

- KEYED NOTES**
- EXISTING ASPHALT PAVING. NOTE: PATCH AND REPAIR EXIST. ASPHALT PAVING AT LOCATION AROUND NEW BUILDING AND NEW PAINTED STRIPE PARKING AREAS.
  - EXIST. FIRE HYDRANT CONNECTED TO EXIST. 6" WATER LINE.
  - NEW 2" WIDE PAINTED STRIPE PER CITY OF ALBUQUERQUE STANDARDS, TYPICAL FOR 13 PARKING SPACES.
  - EXIST. HANDICAP SYMBOL PER CITY OF ALBUQUERQUE STANDARDS, REF: DETAIL B/C-1.0.
  - EXIST. HANDICAP ACCESSIBLE AISLE PER CITY OF ALBUQUERQUE STANDARDS, NOTE: ACCESSIBLE AISLE WITH MAX 2% SLOPE.
  - "NO PARKING" IN CAPITAL LETTERS, 12" HIGH x 2" WIDE, LOCATE SIGN AT THE REAR OF THE PARKING SPACE SO AS TO BE CLOSE TO WHERE AN ADJACENT VEHICLE'S TIRE WOULD BE. (66-1-4.1.B NMSA 1978).
  - EXIST. HANDICAP ACCESSIBLE SIGNAGE PER CITY REQUIREMENTS, REF: DETAIL A/C-1.0.
  - NEW PAINTED STRIP 6 FT. WIDE ADA ACCESSIBLE PEDESTRIAN PATH-WAY. NOTE: NEW ACCESSIBLE PEDESTRIAN PATH-WAY TO HAVE MAX. 2% SLOPE TO NEW PROPOSED PHASE ONE BUILDING.
  - EXISTING (2) DUMPSTER LOCATION, NOTE: EXISTING DUMPSTERS FOR NEW AND EXISTING BUILDINGS ON THE SITE PLAN.
  - NEW 6" RAISED CONCRETE CURB AND GUTTER.
  - NEW 2'-0" RADIUS.
  - EXISTING GAS LINE.
  - NEW GAS METER BANK LOCATION - 2 NEW GAS METERS.
  - NEW GAS LINE(S), REF: PLUMBING PLANS.
  - EXISTING 3" WATER LINE.
  - NEW SEWER LINE, REF: PLUMBING PLANS.
  - EXISTING POWER POLE WITH THREE PHASE POWER.
  - NEW PREMIS ID TO BE 24 INCH HIGH NUMERALS, 4" STROKE ON A CONTRASTING BACKGROUND.
  - EXIST. GAS LINE TO BE CAPPED AND REMOVED.
  - G.C. TO REMOVE AND REPLACE EXIST. PEDESTRIAN CONCRETE SIDEWALKS AND EXIST. BRICK PAVEMENT WALK-WAYS AS REQUIRED ADJACENT TO PROPOSED BUILDING.
  - REFUSE TRUCK, TYP.
  - DELIVERY VAN/TRUCK, TYP.
  - NEW SIDEWALK.
  - LINE UP PORTAL.
  - EXISTING SEWER LINE.
  - PREMISES STREET ADDRESS 4" HIGH MIN. W/MINIMUM STROKE.
  - WIDTH OF 0.5 IN. VISIBLE FROM STREET PER IFC 2015, SEC 505.
  - FIRE LANE MARKED IN RED "NO PARKING - FIRE LANE" PER IFC 2015, SEC. 503.
  - EXISTING RED MARKED FIRE LANE.
  - EXISTING POWER POLE TO BE RELOCATED, CONTRACTOR TO COORDINATE WITH PNM.

TRACT A  
FILED:  
10/08/1986  
BK. C31, PG. 162

**PHASE TWO PARKING REQUIREMENTS**

RETAIL AND SERVICE USES UNLESS OTHERWISE SPECIFIED IN THIS SECTION:  
ONE SPACE FOR EACH 200 S.F. FOR THE FIRST 15,000 S.F. OF NET LEASABLE AREA; THEN ONE SPACE PER 250 S.F. FOR THE NEXT 45,000 S.F. OF NET LEASABLE AREA; THEN ONE SPACE PER 300 S.F. FOR THE NET LEASABLE AREA THAT EXCEEDS 60,000 S.F.

