

CITY OF ALBUQUERQUE



November 3, 2017

Richard P. Bennett
RBA Architects
1104 Park Ave. SW
Albuquerque, NM 87102

Re: La Hacienda Phase II Building
1925 Old Town Rd. NW
Traffic Circulation Layout
Architect's Stamp 10-24-17 (J13D037)

Dear Mr. Bennett,

Based upon the information provided in your submittal received 10-26-17, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the HC parking stall access aisles to the building entrances. Please clearly show this pathway and provide details.
2. Please provide separate detail for the new phase of the development. The TCL is too cluttered to see what is being proposed.

Resubmit a revised plan along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. PDF copies of the plans and submittal package must be emailed to PLNDRS@cabq.gov at time of resubmittal. If you have any questions, please contact me at 924-3630.

Sincerely,

Logan Patz
Senior Engineer, Planning Department
Development Review Services

MA/LP via: email
C: CO Clerk, File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: La Hacienda Phase II Building (TCL-J13-D037) Building Permit #: _____ City Drainage #: 13D037

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: Tract B Lands of Casa de Armijo & Plaza Hacienda, City of Albuquerque, Bernalillo County, New Mexico

City Address: _____

Engineering Firm: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Owner: Joyce Battaglia Contact: Joyce Battaglia

Address: 1919 Old Town RD SW; Suite 1; Albq. NM 87104

Phone#: 760-207-8739 Fax#: _____ E-mail: _____

Architect: RBA Architects Contact: Rick Bennett

Address: 1104 Park Ave SW, Albq., NM 87104

Phone#: 505-242-1859 Fax#: _____ E-mail: rick@rba81.com

Other Contact: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply:

DEPARTMENT:

- ☒ HYDROLOGY/ DRAINAGE
☒ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY

TYPE OF SUBMITTAL:

☐ ENGINEER/ ARCHITECT CERTIFICATION

☐ CONCEPTUAL G & D PLAN

☐ GRADING PLAN

☐ DRAINAGE MASTER PLAN

☐ DRAINAGE REPORT

☐ CLOMR/LOMR

☒ TRAFFIC CIRCULATION LAYOUT (TCL)

☐ TRAFFIC IMPACT STUDY (TIS)

☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

☐ OTHER (SPECIFY) _____

☐ PRELIMINARY PLAT APPROVAL

☐ SITE PLAN FOR SUB'D APPROVAL

☐ SITE PLAN FOR BLDG. PERMIT APPROVAL

☐ FINAL PLAT APPROVAL

☐ SIA/ RELEASE OF FINANCIAL GUARANTEE

☐ FOUNDATION PERMIT APPROVAL

☐ GRADING PERMIT APPROVAL

☐ SO-19 APPROVAL

☐ PAVING PERMIT APPROVAL

☐ GRADING/ PAD CERTIFICATION

☐ WORK ORDER APPROVAL

☐ CLOMR/LOMR

☐ PRE-DESIGN MEETING

☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

DATE SUBMITTED: 10/26/17 By: [Signature]

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: _____



October 24, 2017

Re: LA HACIENDA RETAIL / OFFICE BUILDING Phase II
PROJECT #1732

RBA agents for Old Town Plaza, LLC respectfully submits this application for Phase 2 new building to be constructed in Old Town Albuquerque north of the existing shops which are east of La Hacienda restaurant.

Scope:

- Phase II 2,500 SF single story Office Building with connecting portal
- Some new landscaping to complement the existing mature landscaping on the site.
- No new parking areas are proposed but existing parking to the north will remain.

Architecture:

- This new development will close in the north end of the existing Plaza and redirect foot traffic from the parking lot to the east, west to the Old Town Plaza.
- The 2,500 SF Building on the east side of the lot will be a low sloped roof structure to complement the Shops to the south of this building.
- The stucco colors will either match or be in the same family of tan as the rest of the project.
- The window trim will be a sky blue to match the existing shops.
- The portals will be natural stained wood columns, beams and tongue and groove decking.
- The new walkways will be a combination of brick and colored concrete.
- The existing landscaping and other site features will be disturbed as little as possible but there will be some removal of misc. banco's and garden walls.

