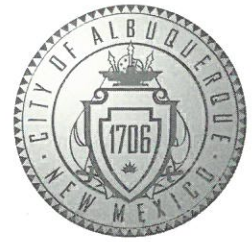


# CITY OF ALBUQUERQUE



November 29, 2017

Rick Bennett  
RBA Architects  
1104 Park Ave SW  
Albuquerque, NM 87104

**Re: La Hacienda Phase II Building**  
**1925 Old Town rd. NW**  
**Traffic Circulation Layout**  
Architect's Stamp dated 11-15-2017 (J13-D037)

Dear Mr. Bennett,

The TCL submittal received 11-16-17 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Logan Patz  
Senior Engineer, Planning Dept.  
Development Review Services

LWP via: email  
C: File

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: La Hacienda Phase II Building (TCL-J13-D037) Building Permit #: \_\_\_\_\_ City Drainage #: J130037

DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: Tract B Lands of Casa de Armijo & Plaza Hacienda, City of Albuquerque, Bernalillo County, New Mexico

City Address: 1925 Old Town Road NW

Engineering Firm: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Owner: Joyce Battaglia Contact: Joyce Battaglia

Address: 1919 Old Town RD SW, Suite 1; Albq. NM 87104

Phone#: 760-207-8739 Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Architect: RBA Architects Contact: Rick Bennett

Address: 1104 Park Ave SW, Albq., NM 87104

Phone#: 505-242-1859 Fax#: \_\_\_\_\_ E-mail: rick@rba81.com

Other Contact: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Check all that Apply:

### DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE  
☐ TRAFFIC/ TRANSPORTATION  
☐ MS4/ EROSION & SEDIMENT CONTROL

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY

### TYPE OF SUBMITTAL:

☐ ENGINEER/ ARCHITECT CERTIFICATION

☐ CONCEPTUAL G & D PLAN

☐ GRADING PLAN

☐ DRAINAGE MASTER PLAN

☐ DRAINAGE REPORT

☐ CLOMR/LOMR

☒ TRAFFIC CIRCULATION LAYOUT (TCL) **REVISED PER SOLID WASTE**

☐ TRAFFIC IMPACT STUDY (TIS)

☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

☐ OTHER (SPECIFY) \_\_\_\_\_

- ☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR

☐ PRE-DESIGN MEETING

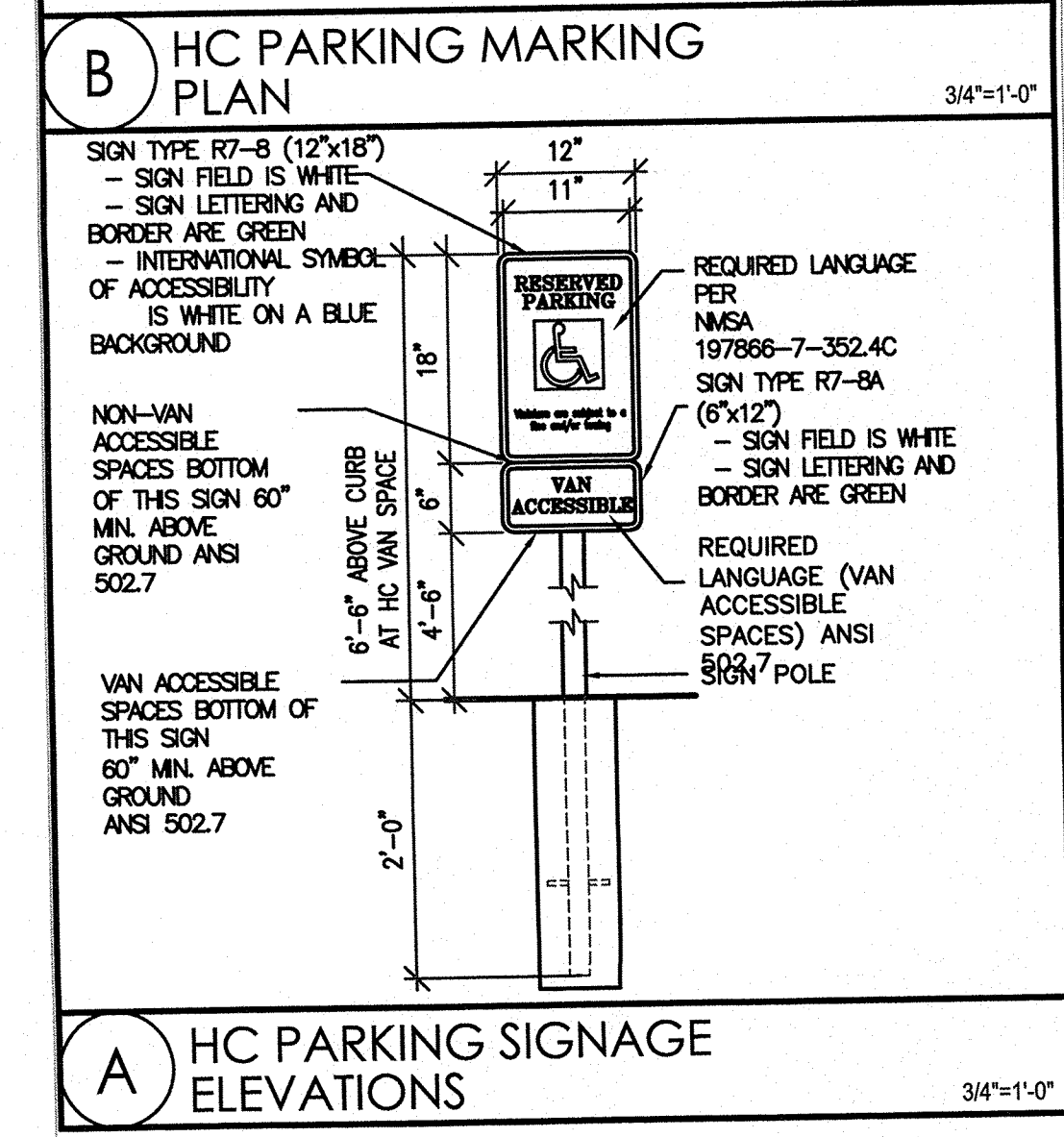
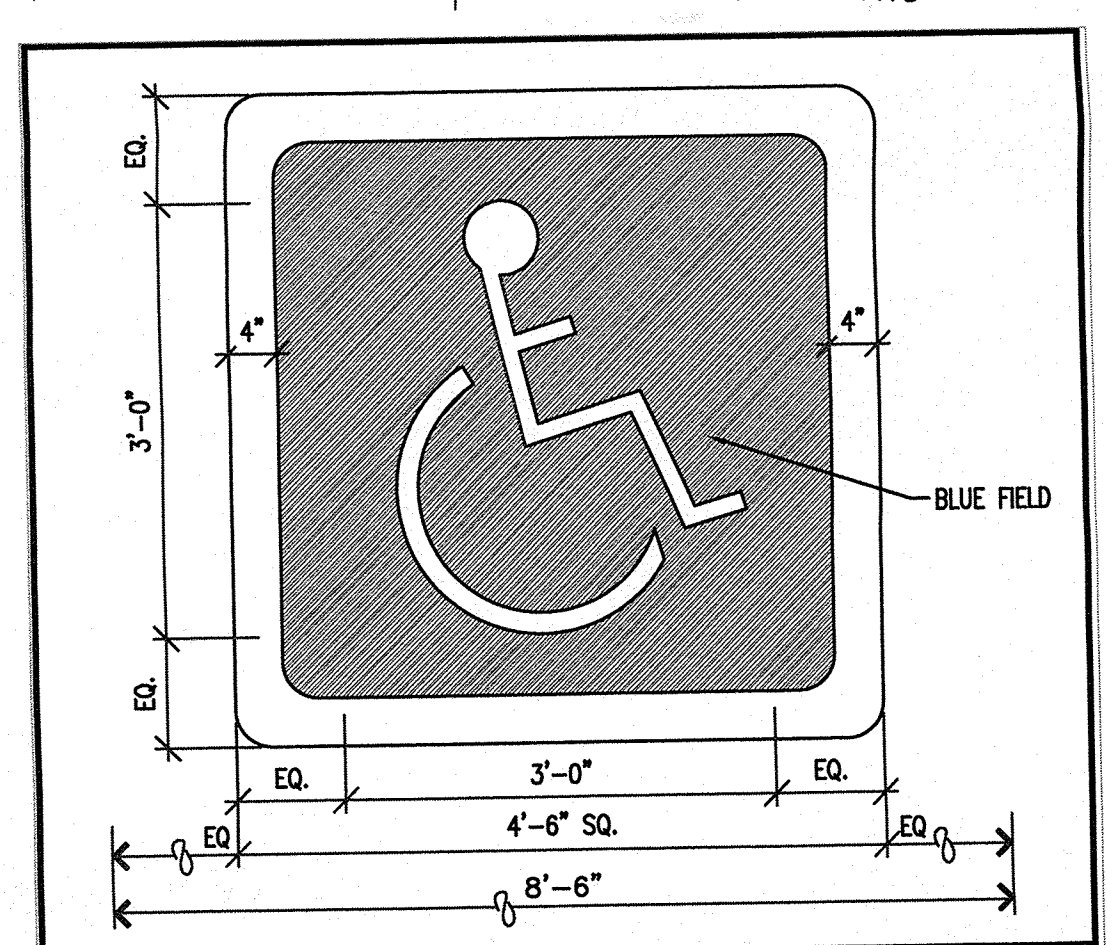
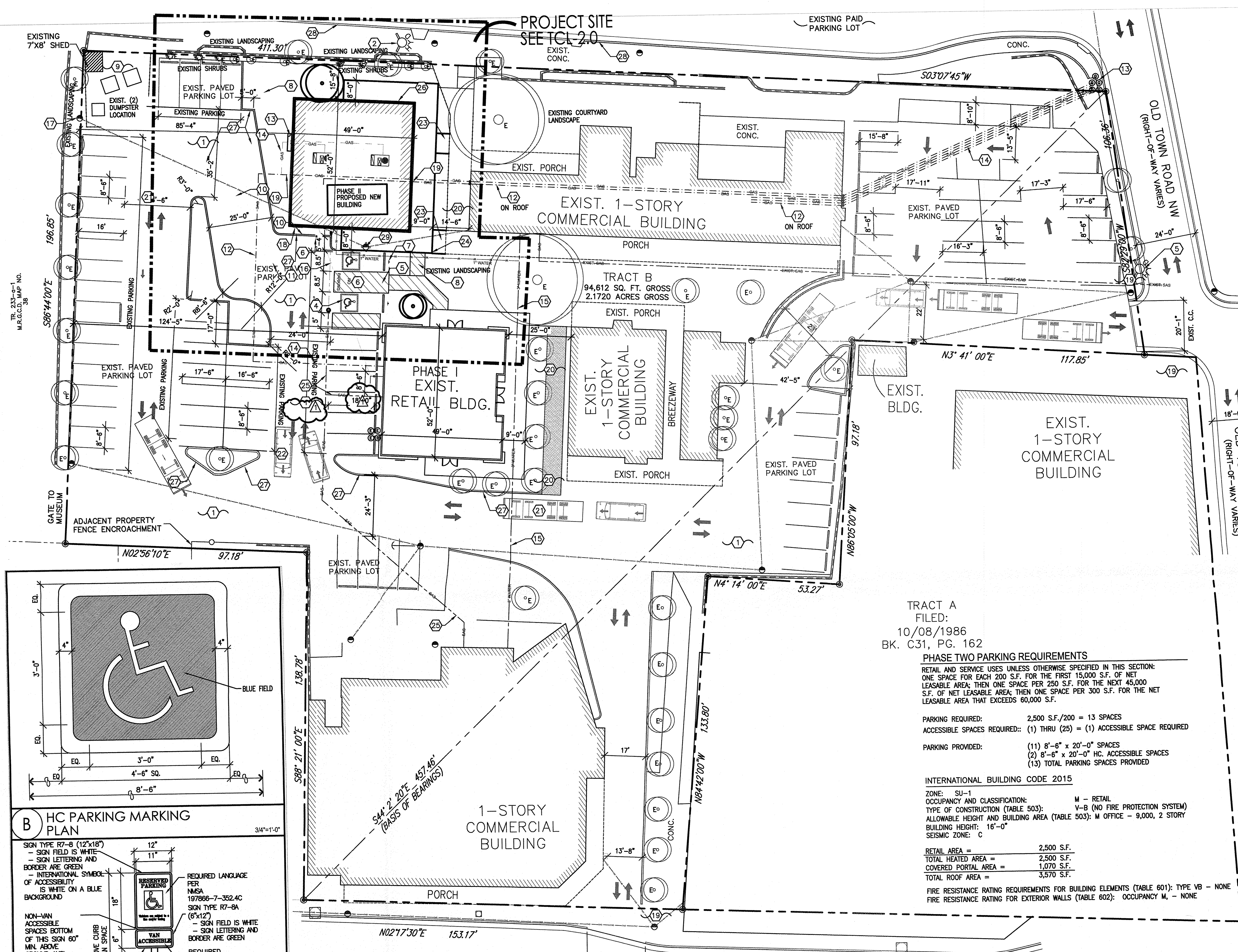
☐ OTHER (SPECIFY) \_\_\_\_\_

IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

DATE SUBMITTED: 11/15/17 By: *[Signature]*

COA STAFF: \_\_\_\_\_ ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_





TRACT A  
FILED:  
10/08/1986  
BK. C31, PG. 162

**PHASE TWO PARKING REQUIREMENTS**

RETAIL AND SERVICE USES UNLESS OTHERWISE SPECIFIED IN THIS SECTION:  
ONE SPACE FOR EACH 200 S.F. FOR THE FIRST 15,000 S.F. OF NET LEASABLE AREA; THEN ONE SPACE PER 250 S.F. FOR THE NEXT 45,000 S.F. OF NET LEASABLE AREA; THEN ONE SPACE PER 300 S.F. FOR THE NET LEASABLE AREA THAT EXCEEDS 60,000 S.F.

PARKING REQUIRED: 2,500 S.F./200 = 13 SPACES  
ACCESSIBLE SPACES REQUIRED: (1) THRU (25) = (1) ACCESSIBLE SPACE REQUIRED

PARKING PROVIDED:  
(1) 8'-6" x 20'-0" SPACES  
(2) 8'-6" x 20'-0" HC ACCESSIBLE SPACES  
(3) TOTAL PARKING SPACES PROVIDED

**INTERNATIONAL BUILDING CODE 2015**

ZONE: SU-1  
OCCUPANCY AND CLASSIFICATION: M - RETAIL  
TYPE OF CONSTRUCTION (TABLE 503): V-B (NO FIRE PROTECTION SYSTEM)  
ALLOWABLE HEIGHT AND BUILDING AREA (TABLE 503): M OFFICE - 9,000, 2 STORY  
BUILDING HEIGHT: 16'-0"  
SEISMIC ZONE: C

RETAIL AREA = 2,500 S.F.  
TOTAL HEATED AREA = 2,500 S.F.  
COVERED PORTAL AREA = 1,070 S.F.  
TOTAL ROOF AREA = 3,570 S.F.

FIRE RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS (TABLE 601): TYPE VB - NONE  
FIRE RESISTANCE RATING FOR EXTERIOR WALLS (TABLE 602): OCCUPANCY M, - NONE