PARKING REQUIRED: 2,500 S.F./200 = 13 SPACES  
ACCESSIBLE SPACES REQUIRED: (1) THRU (25) = (1) ACCESSIBLE SPACE REQUIRED

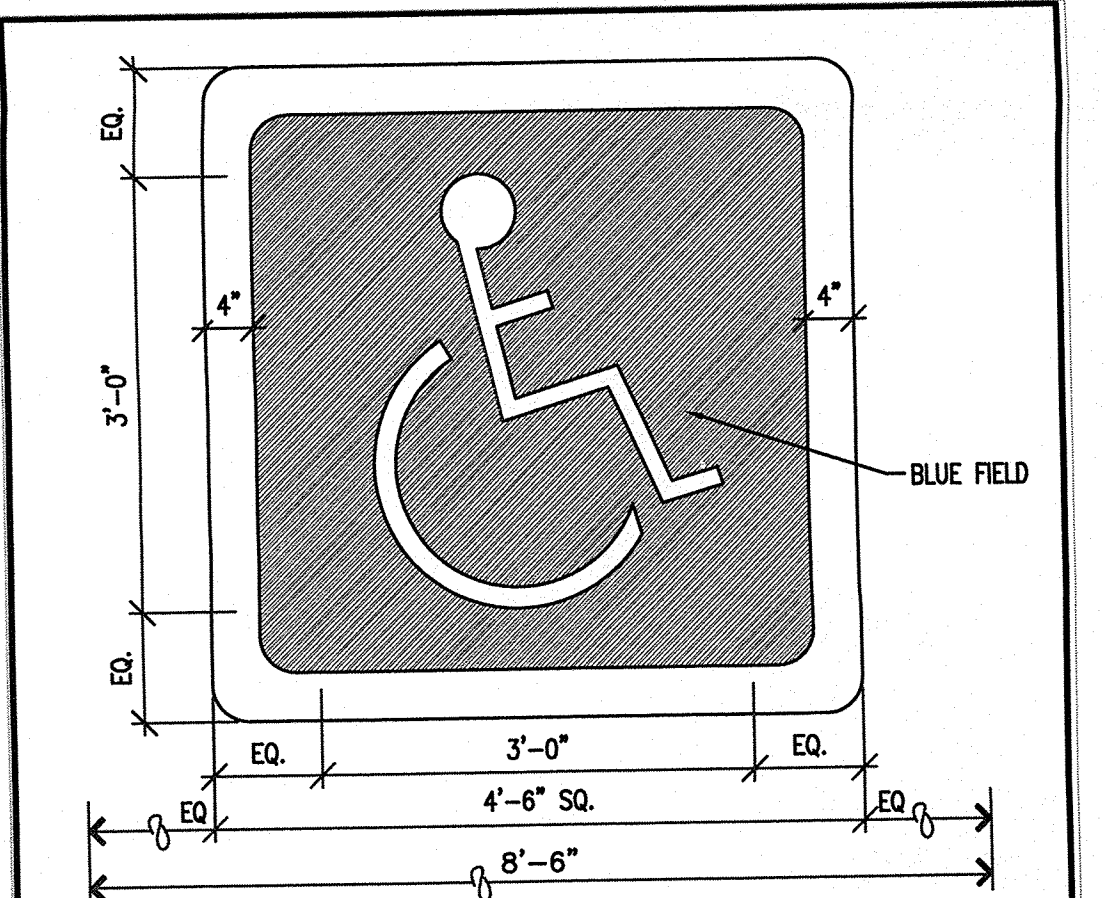
PARKING PROVIDED:  
(1) 8'-6" x 20'-0" SPACES  
(2) 8'-6" x 20'-0" HC. ACCESSIBLE SPACES  
(13) TOTAL PARKING SPACES PROVIDED