The proposed project will fit its surroundings and will have the feel that it has always been there and will not be a new and shiny addition but rather a traditional feeling addition to this area using authentic traditional finishes such as wood windows, heavy timber, portals, cement stucco using traditional forms and materials.

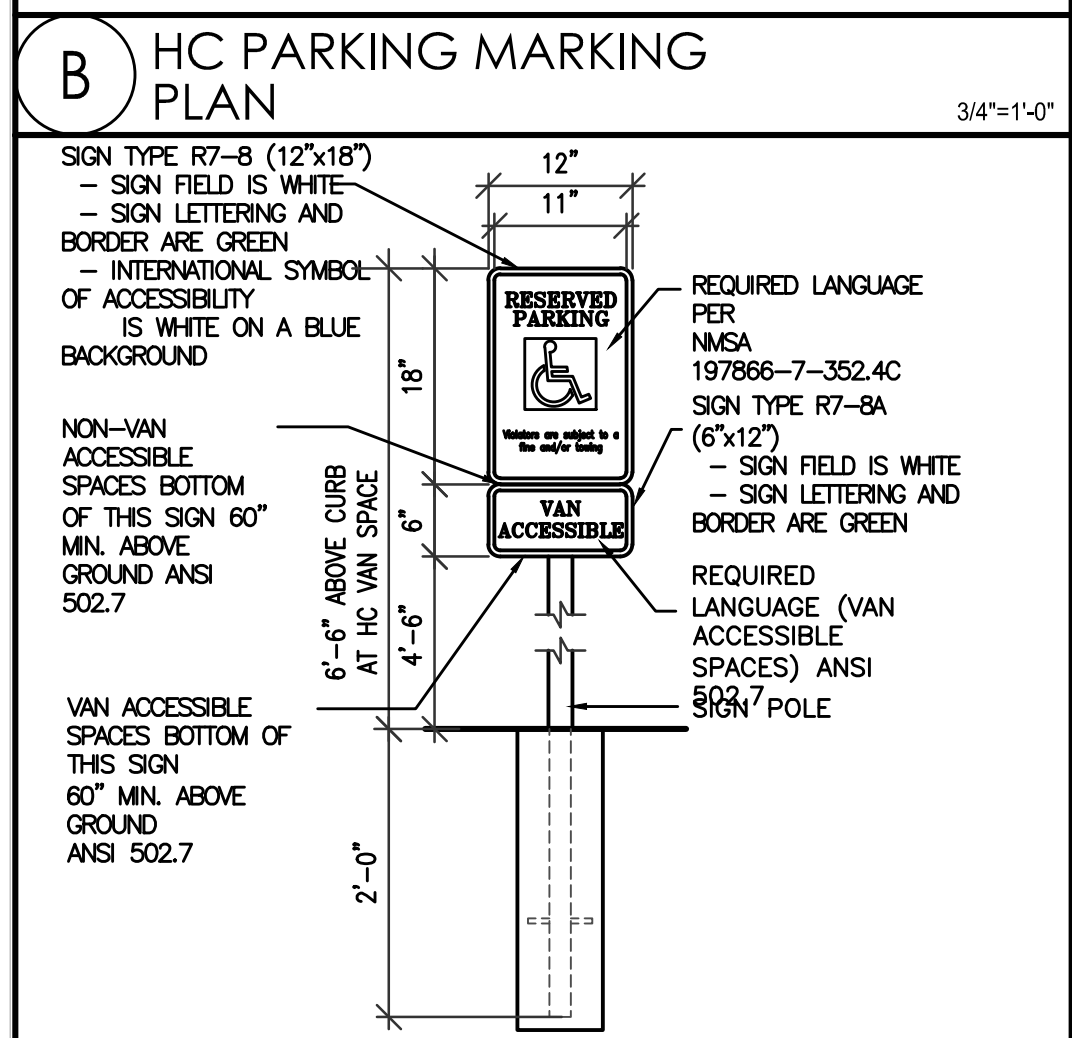
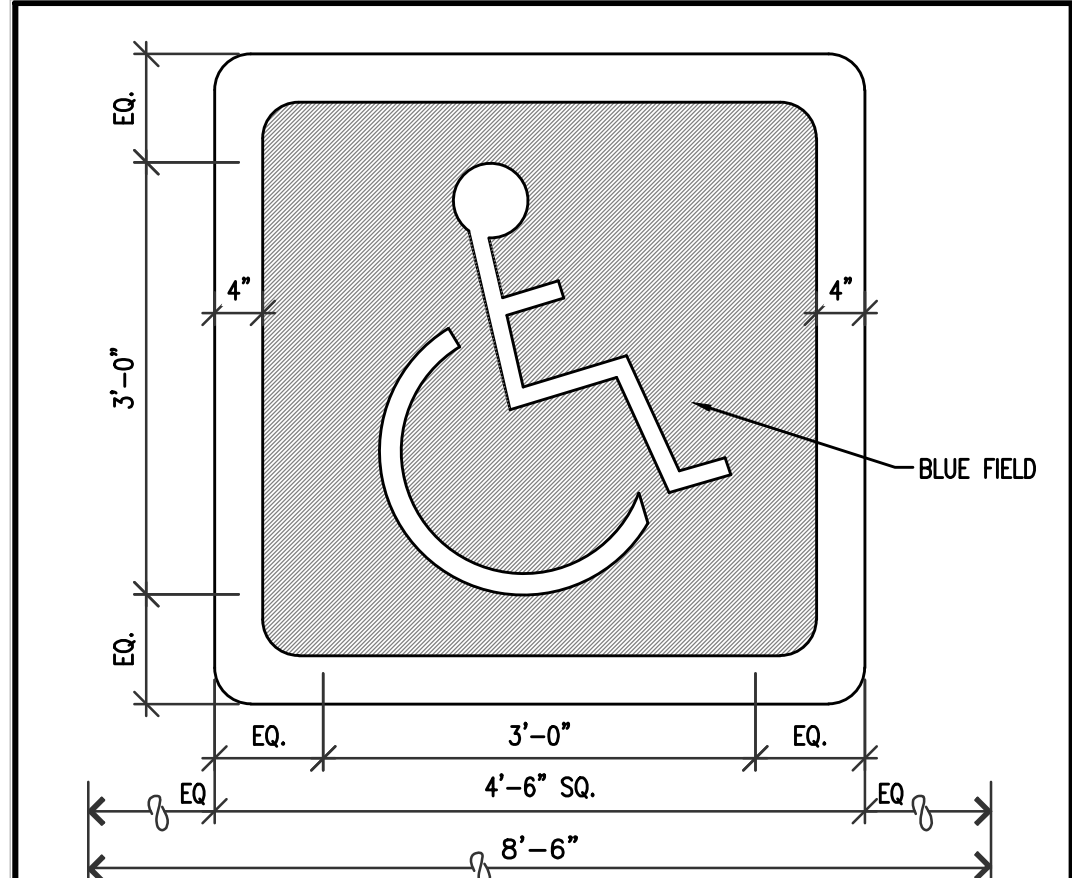
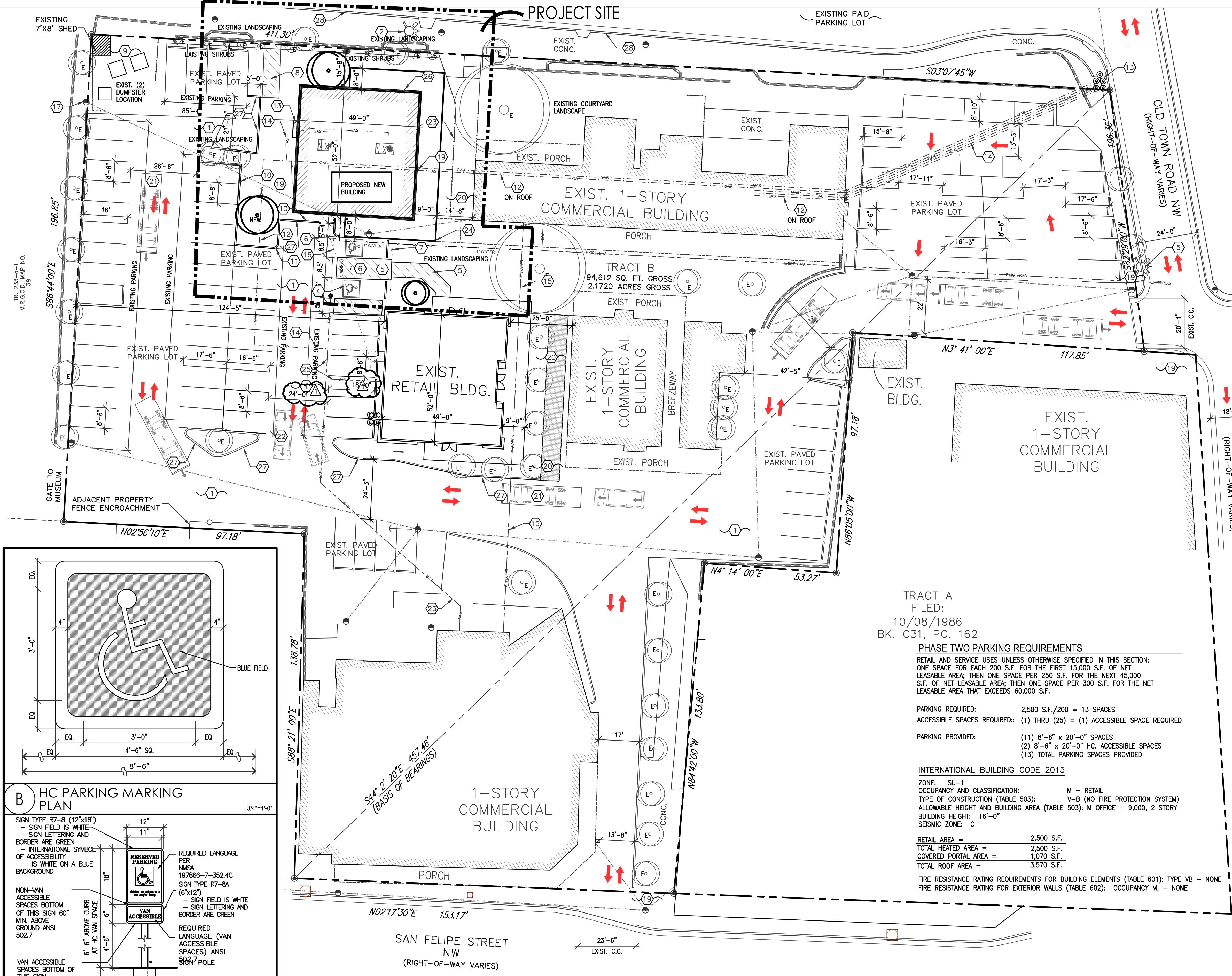
The development will meet all the requirements of the H-1 zone and be an exciting new project in this part of Old Town constructed in an existing parking area. The neighbors have been notified and we look forward to presenting at the 12/09/15 hearing.

