

EXISTING ASPHALT PAVING. NOTE: PATCH AND REPAIR EXIST.
ASPHALT PAVING AT LOCATION AROUND NEW BUILDING AND NEW PAINTED STRIPE PARKING AREAS.

EXIST. FIRE HYDRANT CONNECTED TO EXIST. 8" WATER LINE NEW 2" WIDE PAINTED PARKING STRIPE PER CITY OF ALBUQUERQUE STANDARDS, TYPICAL FOR 13 PARKING SPACES. 4. EXIST. HANDICAP SYMBOL PER CITY OF ALBUQUERQUE STANDARDS,

REF: DETAIL B/C-1.0.

5. EXIST. HANDICAP ACCESSIBLE AISLE PER CITY OF ALBUQUERQUE STANDARDS. NOTE: ACCESSIBLE AISLE WITH MAX 2% SLOPE. 6. "NO PARKING" IN CAPITAL LETTERS, 12" HIGH x 2" WIDE, LOCATE SIGN AT THE REAR OF THE PARKING SPACE SO AS TO BE CLOSE

7. EXIST, HANDICAP ACCESSIBLE SIGNAGE PER CITY REQUIREMENTS,

TO WHERE AN ADJACENT VEHICLE'S TIRE WOULD BE. (66-1-4.1.B

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NEW AND EXISTING BUILDINGS ON THE SITE PLAN. 10. NEW 6" RAISED CONCRETE CURB AND GUTTER.

11. NEW 2'-0" RADIUS.

12. EXISTING GAS LINE. 13. NEW GAS METER BANK LOCATION - 2 NEW GAS METERS.

14. NEW GAS LINE(S), REF: PLUMBING PLANS.

15. EXISTING 3" WATER LINE. 16. NEW SEWER LINE, REF: PLUMBING PLANS.

17. EXISTING POWER POLE WITH THREE PHASE POWER 18. NEW PREMIS ID TO BE 24 INCH HIGH NUMERALS, 4" STROKE ON A CONTRASTING BACKGROUND.

19. EXIST. GAS LINE TO BE CAPPED AND REMOVED 20. G.C. TO REMOVE AND REPLACE EXIST. PEDESTRIAN CONCRETE

SIDEWALKS AND EXIST. BRICK PAVER WALK-WAYS AS REQUIRED ADJACENT TO PROPOSED BUILDING.

21. REFUSE TRUCK, TYP. 22. DELIVERY VAN/TRUCK. TYP.

23. NEW SIDEWALK

24. LINE UP PORTAL

25. EXISTING SEWER LINE 26. PREMISES STREET ADDRESS 4" HIGH MIN. W/MINIMUM STROKE WIDTH OF 0.5 IN. VISIBLE FROM STREET PER IFC 2015, SEC 505