**INTERNATIONAL BUILDING CODE 2015**

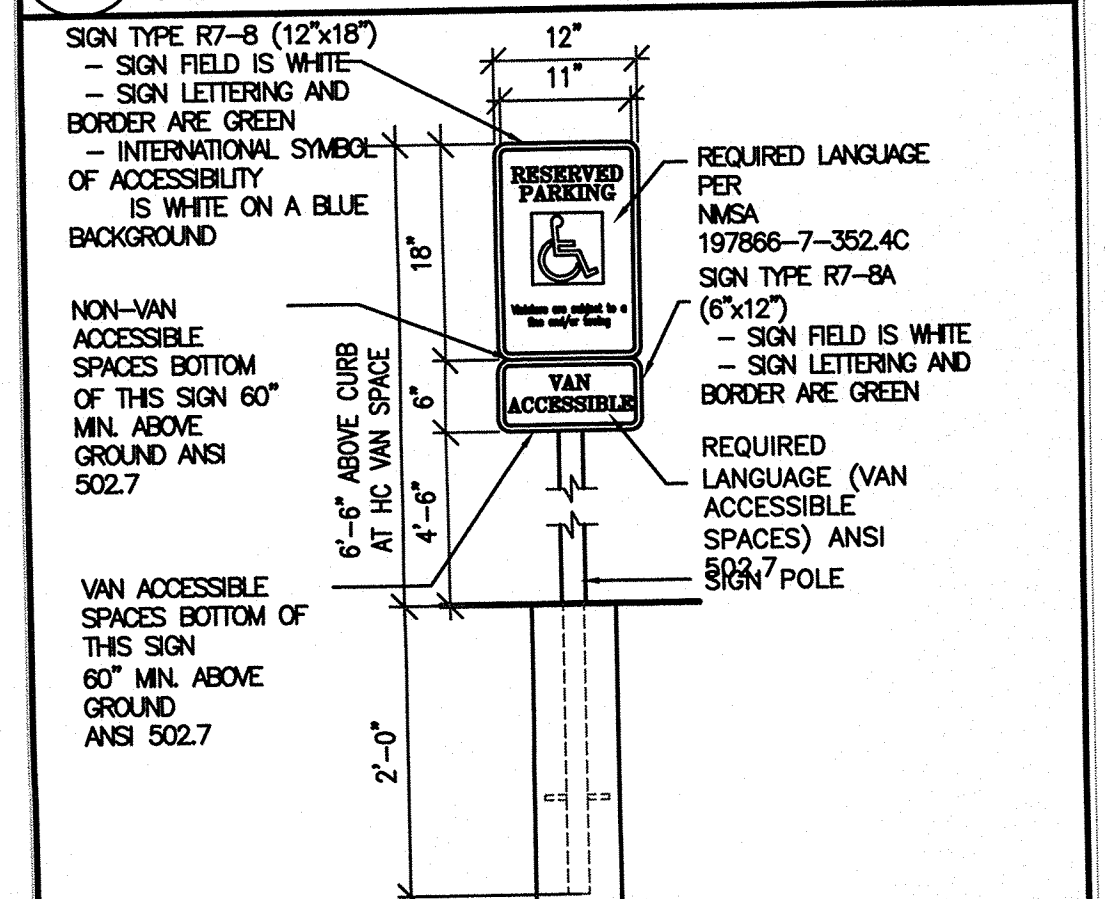
ZONE: SU-1  
OCCUPANCY AND CLASSIFICATION: M - RETAIL  
TYPE OF CONSTRUCTION (TABLE 503): V-B (NO FIRE PROTECTION SYSTEM)  
ALLOWABLE HEIGHT AND BUILDING AREA (TABLE 503): M OFFICE - 9,000, 2 STORY  
BUILDING HEIGHT: 16'-0"  
SEISMIC ZONE: C

RETAIL AREA = 2,500 S.F.  
TOTAL HEATED AREA = 2,500 S.F.  
COVERED PORTAL AREA = 1,070 S.F.  
TOTAL ROOF AREA = 3,570 S.F.

