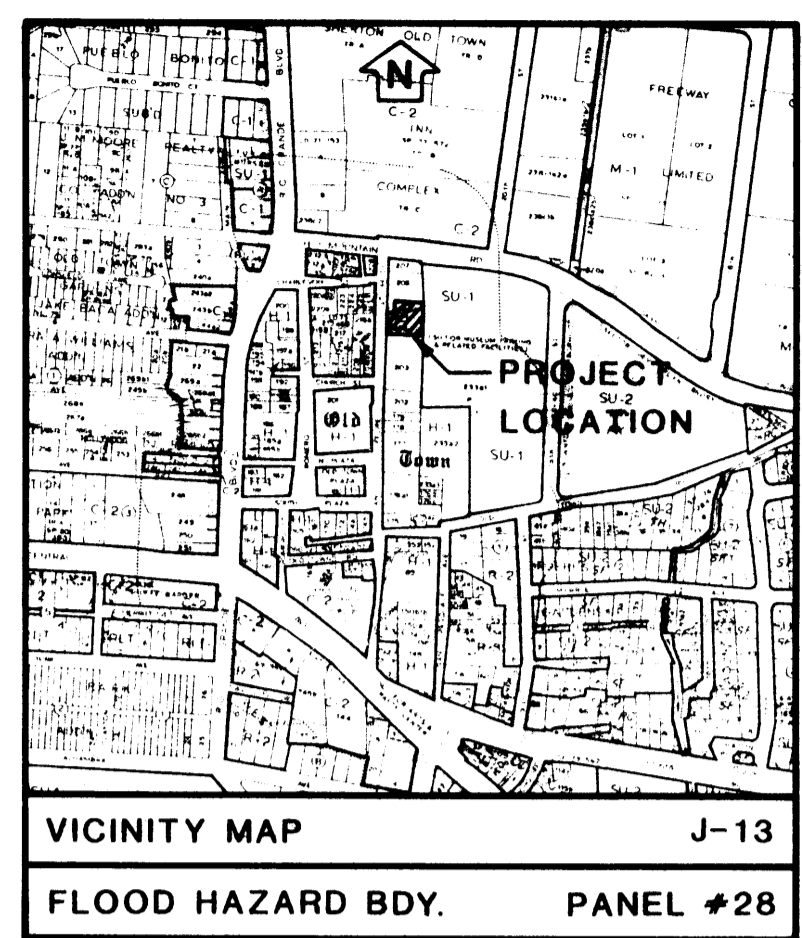


LEGAL DESCRIPTION:
TRACTS 204 & 205, M.R.G.C.D. MAP NO. 38, OLD TOWN.

ACS BENCH MARK:
ACS "11-J13" A SQUARE, \square , CHISELED ON TOP OF CONCRETE CURB AT THE ENE CURB RETURN AT THE INTERSECTION OF CENTRAL AVE. AND RIO GRANDE BLVD. N.W. IN THE NORTHEAST QUADRANT OF THE INTERSECTION. ELEV. = 4955.270 FEET.

PROJECT BENCH MARK:
A CROSS ON TOP OF CURB AT THE SOUTH DRIVE PAD, SEE PLAN. ELEV. = 4956.21.

SURVEY INFORMATION:
SURVEY DATA PROVIDED BY HUGG SURVEYING, INC., 4100 SOUTHERN BLVD., S.E., SUITE 180C, RIO RANCHO, NEW MEXICO 87124, TELEPHONE: (505) 892-8800.



LEGEND

	EXISTING	PROPOSED
SPOT ELEVATION	TC 56.83	57.50
PROPERTY LINE	---	---
BUILDING	---	▨
CURB & GUTTER	---	---
BLOCK WALL	---	---
BRICK WALKWAY	---	▨
RAISED PLANTER	---	○
INLET	---	▬
STORM DRAIN	---	SD
MANHOLE	---	●

OLD TOWN, TRACTS 204 & 205

LOCATION AND EXISTING CONDITION:

The site is located on the east side of San Felipe Street, approximately 300 feet south of the intersection of Mountain Road and San Felipe Street N.W. containing approximately 0.3549 acres. The site is currently 100 percent developed and is relatively flat. Storm water forms shallow ponds on the site due to lack of proper grading and drainage.

PROPOSED CONDITION:

Proposed development of the site includes a new building (approximately 348 s.f.) with associated landscaping, sidewalks, and drainage improvements. A storm sewer system will be installed within the site to collect storm water gathered at depressions within the site. Storm water will not be retained on the site since the area is not located within a 100-year flood zone.

CALCULATIONS:

Area = 0.3549 acres
 $I = 2.2$ in./hr. Plate 22.2 D-2
 6-hour, 100-year rainfall = 2.2 in. Plate 22.2 D-1
 $i = (2.2)(2.2) = 4.84$ in./hr.