If you have any questions, please feel free to call and thank you for considering this application.

Sincerely,

A handwritten signature in dark ink, appearing to read "Rick Bennett". The signature is fluid and cursive, with a long horizontal stroke extending to the right.

Rick Bennett
Architect



TRACT A
FILED:
10/08/1986
BK. C31, PG. 162

PHASE TWO PARKING REQUIREMENTS

RETAIL AND SERVICE USES UNLESS OTHERWISE SPECIFIED IN THIS SECTION:
ONE SPACE FOR EACH 200 S.F. FOR THE FIRST 15,000 S.F. OF NET LEASABLE AREA; THEN ONE SPACE PER 250 S.F. FOR THE NEXT 45,000 S.F. OF NET LEASABLE AREA; THEN ONE SPACE PER 300 S.F. FOR THE NET LEASABLE AREA THAT EXCEEDS 60,000 S.F.

PARKING REQUIRED: 2,500 S.F./200 = 13 SPACES
ACCESSIBLE SPACES REQUIRED: (1) THRU (25) = (1) ACCESSIBLE SPACE REQUIRED

PARKING PROVIDED: (1) 8'-6" x 20'-0" SPACES
(2) 8'-6" x 20'-0" HC ACCESSIBLE SPACES
(13) TOTAL PARKING SPACES PROVIDED

INTERNATIONAL BUILDING CODE 2015

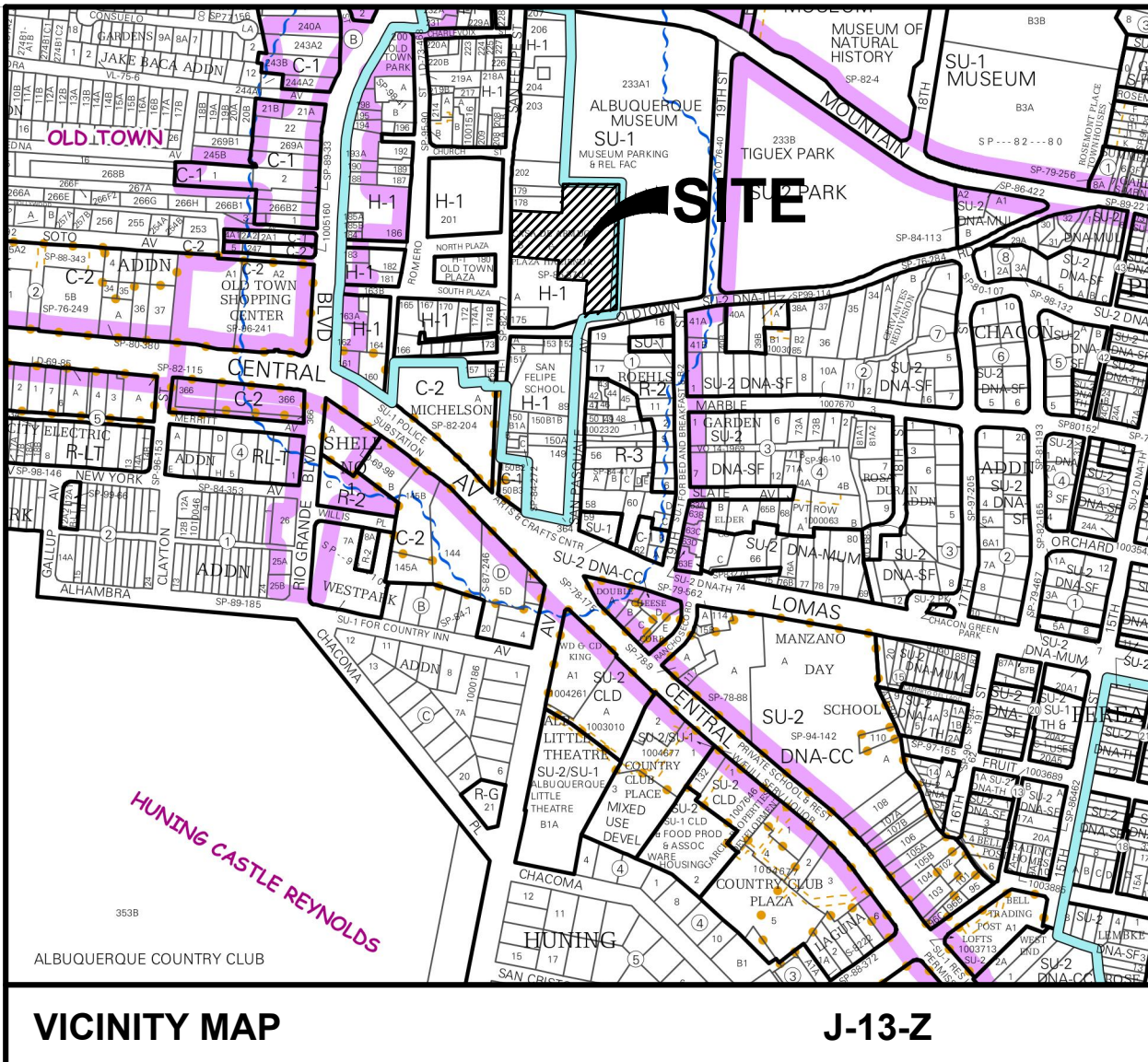
ZONE: SU-1
OCCUPANCY AND CLASSIFICATION: M - RETAIL
TYPE OF CONSTRUCTION (TABLE 503): V-B (NO FIRE PROTECTION SYSTEM)
ALLOWABLE HEIGHT AND BUILDING AREA (TABLE 503): M OFFICE - 9,000, 2 STORY
BUILDING HEIGHT: 16'-0"
SEISMIC ZONE: C

RETAIL AREA = 2,500 S.F.
TOTAL HEATED AREA = 2,500 S.F.
COVERED PORTAL AREA = 1,070 S.F.
TOTAL ROOF AREA = 3,570 S.F.