27. FIRE LANE MARKED IN RED "NO PARKING - FIRE LANE" PER IFC 2015, SEC. 503.

28. EXISTING RED MARKED FIRE LANE

29. EXISTING POWER POLE TO BE RELOCATED, CONTRACTOR TO COORDINATE WITH PNM.

SYMBOLS LEGEND = POWER POLE

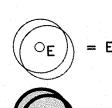
= OVERHEAD UTILITY LINE

= ANCHOR

= WATER METER = FIRE HYDRANT

= BLOCK WALL

= FENCE — — = WROUGHT IRON FENCE



EXISTING LANDSCAPING



NEW LANDSCAPING

DATE 10-28-2017

SHEET NUMBER

HACIENDA A E II NEW SITE

ZA I SE 5 OL

192

REVISION DATE
PER CITY TCL REVIEW
04-18-2016

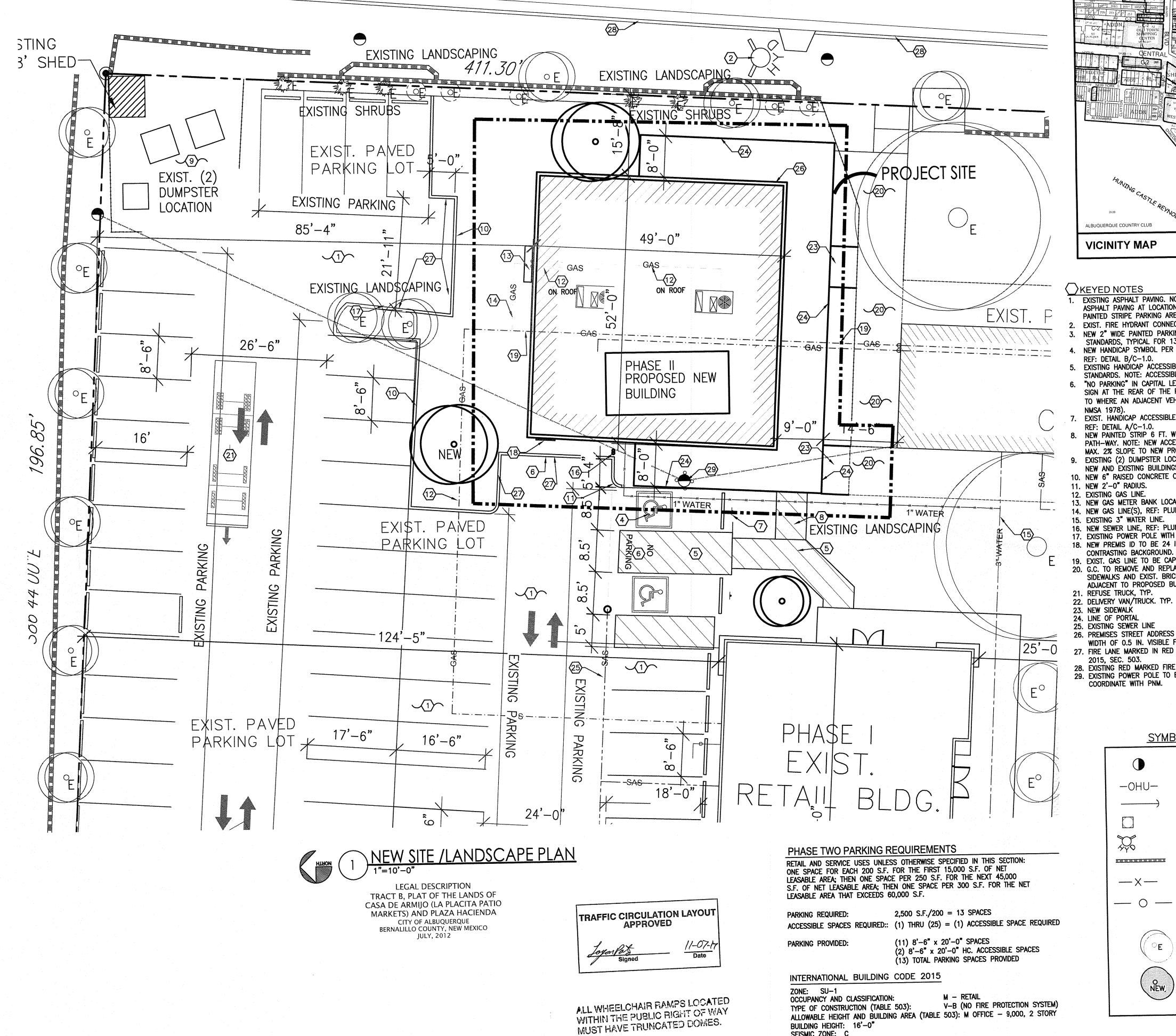
FOF NEW ME

RICHARD !

10/28/17

ARCHIT

TCL-1.0



SEISMIC ZONE: C

RETAIL AREA =

TOTAL HEATED AREA =

TOTAL ROOF AREA =

COVERED PORTAL AREA =

2,500 S.F.

