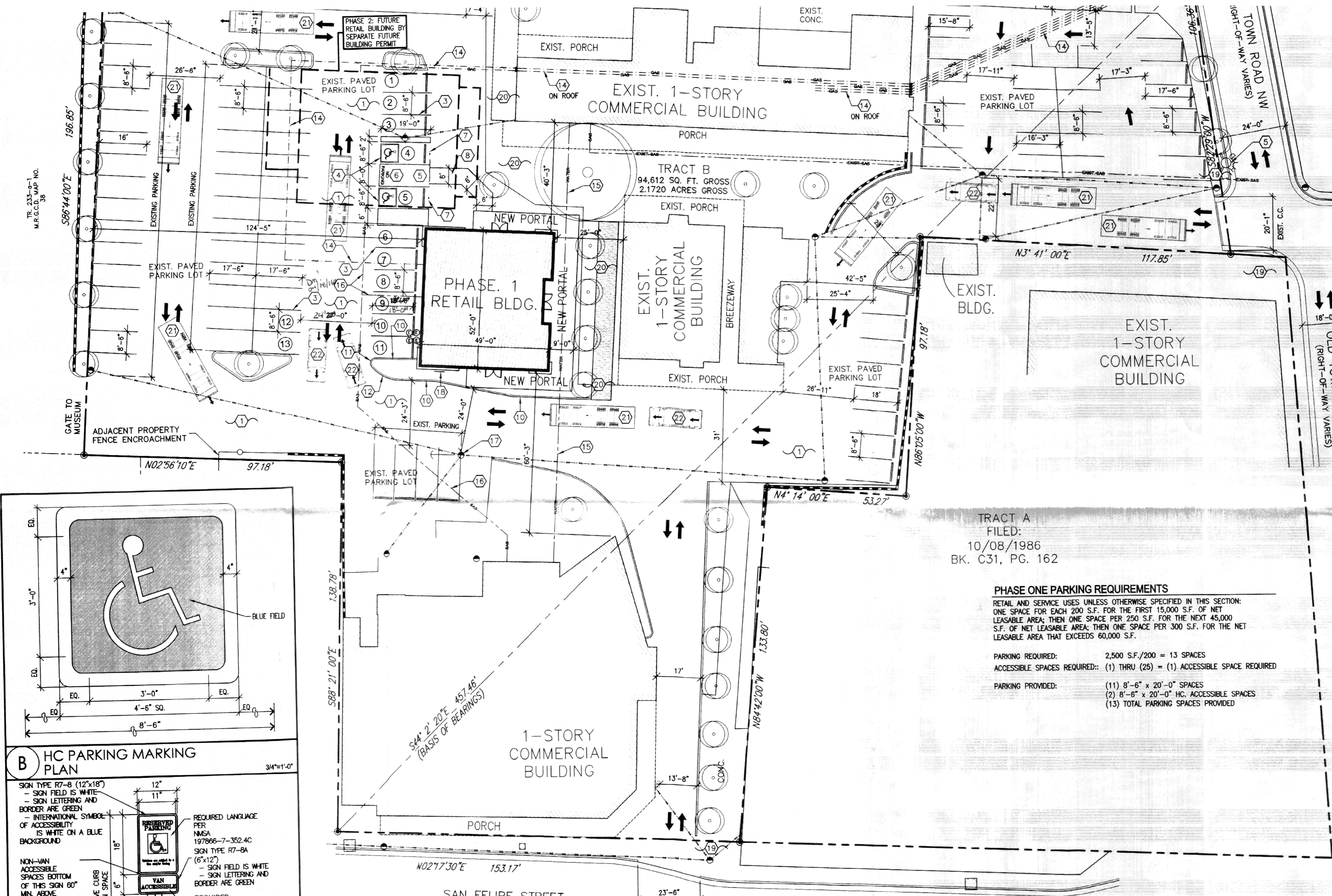
REVISION DATE

STATE OF NEW MEXICO  
RICHARD P. BENNETT  
No. 1240  
03/31/16  
REGISTERED ARCHITECT

RBA  
ARCHITECTURE  
PLANNING  
DESIGN  
10000 1st Avenue NW, Suite 100  
Albuquerque, NM 87112  
505.263.1888  
www.rbaarchitect.com

DATE  
03-31-2016

SHEET NUMBER  
C-2.0



TRACT A  
FILED:  
10/08/1986  
BK. C31, PG. 162

**PHASE ONE PARKING REQUIREMENTS**

RETAIL AND SERVICE USES UNLESS OTHERWISE SPECIFIED IN THIS SECTION:  
ONE SPACE FOR EACH 200 S.F. FOR THE FIRST 15,000 S.F. OF NET LEASABLE AREA; THEN ONE SPACE PER 250 S.F. FOR THE NEXT 45,000 S.F. OF NET LEASABLE AREA; THEN ONE SPACE PER 300 S.F. FOR THE NET LEASABLE AREA THAT EXCEEDS 60,000 S.F.