**1 NEW SITE /LANDSCAPE PLAN**  
1"=20'-0"

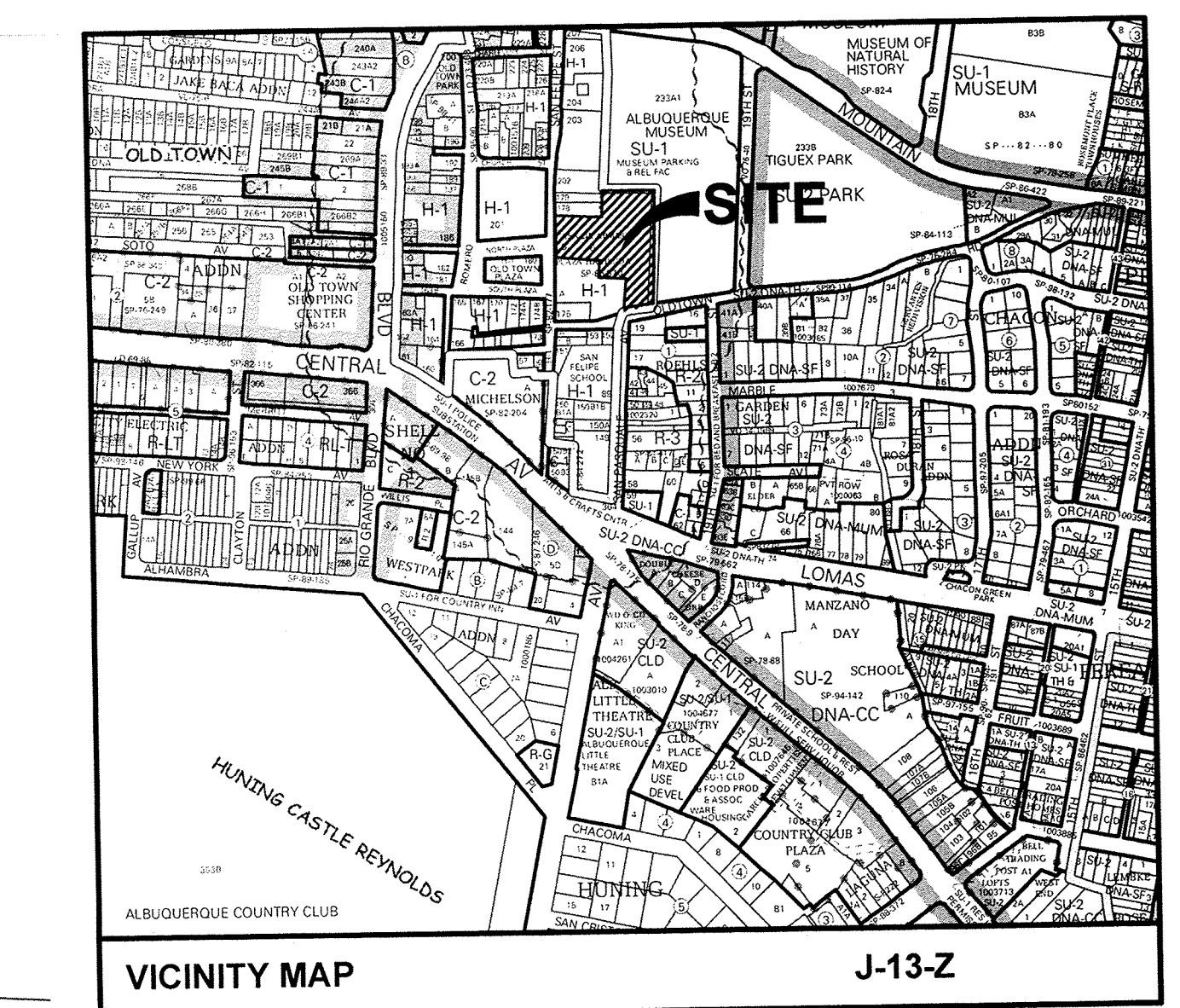
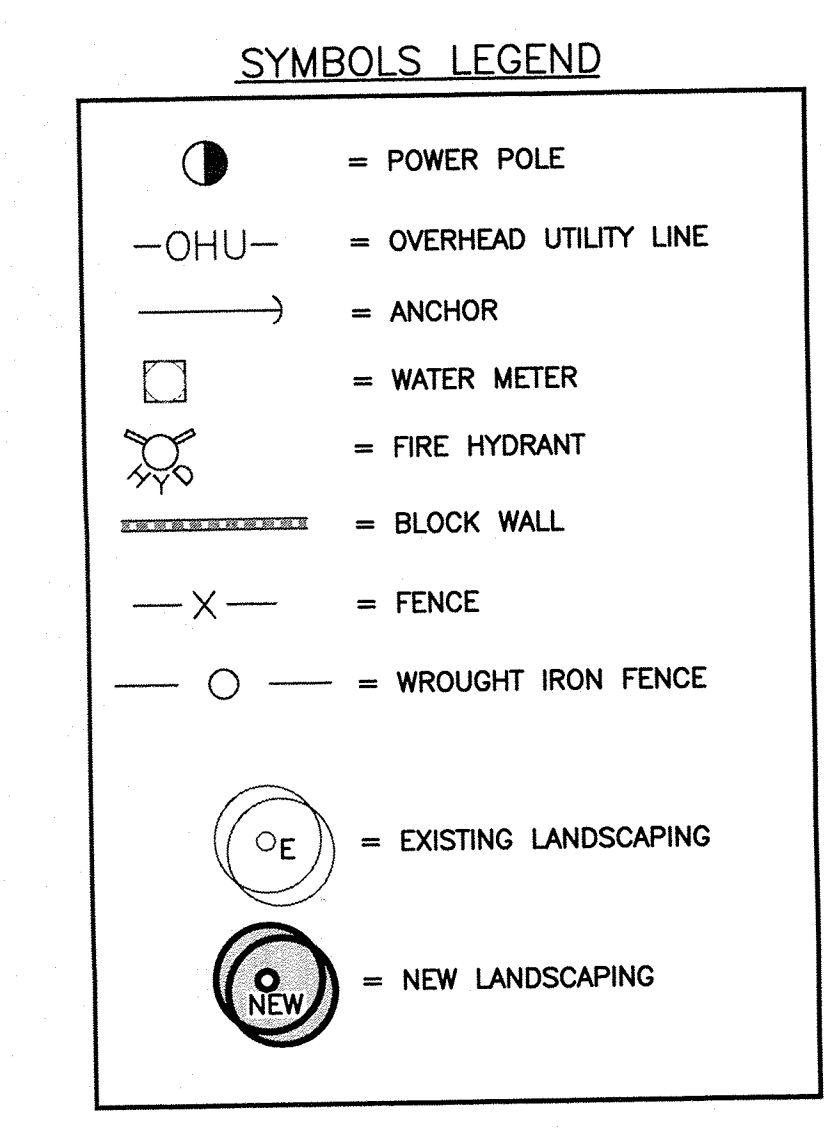
LEGAL DESCRIPTION  
TRACT B, PLAT OF THE LANDS OF  
CASA DE ARMUJO (LA PLACITA PATIO  
MARKETS) AND PLAZA HACIENDA  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
JULY, 2012

**TRAFFIC CIRCULATION LAYOUT  
APPROVED**

*Logan*  
Signed  
11-28-17  
Date

ALL WHEELCHAIR RAMPS LOCATED  
WITHIN THE PUBLIC RIGHT OF WAY  
MUST HAVE TRUNCATED DOMES.