2,500 S.F. 1.070 S.F.

3,570 S.F.

FIRE RESISTANCE RATING FOR EXTERIOR WALLS (TABLE 602): OCCUPANCY M, - NONE

FIRE RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS (TABLE 601): TYPE VB - NONE

ALBUQUERQUE COUNTRY CLUB J-13-Z **VICINITY MAP**

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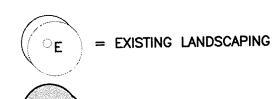
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29. EXISTING POWER POLE TO BE RELOCATED, CONTRACTOR TO

REVISION DATE
PER CITY TCL REVIEW
11-3-2017 SYMBOLS LEGEND = POWER POLE = OVERHEAD UTILITY LINE = ANCHOR = WATER METER = FIRE HYDRANT = BLOCK WALL

= FENCE — O — = WROUGHT IRON FENCE



= NEW LANDSCAPING

DATE 11-7-2017

SHEET NUMBER

ARCHIE

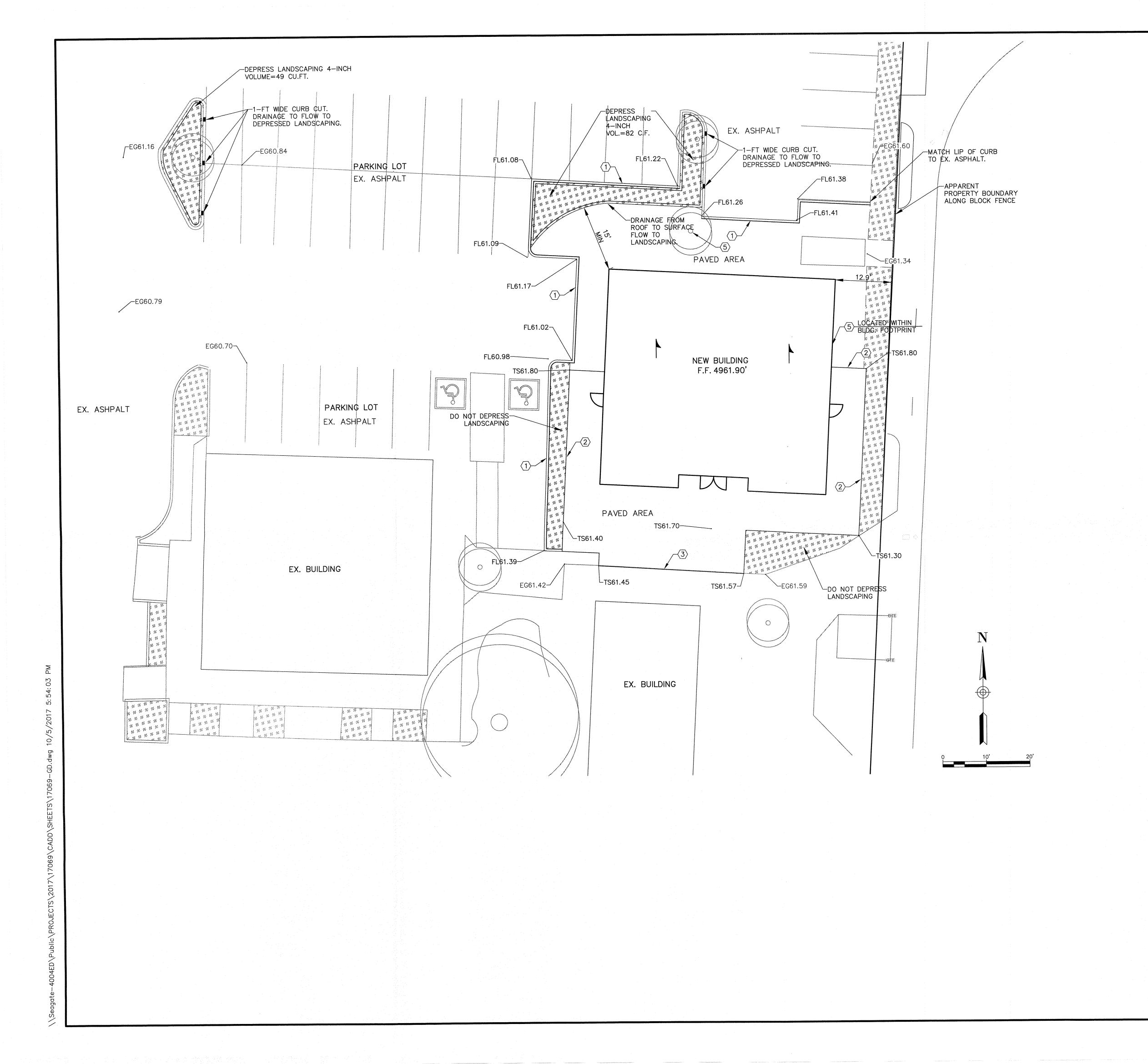
PLAZA HACIENDA PHASE II NEW SIT 1925 OLD TOWN F

TE OF NEW MEL

RICHARD F

11/7/17

TCL-2.0



GENERAL GRADING NOTES:

1. THIS PLAN RECOMMENDS POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES TO PROHIBIT PONDING OF RUNOFF WHICH MAY CAUSE STRUCTURAL SETTLEMENT. FUTURE ALTERATION OF GRADES ADJACENT TO THE PROPOSED STRUCTURES IS NOT RECOMMENDED.

2. PERFORM GRADING AND EXCAVATION WORK IN COMPLIANCE WITH APPLICABLE SPECIFICATIONS, REQUIREMENTS, CODES AND ORDINANCES OF ALBUQUERQUE, NEW MEXICO.

3. CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISPOSAL OF OR OBTAINING EXCESS CUT OR FILL MATERIAL REQUIRED FOR FINAL GRADE.

4. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING AND COORDINATING WITH NEW MEXICO ONE CALL PRIOR EXCAVATION.

5. DO NOT DEPRESS LANDSCAPING WITHIN 15-FEET FROM BUILDING FOUNDATION.

KEYED NOTES:

- 1 CONSTRUCT 6" RAISED CURB & GUTTER.
- 2 CONSTRUCT TURNDOWN SIDEWALK W/ 6" FROM TOP OF SIDEWALK TO FG.
- CONSTRUCT TURNDOWN SIDEWALK AT ACCESSIBLE ZONES.
- 4 CONSTRUCT ASPHALT PAVEMENT.
- FEMOVE EX. TREE AND RE-PLANT NEW TREE WITHIN NEW DEPRESSED LANDSCAPING.

LEGEND

PROPERTY BOUNDARY

FLOW PATH

PROPOSED RETAINING WALL

FLOWLINE

SISTING MAJOR CONTOUR

EXISTING MINOR CONTOUR

PROPOSED MAJOR CONTOUR

PROPOSED MINOR CONTOUR

FG26.29

FINISHED GRADE

FLOW LINE

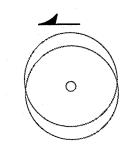
TOP OF ASPHALT

TOP BACK OF CURB

TOP OF CURB

TOP OF CONCRETE

BOTTOM OF WALL
ROOF FLOW DIRECTION

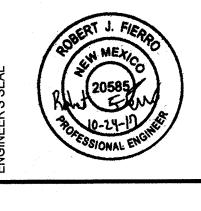


EXISTING TREE

TOP OF SIDEWALK
TOP OF WALL

BENCH MARK
CITY OF ALBUQUERQUE GEODETIC CONTROL "12-J13"
NAVD 1988 ELEVATION 4957.50'
LOCATED AT THE NW CORNER OF 14TH STREET AND LOMAS