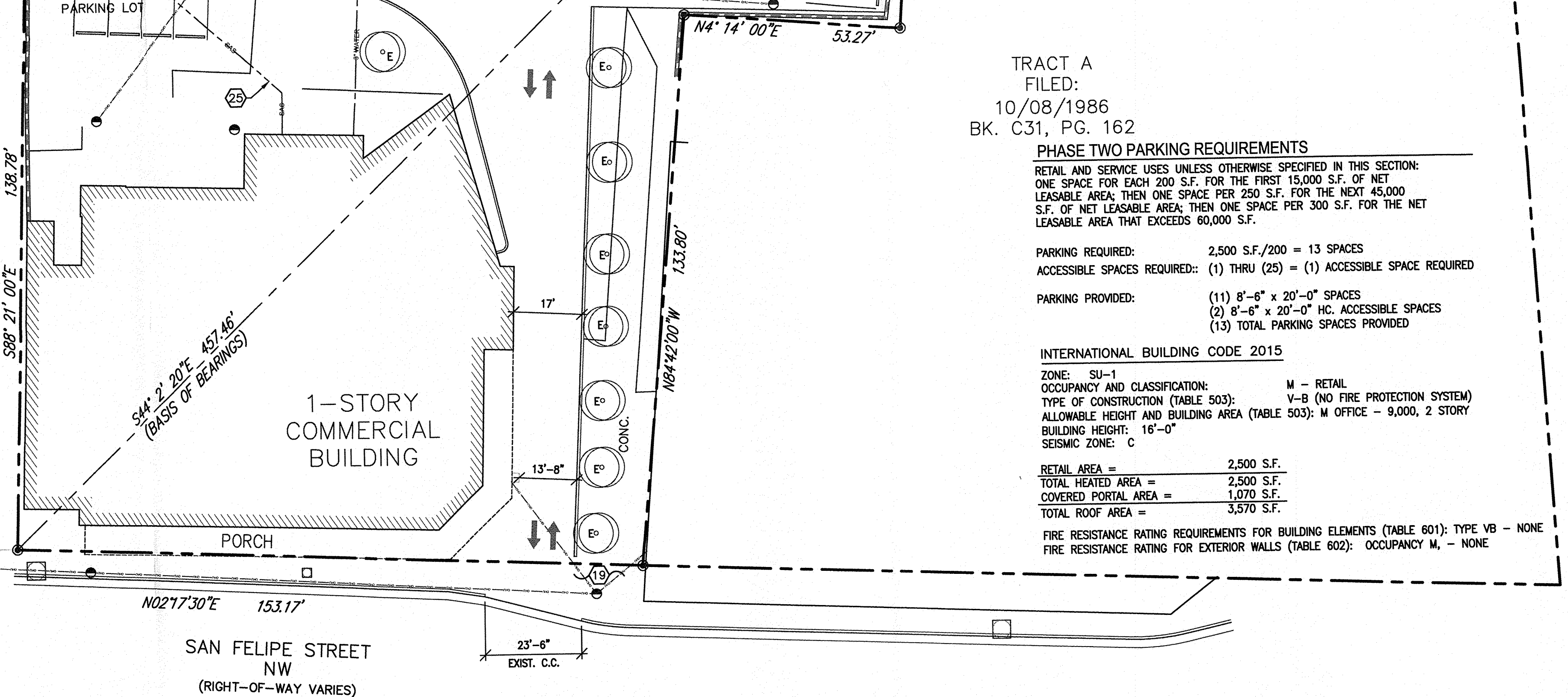
FIRE RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS (TABLE 601): TYPE VB - NONE  
FIRE RESISTANCE RATING FOR EXTERIOR WALLS (TABLE 602): OCCUPANCY M, - NONE



**B HC PARKING MARKING PLAN**  
3/4"=1'-0"



**A HC PARKING SIGNAGE ELEVATIONS**  
3/4"=1'-0"



**1 NEW SITE / LANDSCAPE PLAN**  
1"=20'-0"

**LEGAL DESCRIPTION**  
TRACT B, PLAT OF THE LANDS OF CASA DE ARMUJO (LA PLACITA PATIO MARKETS) AND PLAZA HACIENDA CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO JULY, 2012

**TRAFFIC CIRCULATION LAYOUT APPROVED**  
11-07-17  
Date

ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED COMES.