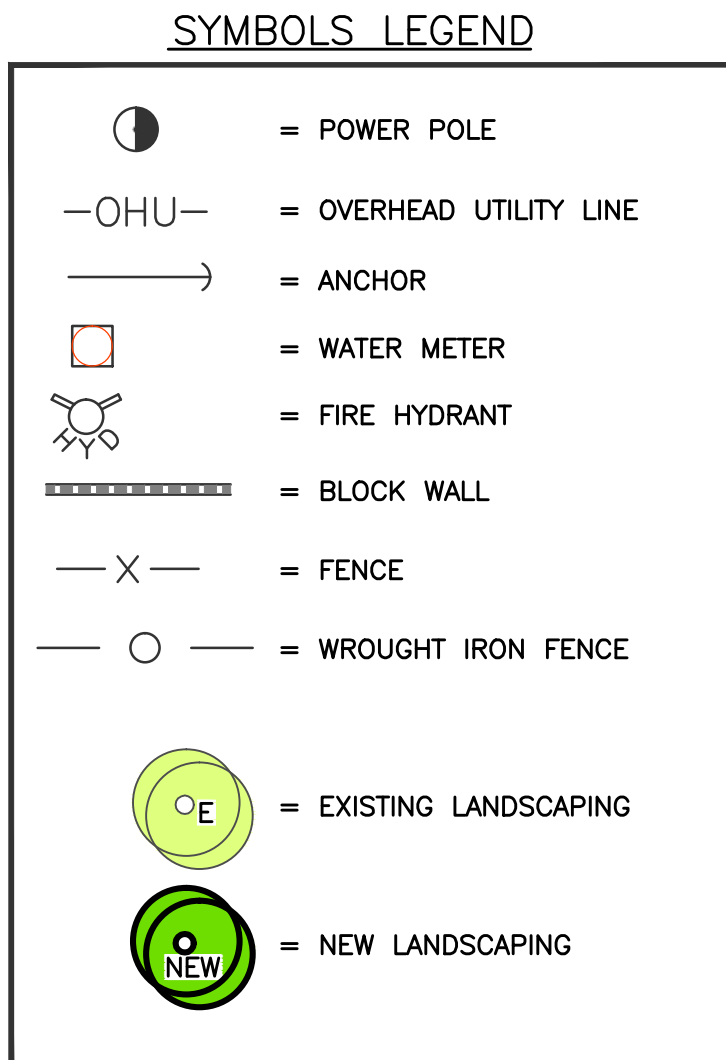
FIRE RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS (TABLE 601): TYPE VB - NONE
FIRE RESISTANCE RATING FOR EXTERIOR WALLS (TABLE 602): OCCUPANCY M, - NONE

1 NEW SITE /LANDSCAPE PLAN 1"=20'-0"

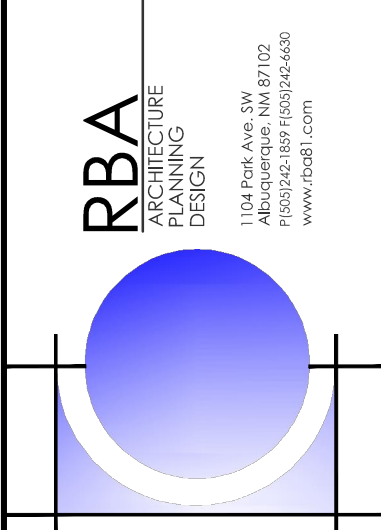
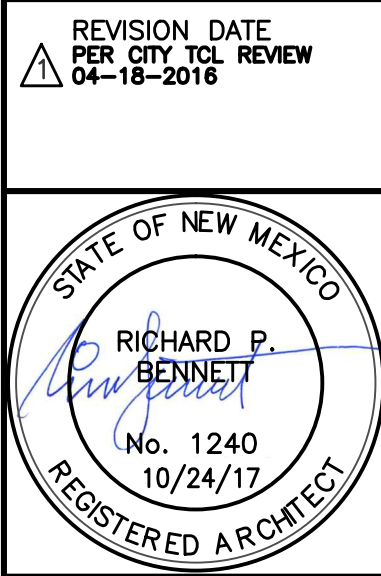
LEGAL DESCRIPTION
TRACT B, PLAT OF THE LANDS OF
CASA DE ARMUJO (LA PLACITA PATIO
MARKETS) AND PLAZA HACIENDA
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JULY, 2012