FIELTORION PARTICO STA UERDE RD. NABUQUERQUE, NEW MEXICO 87 PH (505) 352-8930



PLAZA HACIENDA ADDITION AT OLD PHASE II NEW SITE ALBUQUERQUE, NEW MEXICO

PROJECT NO: 17-069
DESIGNED BY: RJF
DRAWN BY: RJF
CHECKED BY: RJF
CHECKED BY: RJF
DATE: OCT 2017
SHEET TITLE

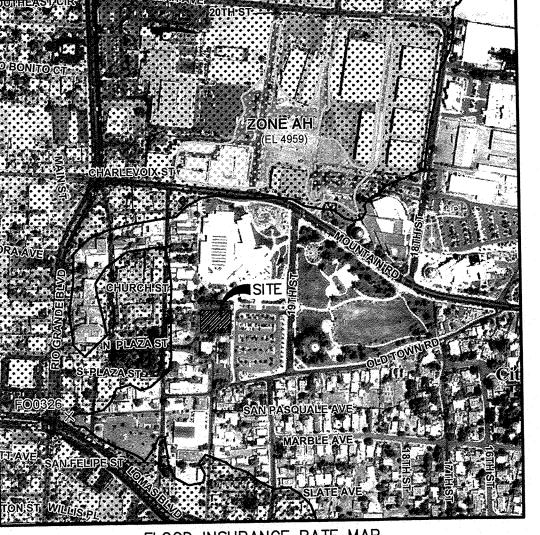
PHASE II

GRADING PLAN ET NO:

10/5/2017 PROJECT NO: RJF DESIGNED BY: RJF DRAWN BY: RJF CHECKED BY: OCT 2017 SHEET TITLE

DRAINAGE PLAN

SHEET NO: C-2



FLOOD INSURANCE RATE MAP MAP NO. 35001C0114H



ZONE ATLAS MAP PAGE J-13-Z

Phase ii is being proposed, which includes a 2,500 sq.ft. retail building. The site is located in the Casa De Armijo & Plaza Hacienda Subdivision, which is within the historic Old Town. Phase I was completed earlier this year. The project site for Phase II is not in a Flood Plain. The purpose of this Grading & Drainage Plan is to 1) provide hydrologic and hydraulic analysis of the allowable and proposed condition, 2) satisfy the first flush requirement, and 3) seek building approval.

Methodology

Hydrologic procedures presented in the Hydrology Section of the DMP, Section 22.2, revised April 7, 1993 were followed.

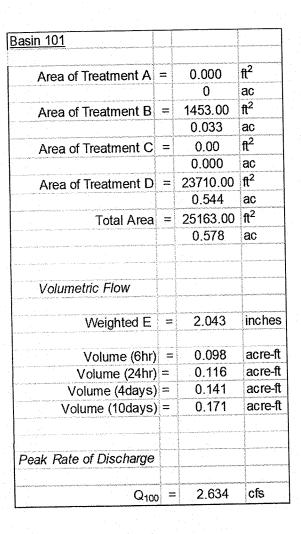
Existing Condition

Phase II is within said Lot B which is approximately 2.2 acres; however, Phase II drainage analysis only covers a portion of said Lot B with approximately 0.60 acres. Phase II site does not receive offsite runoff. Refer to this sheet for the surface flows of the surrounding lots. Runoff from Sub-basin 101 is conveyed through said Lot B and discharges to San Felipe Rd. Runoff from Sub-basin 102 discharges to the Albuquerque's Museum's parking lot, which then drains to Old Town Rd. Hydrologic analysis for the existing condition is included on this Sheet.

Proposed Condition

Phase II proposes a 2,500 sq.ft. retail building. The proposed drainage pattern will not alter from the existing. Phase two does not adversely impact drainage to the site nor offsite basins. Depressed landscaping of 3.5-inches to 4-inches is proposed to treat the first flush. Refer to Sheet C-1 and this sheet for location of the depressed landscaping. Refer to this sheet for the first flush calculations. Hydrologic analysis for the proposed condition is included on this Sheet.