- SYMBOLS LEGEND**
- = POWER POLE
  - OHU- = OVERHEAD UTILITY LINE
  - >— = ANCHOR
  - = WATER METER
  - ⊗ = FIRE HYDRANT
  - X— = BLOCK WALL
  - X— = FENCE
  - = WROUGHT IRON FENCE
  - E = EXISTING LANDSCAPING
  - NEW = NEW LANDSCAPING

PLAZA HACIENDA ADDITION AT OLD TOWN  
PHASE II NEW SITE/LANDSCAPE PLAN  
1925 OLD TOWN ROAD NW, ALBUQUERQUE, NM  
PROJECT #1732

REVISION DATE  
PER CITY TCL REVIEW  
11-18-2017

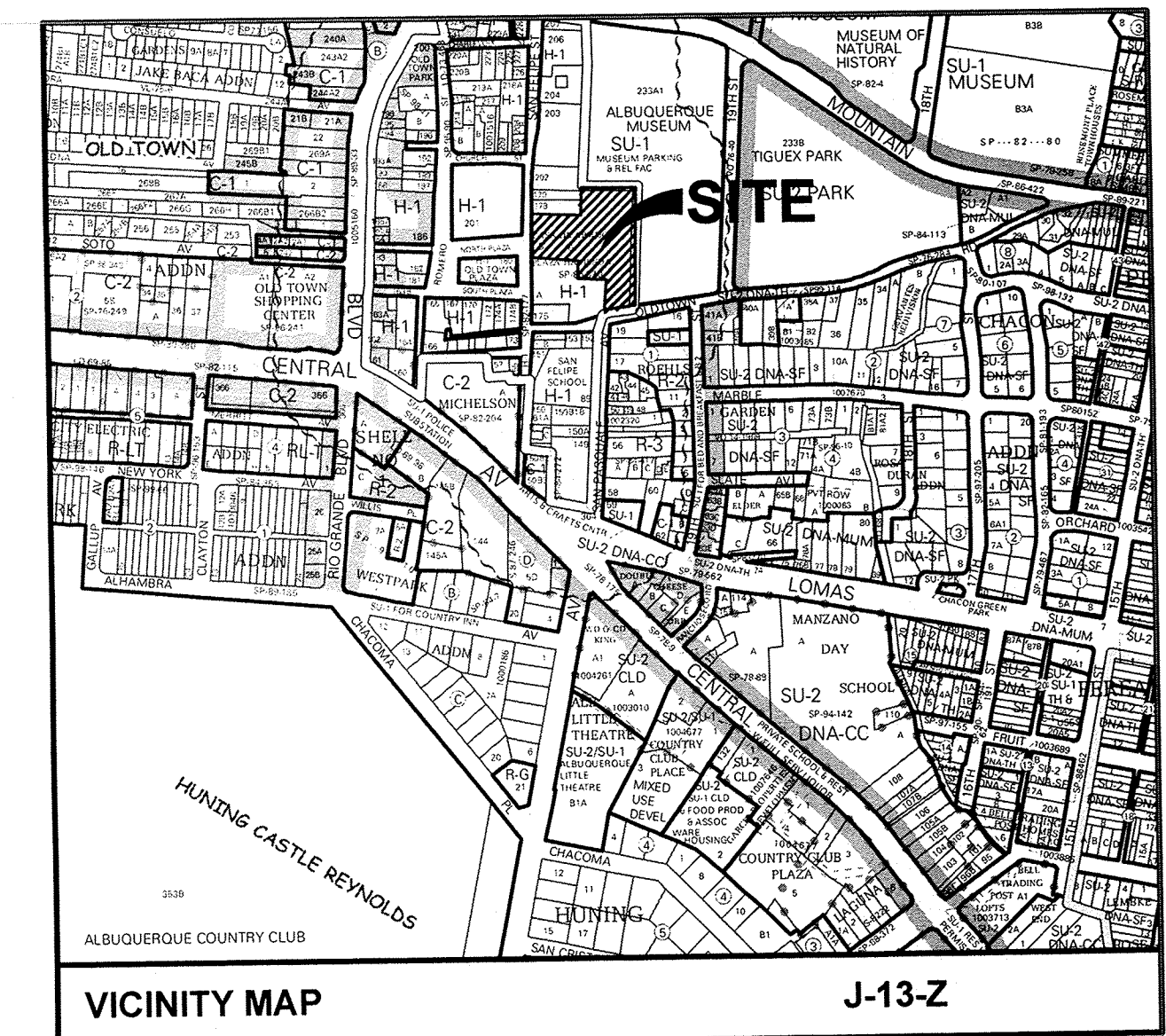
STATE OF NEW MEXICO  
RICHARD P. BENNETT  
No. 1240  
10/28/17  
REGISTERED ARCHITECT