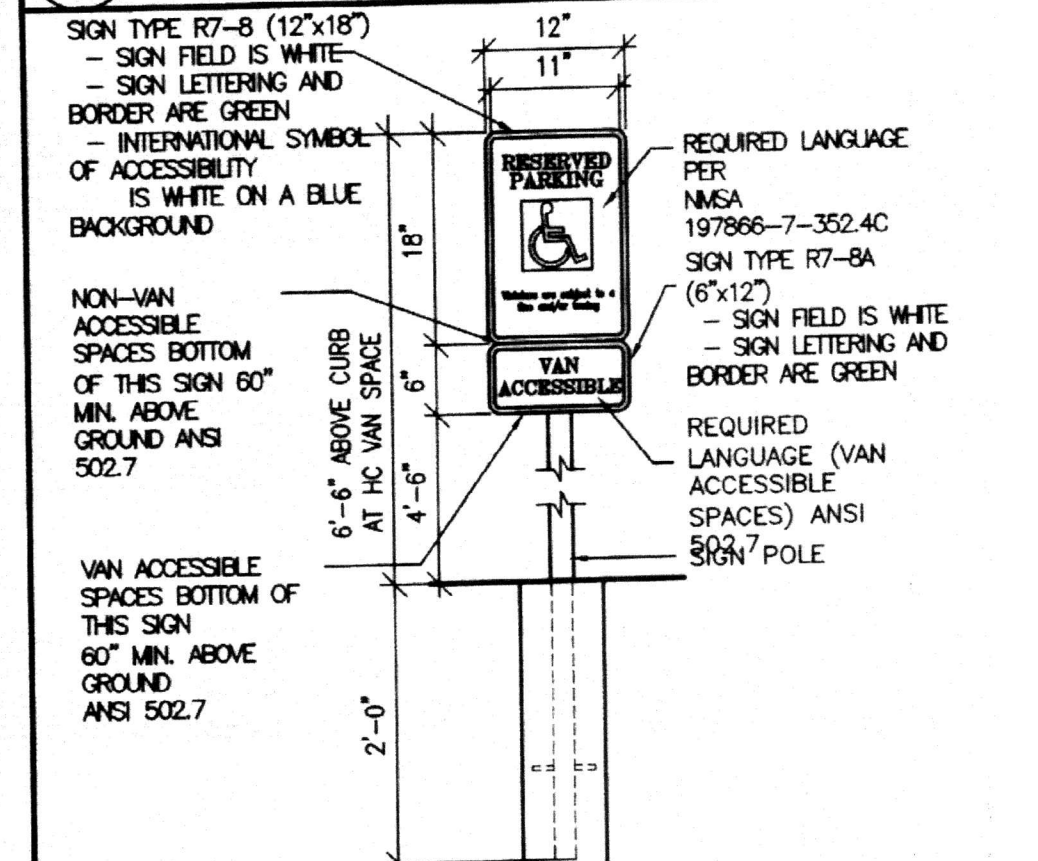
PARKING REQUIRED: 2,500 S.F./200 = 13 SPACES  
ACCESSIBLE SPACES REQUIRED: (1) THRU (25) = (1) ACCESSIBLE SPACE REQUIRED

PARKING PROVIDED:  
(1) 8'-6" x 20'-0" SPACES  
(2) 8'-6" x 20'-0" HC ACCESSIBLE SPACES  
(13) TOTAL PARKING SPACES PROVIDED

**PHASE ONE  
NEW SITE PLAN**  
1"=20'-0"

LEGAL DESCRIPTION  
TRACT B, PLAT OF THE LANDS OF  
CASA DE ARMUJO (LA PLACITA PATIO  
MARKETS) AND PLAZA HACIENDA  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
JULY, 2012

**B HC PARKING MARKING PLAN**  
3/4"=1'-0"



**A HC PARKING SIGNAGE ELEVATIONS**  
3/4"=1'-0"