The City's requirements have been satisfied under this grading & drainage plan. The contractor shall use this plan (Sheet C-1 and Sheet C-2), and will need a drainage certification in order to obtain a Close-out. This drainage report seeks approval for building permit.



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Area of Treatment B	=	460.00	ft ²
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Area of Treatment C	=	0.00	ft ²
		0.000	ac
Area of Treatment D	=	1050.00	ft ²
		0.024	ac
Total Area	=	1510.00	ft ²
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Volume (24hr)	=	0.006	acre-f
Volume (4days)	=	0.007	acre-f
Volume (10days)		0.008	acre-f

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Area of Treatment D	=	23339.00	ft ²
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Total Area	=	25163.00	ft²
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Volume (24hr)	processor or	0.115	acre-ft
Volume (4days)		0.140	acre-fl
Volume (10days)	=	0.169	acre-fi
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Peak Rate of Discharge			
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Q ₁₀₀	=	2.614	cfs

LEGEND

• • • —> SWALE

______ __ EXISTING MAJOR CONTOUR _ _ 5704 _ _ EXISTING MINOR CONTOUR

PROPOSED MAJOR CONTOUR

PROPOSED BASIN MAP

EXISTING BASIN MAP

################### DEPRESSED LANDSCAPING 3"-4"

EXISTING BASIN

PROPOSED BASIN

- PROPOSED MINOR CONTOUR

SURFACE FLOW DIRECTION

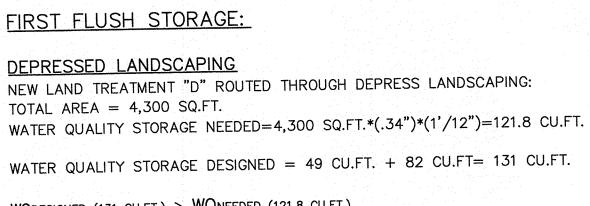
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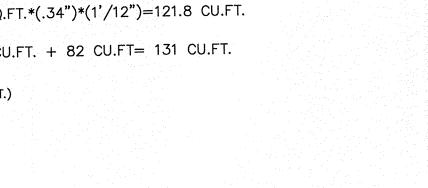
FIRST FLUSH STORAGE:

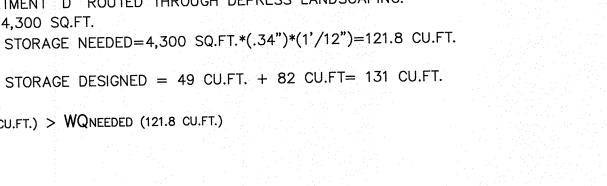
NEW LAND TREATMENT "D" ROUTED THROUGH DEPRESS LANDSCAPING: TOTAL AREA = 4,300 SQ.FT.