RBA  
ARCHITECTURE  
DESIGN  
1000 First Ave. SW  
Albuquerque, NM 87102  
www.rba1.com

DATE  
10-28-2017

SHEET NUMBER  
TCL-1.0

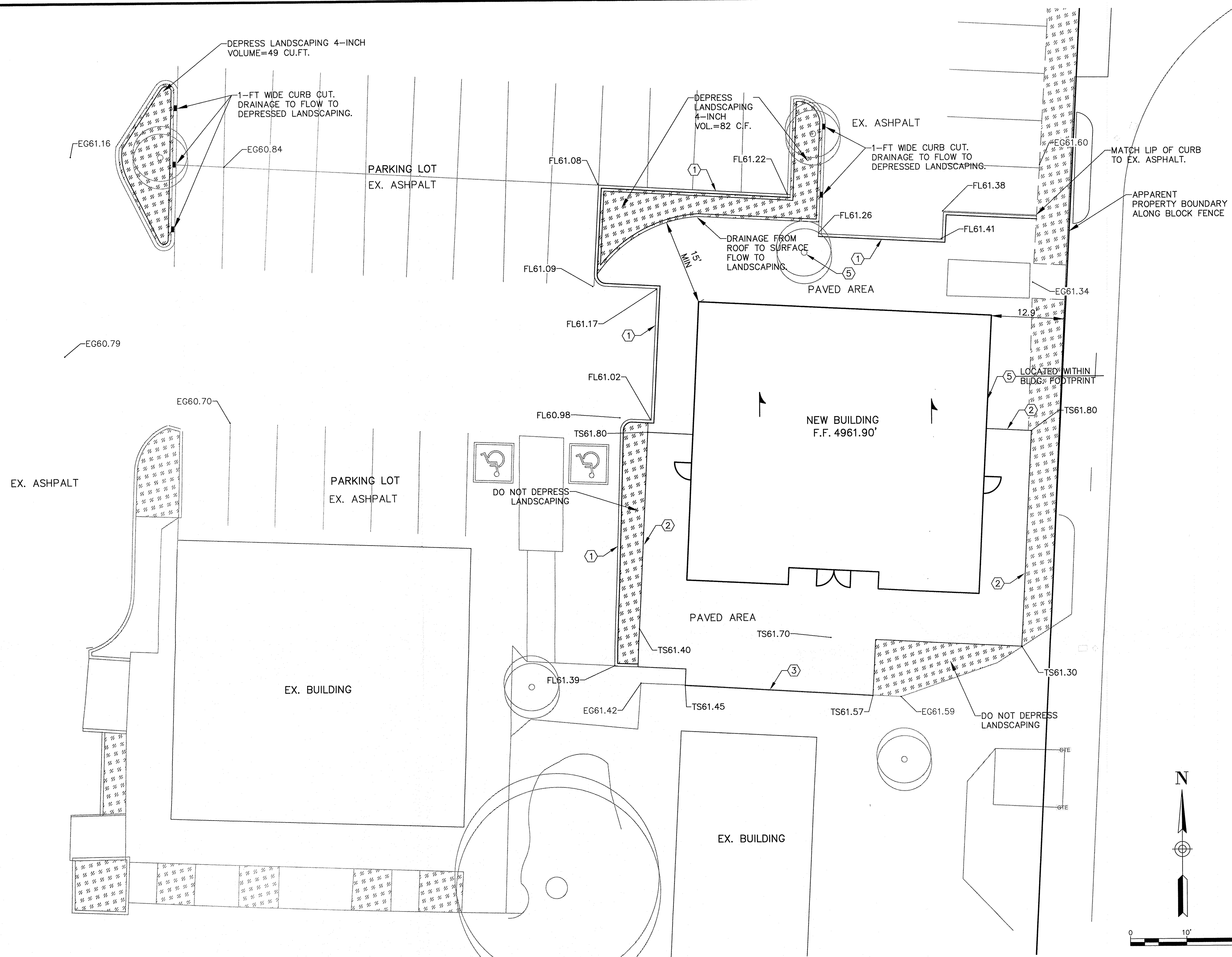




- PLAZA HACIENDA ADDITION AT OLD TOWN  
PHASE II NEW SITE/LANDSCAPE PLAN  
1925 OLD TOWN ROAD NW, ALBUQUERQUE, NM  
PROJECT #1732