- KEYED NOTES**
- EXISTING ASPHALT PAVING. NOTE: PATCH AND REPAIR EXIST. ASPHALT PAVING AT LOCATION AROUND NEW BUILDING AND NEW PAINTED STRIPE PARKING AREAS.
  - EXIST. FIRE HYDRANT CONNECTED TO EXIST. 8" WATER LINE.
  - NEW 2" WIDE PAINTED PARKING STRIPE PER CITY OF ALBUQUERQUE STANDARDS, TYPICAL FOR 13 PARKING SPACES.
  - EXIST. HANDICAP SYMBOL PER CITY OF ALBUQUERQUE STANDARDS, REF: DETAIL B/C-1.0.
  - EXIST. HANDICAP ACCESSIBLE AISLE PER CITY OF ALBUQUERQUE STANDARDS. NOTE: ACCESSIBLE AISLE WITH MAX 2% SLOPE.
  - "NO PARKING" IN CAPITAL LETTERS, 12" HIGH x 2" WIDE, LOCATE SIGN AT THE REAR OF THE PARKING SPACE SO AS TO BE CLOSE TO WHERE AN ADJACENT VEHICLE'S TIRE WOULD BE. (66-1-4.1.8 NMSA 1978).
  - EXIST. HANDICAP ACCESSIBLE SIGNAGE PER CITY REQUIREMENTS, REF: DETAIL A/C-1.0.
  - NEW PAINTED STRIP 6 FT. WIDE ADA ACCESSIBLE PEDESTRIAN PATH-WAY. NOTE: NEW ACCESSIBLE PEDESTRIAN PATH-WAY TO HAVE MAX. 2% SLOPE TO NEW PROPOSED PHASE ONE BUILDING.
  - EXISTING (2) DUMPSTER LOCATION. NOTE: EXISTING DUMPSTERS FOR NEW AND EXISTING BUILDINGS ON THE SITE PLAN.
  - NEW 6" RASSED CONCRETE CURB AND GUTTER.
  - NEW 2'-0" RADIUS.
  - EXISTING GAS LINE.
  - NEW GAS METER BANK LOCATION - 2 NEW GAS METERS.
  - NEW GAS LINE(S), REF: PLUMBING PLANS.
  - EXISTING 3" WATER LINE.
  - NEW SEWER LINE, REF: PLUMBING PLANS.
  - EXISTING POWER POLE WITH THREE PHASE POWER.
  - NEW PREMISES ID TO BE 24 INCH HIGH NUMERALS, 4" STROKE ON A CONTRASTING BACKGROUND.
  - EXIST. GAS LINE TO BE CAPPED AND REMOVED.
  - G.C. TO REMOVE AND REPLACE EXIST. PEDESTRIAN CONCRETE SIDEWALKS AND EXIST. BRICK PAVEMENT WALK-WAYS AS REQUIRED ADJACENT TO PROPOSED BUILDING.
  - REFUSE TRUCK, TYP.
  - DELIVERY VAN/TRUCK, TYP.
  - NEW SIDEWALK.
  - LINE UP PORTAL.
  - EXISTING SEWER LINE.
  - PREMISES STREET ADDRESS 4" HIGH MIN. W/MINIMUM STROKE WIDTH OF 0.5 IN. VISIBLE FROM STREET PER IFC 2015, SEC 505.
  - FIRE LANE MARKED IN RED "NO PARKING - FIRE LANE" PER IFC 2015, SEC. 503.
  - EXISTING RED MARKED FIRE LANE.
  - EXISTING POWER POLE TO BE RELOCATED, CONTRACTOR TO COORDINATE WITH PNM.