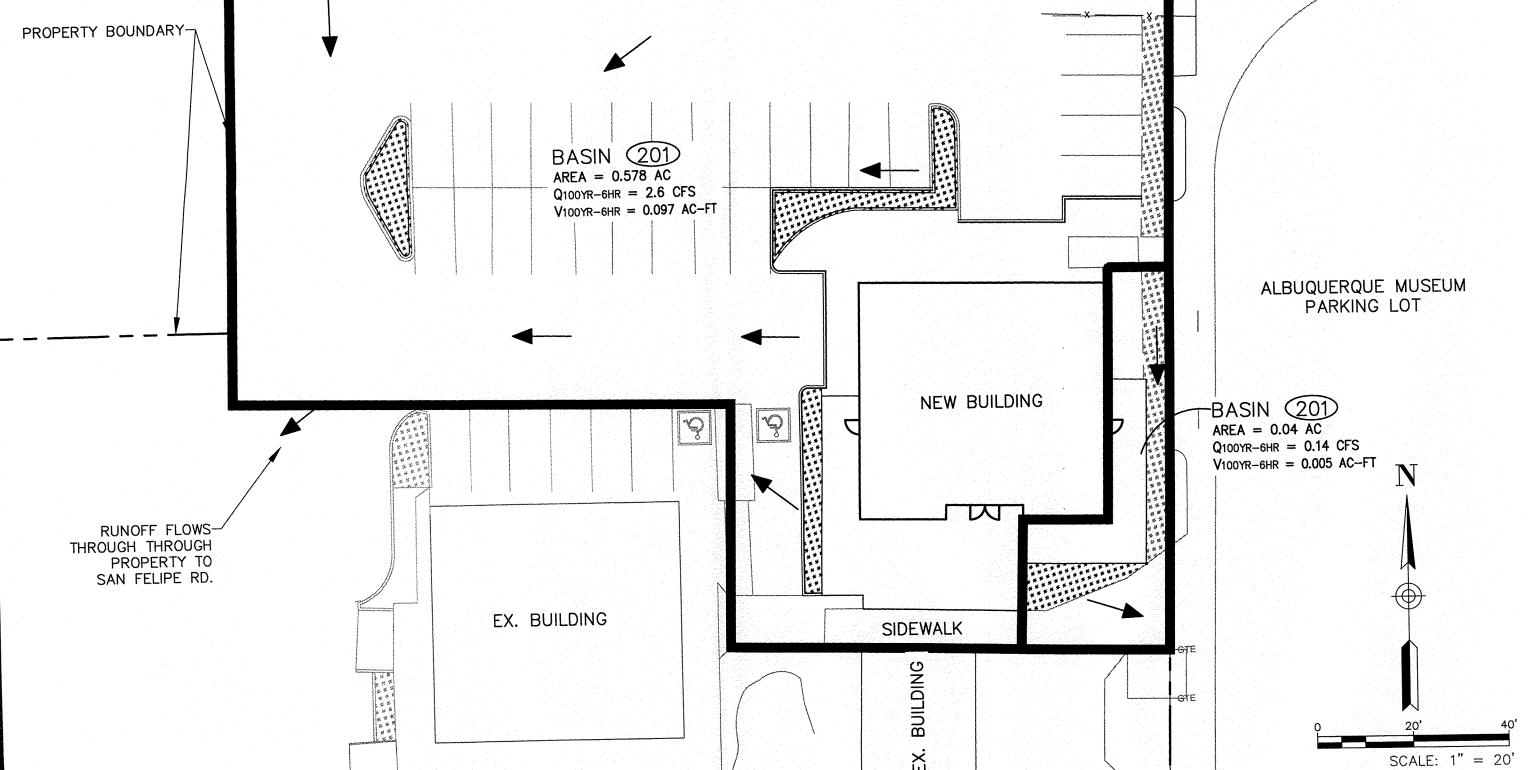
WQDESIGNED (131 CU.FT.) > WQNEEDED (121.8 CU.FT.)

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	Area of Treatment	C
	Area of Treatment	С
	Total Are	≥6
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SIDEWALK

AREA = 0.578 AC $Q_{100YR-6HR} = 2.6 CFS$ $V_{100YR-6HR} = 0.098 \text{ AC-FT}$

EX. BUILDING

PROPERTY BOUNDARY-

RUNOFF FLOWS-THROUGH THROUGH

PROPERTY TO SAN FELIPE RD.

(1) EXISTING BASIN MAP

2 PROPOSED BASIN MAP

TRASH

ENCLOSURE

TRASH

ENCLOSURE

-PRIVACY WALL

ALBUQUERQUE MUSEUM PARKING LOT

SCALE: 1" = 20'

BASIN 102

AREA = 0.04 AC

Q₁₀₀YR-6HR = 0.14 CFS V₁₀₀YR-6HR = 0.005 AC-FT

-PRIVACY WALL