## TCL-2.0





GENERAL GRADING NOTES:

1. THIS PLAN RECOMMENDS POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES TO PROHIBIT PONDING OF RUNOFF WHICH MAY CAUSE STRUCTURAL SETTLEMENT. FUTURE ALTERATION OF GRADES ADJACENT TO THE PROPOSED STRUCTURES IS NOT RECOMMENDED.
2. PERFORM GRADING AND EXCAVATION WORK IN COMPLIANCE WITH APPLICABLE SPECIFICATIONS, REQUIREMENTS, CODES AND ORDINANCES OF ALBUQUERQUE, NEW MEXICO.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISPOSAL OF OR OBTAINING EXCESS CUT OR FILL MATERIAL REQUIRED FOR FINAL GRADE.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING AND COORDINATING WITH NEW MEXICO ONE CALL PRIOR EXCAVATION.
5. DO NOT DEPRESS LANDSCAPING WITHIN 15- FEET FROM BUILDING FOUNDATION.

KEYED NOTES:

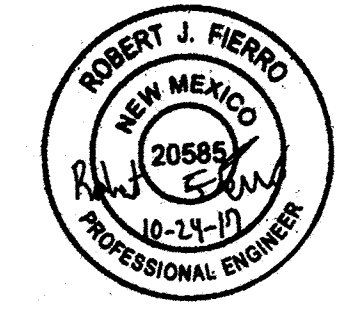
- ① CONSTRUCT 6" RAISED CURB & GUTTER.
- ② CONSTRUCT TURNDOWN SIDEWALK W/ 6" FROM TOP OF SIDEWALK TO FG.
- ③ CONSTRUCT TURNDOWN SIDEWALK AT ACCESSIBLE ZONES.
- ④ CONSTRUCT ASPHALT PAVEMENT.
- ⑤ REMOVE EX. TREE AND RE-PLANT NEW TREE WITHIN NEW DEPRESSED LANDSCAPING.

### LEGEND

The diagram illustrates a road cross-section with the following elements from top to bottom:

- PROPERTY BOUNDARY**: Indicated by a dashed line with a central dot.
- FLOW PATH**: Indicated by a solid line with an arrow pointing right.
- PROPOSED RETAINING WALL**: Indicated by a line with cross-hatching.
- FLOWLINE**: Indicated by a dashed line.
- EXISTING MAJOR CONTOUR**: A solid line labeled '3905'.
- EXISTING MINOR CONTOUR**: A solid line labeled '05'.
- PROPOSED MAJOR CONTOUR**: A solid line.
- PROPOSED MINOR CONTOUR**: A solid line.
- FG26.29**: A point marked with a black dot.
- FINISHED GRADE**: Indicated by a solid line.
- FLOW LINE**: Indicated by a solid line.
- TOF OF ASPHALT**: Indicated by a solid line.
- TOP BACK OF CURB**: Indicated by a solid line.
- TOF OF CURB**: Indicated by a solid line.
- TOC**: Indicated by a solid line.
- TOP OF CONCRETE**: Indicated by a solid line.
- TS**: Indicated by a solid line.
- TOP OF SIDEWALK**: Indicated by a solid line.
- TW**: Indicated by a solid line.
- TOP OF WALL**: Indicated by a solid line.
- BW**: Indicated by a solid line.
- BOTTOM OF WALL**: Indicated by a solid line.
- ROOF FLOW DIRECTION**: Indicated by a solid line with an arrow pointing left.
- EXISTING TREE**: Represented by two concentric circles with a central dot.

BENCH MARK  
CITY OF ALBUQUERQUE GEODETIC CONTROL "12-J13"  
NAVD 1988 ELEVATION 4957.50'  
LOCATED AT THE NW CORNER OF 14TH STREET AND LOMAS



PLAZA HACIENDA ADDITION AT OLD TOWN  
PHASE II NEW SITE  
ALBUQUERQUE, NEW MEXICO

[illegible]

PROJECT NO:	17-00
DESIGNED BY:	R
DRAWN BY:	R
CHECKED BY:	R
DATE:	OCT 20

MEET TITLE

## PHASE II GRADING PLAN

SHEET NO: C-1