PLAZA HACIENDA ADDITION AT OLD TOWN  
PHASE II NEW SITE/LANDSCAPE PLAN  
1925 OLD TOWN ROAD NW, ALBUQUERQUE, NM  
PROJECT #1732

REVISION DATE  
PER CITY TCL REVIEW  
04-18-2018

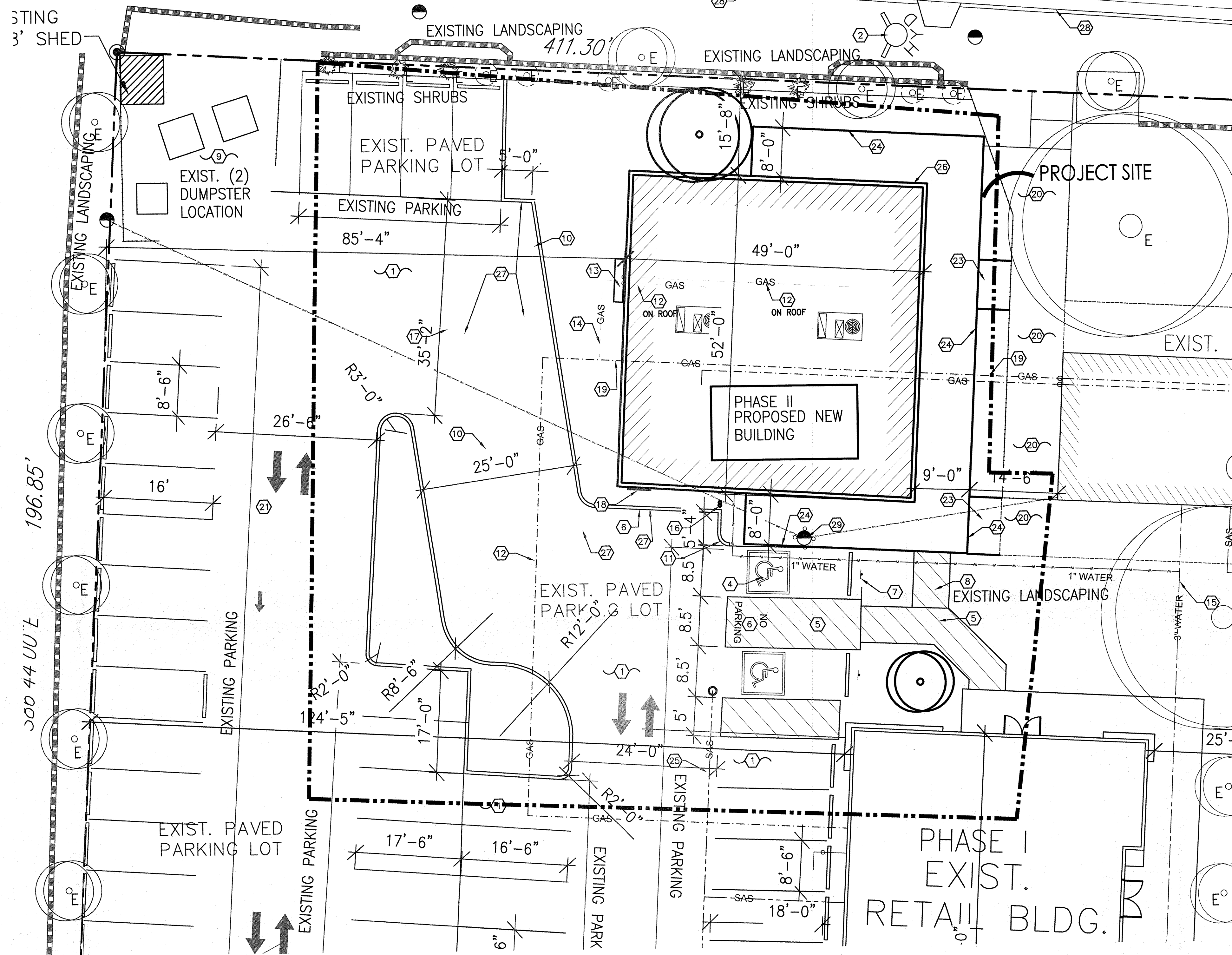
STATE OF NEW MEXICO  
RICHARD P. BENNETT  
No. 1240  
11/15/17  
REGISTERED ARCHITECT

RBA  
ARCHITECTURE  
ARCHITECT  
1001 First Ave. SW  
Albuquerque, NM 87102  
www.rba1.com

DATE  
10-28-2017

SHEET NUMBER  
TCL-1.0





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  - EXISTING POWER POLE TO BE RELOCATED, CONTRACTOR TO COORDINATE WITH PNM.