- KEYED NOTES**
- EXISTING ASPHALT PAVING. NOTE: PATCH AND REPAIR EXIST. ASPHALT PAVING AT LOCATION AROUND NEW BUILDING AND NEW PAINTED STRIPE PARKING AREAS.
 - EXIST. FIRE HYDRANT CONNECTED TO EXIST. 8" WATER LINE.
 - NEW 2" WIDE PAINTED PARKING STRIPE PER CITY OF ALBUQUERQUE STANDARDS, TYPICAL FOR 13 PARKING SPACES.
 - NEW HANDICAP SYMBOL PER CITY OF ALBUQUERQUE STANDARDS, REF: DETAIL B/C-1.0.
 - NEW HANDICAP ACCESSIBLE AISLE PER CITY OF ALBUQUERQUE STANDARDS. NOTE: ACCESSIBLE AISLE WITH MAX 2% SLOPE.
 - "NO PARKING" IN CAPITAL LETTERS, 12" HIGH x 2" WIDE. LOCATE SIGN AT THE REAR OF THE PARKING SPACE SO AS TO BE CLOSE TO WHERE AN ADJACENT VEHICLE'S TIRE WOULD BE. (66-1-4.1.8 NMSA 1978).
 - NEW HANDICAP ACCESSIBLE SIGNAGE PER CITY REQUIREMENTS, REF: DETAIL A/C-1.0.
 - NEW PAINTED STRIP 6 FT. WIDE ADA ACCESSIBLE PEDESTRIAN PATH-WAY. NOTE: NEW ACCESSIBLE PEDESTRIAN PATH-WAY TO HAVE MAX. 2% SLOPE TO NEW PROPOSED PHASE ONE BUILDING.
 - EXISTING (2) DUMPSTER LOCATION, NOTE: EXISTING DUMPSTERS FOR NEW AND EXISTING BUILDINGS ON THE SITE PLAN.
 - NEW 6" RAISED CONCRETE CURB AND GUTTER.
 - NEW 2'-0" RADII.
 - EXISTING GAS LINE.
 - NEW GAS METER BANK LOCATION - 2 NEW GAS METERS.
 - NEW GAS LINE(S), REF: PLUMBING PLANS.
 - EXISTING 2" WATER LINE.
 - NEW SEWER LINE, REF: PLUMBING PLANS.
 - EXISTING POWER POLE WITH THREE PHASE POWER.
 - NEW PREMIS ID TO BE 24 INCH HIGH NUMERALS, 4" STROKE ON A CONTRASTING BACKGROUND.
 - EXIST. GAS LINE TO BE CAPPED AND REMOVED.
 - G.C. TO REMOVE AND REPLACE EXIST. PEDESTRIAN CONCRETE SIDEWALKS AND EXIST. BRICK PAVEMENT WALK-WAYS AS REQUIRED ADJACENT TO PROPOSED BUILDING.
 - REFUSE TRUCK, TYP.
 - DELIVERY VAN/TRUCK. TYP.
 - REMOVE FENCE.
 - LINE UP PORTAL.
 - EXISTING SEWER LINE.
 - PREMISES STREET ADDRESS 4" HIGH MIN. W/MINIMUM STROKE WIDTH OF 0.5 IN. VISIBLE FROM STREET PER IFC 2015, SEC 505.
 - FIRE LANE MARKED IN RED "NO PARKING - FIRE LANE" PER IFC 2015, SEC. 503.
 - EXISTING RED MARKED FIRE LANE.



PLAZA HACIENDA ADDITION AT OLD TOWN
PHASE II NEW SITE/LANDSCAPE PLAN
1925 OLD TOWN ROAD NW, ALBUQUERQUE, NM
PROJECT #1732



DATE
10-24-2017

SHEET NUMBER
TCL-1.0