**SYMBOLS LEGEND**

	= POWER POLE
	= OVERHEAD UTILITY LINE
	= ANCHOR
	= WATER METER
	= FIRE HYDRANT
	= BLOCK WALL
	= FENCE
	= WROUGHT IRON FENCE
	= EXISTING LANDSCAPING
	= NEW LANDSCAPING

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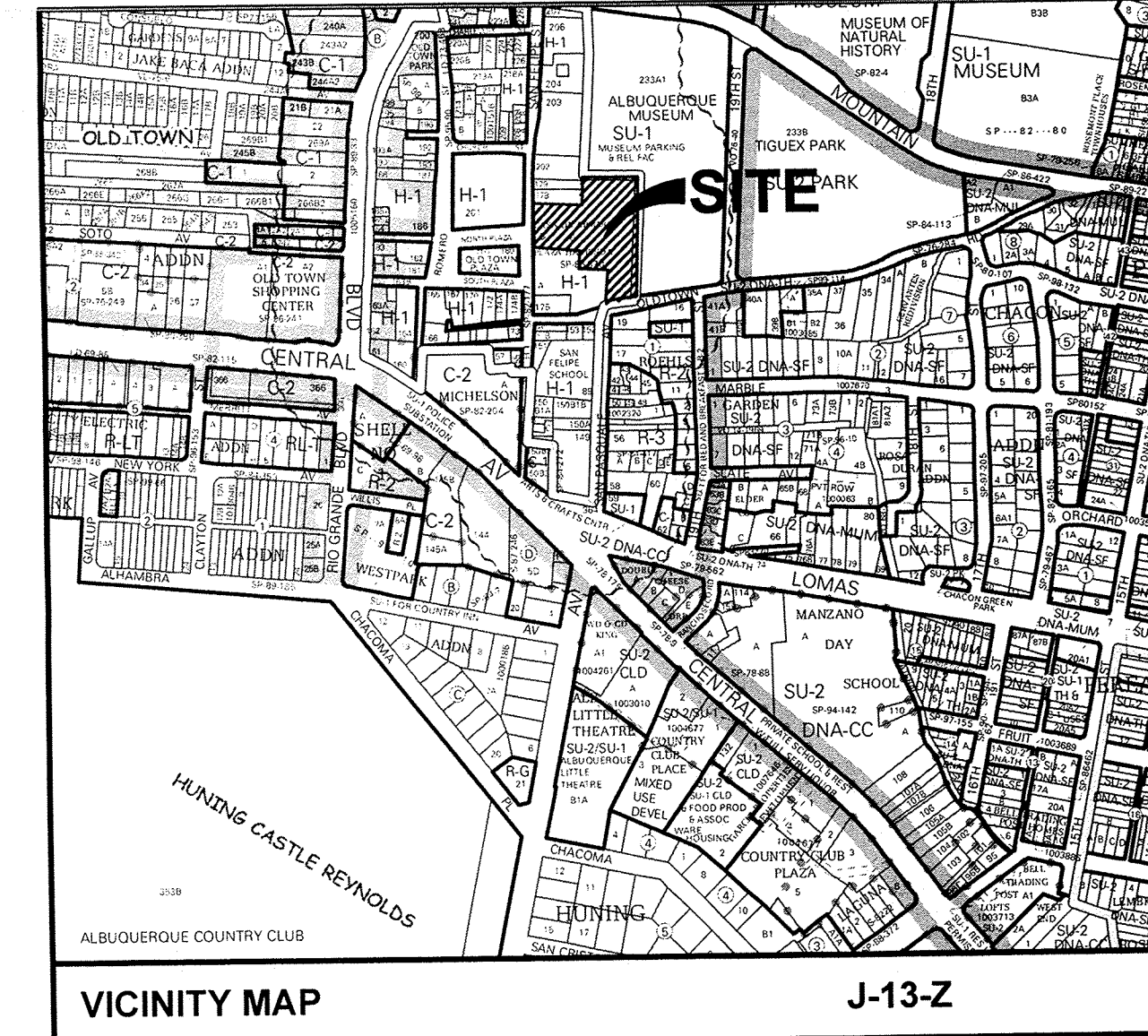
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 BERNALILLO COUNTY, NEW MEXICO  
 JULY, 2012

**TRAFFIC CIRCULATION LAYOUT APPROVED**  
  
 Signed: 11-29-17  
 Date

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 1925 OLD TOWN ROAD NW, ALBUQUERQUE, NM  
 PROJECT #1732

REVISION DATE  
 11-3-2017

STATE OF NEW MEXICO  
 RICHARD P. BENNETT  
 No. 1240  
 11/15/17  
 REGISTERED ARCHITECT

RBA  
 ARCHITECTURE  
 DESIGN  
 100 Park Ave. SW  
 Albuquerque, NM 87102  
 www.rbaarch.com

DATE  
 11-7-2017

SHEET NUMBER  
 TCL-2.0