EXISTING ON-SITE CONDITIONS:

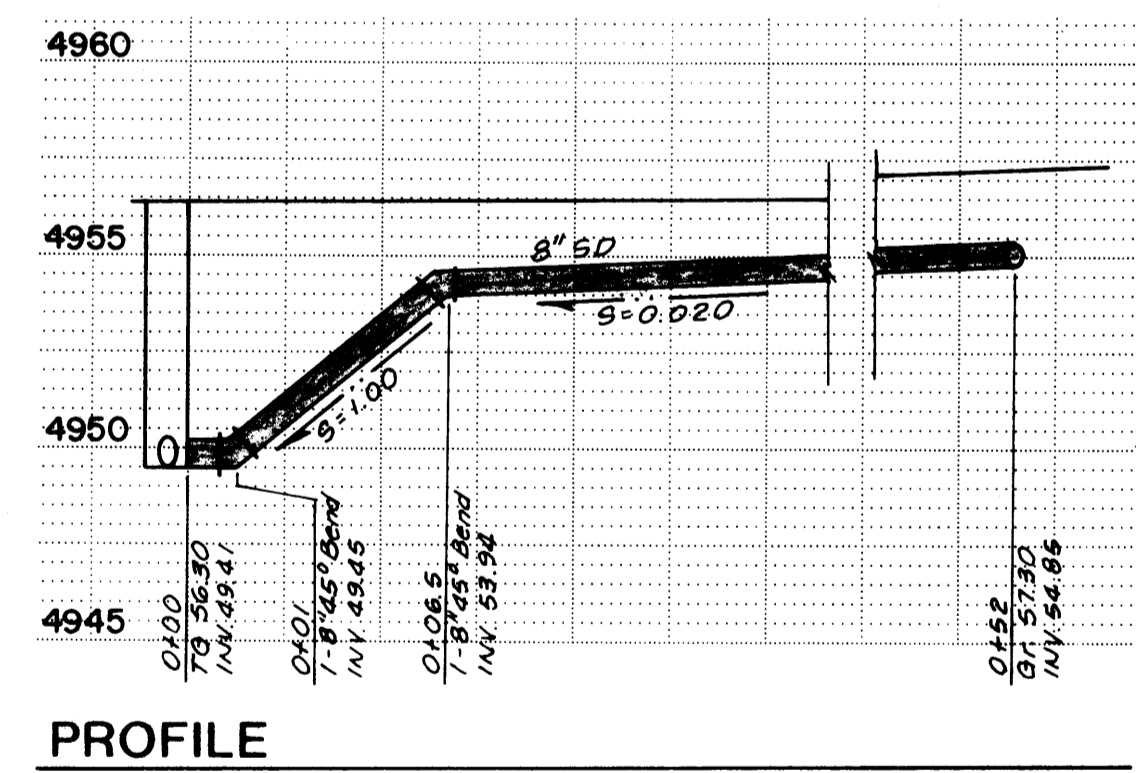
SURFACE TYPE	"C" VALUE	A (ACRES)	"C" X A	COMPOSITE "C" = C X A / A
Streets, Drives, Walks	0.95	0.06	0.06	
Dirt-Hard Packed	0.88	0.12	0.11	
Roofs	0.90	0.17	0.15	
Lawns & Landscaping	0.25	-0	-0	
Undeveloped	0.40	-0	-0	
TOTAL		0.35	0.32	0.91

$Q(100) = (0.91)(4.84)(0.3549) = 1.56$ cfs
 $Q(10) = (0.657)(1.56) = 1.03$ cfs
 CN = 92 Plate 22.2 C-2
 Direct Runoff = 1.4 in. Plate 22.2 C-4
 $V(100) = (1.4)(0.3549)(43560)/12 = 1804$ cu. ft.
 $V(10) = (0.657)(1804) = 1185$ cu. ft.

PROPOSED ON-SITE CONDITIONS:

SURFACE TYPE	"C" VALUE	A (ACRES)	"C" X A	COMPOSITE "C" = C X A / A
Streets, Drives, Walks	0.95	0.14	0.13	
Roofs	0.90	0.18	0.16	
Lawns & Landscaping	0.25	0.03	0.01	
Undeveloped	0.40	-0	-0	
TOTAL		0.35	0.30	0.86

$Q(100) = (0.86)(4.84)(0.3549) = 1.48$ cfs
 $Q(10) = (0.657)(1.48) = 0.97$ cfs
 CN = 92 Plate 22.2 C-3
 Direct Runoff = 1.4 in. Plate 22.2 C-4
 $V(100) = (1.4)(0.3549)(43560)/12 = 1804$ cu. ft.
 $V(10) = (0.657)(1804) = 1185$ cu. ft.

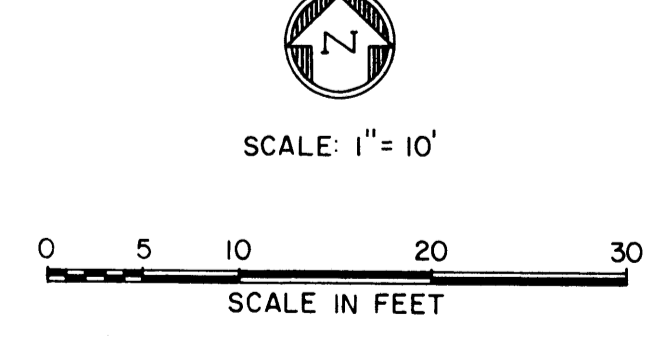


PROFILE

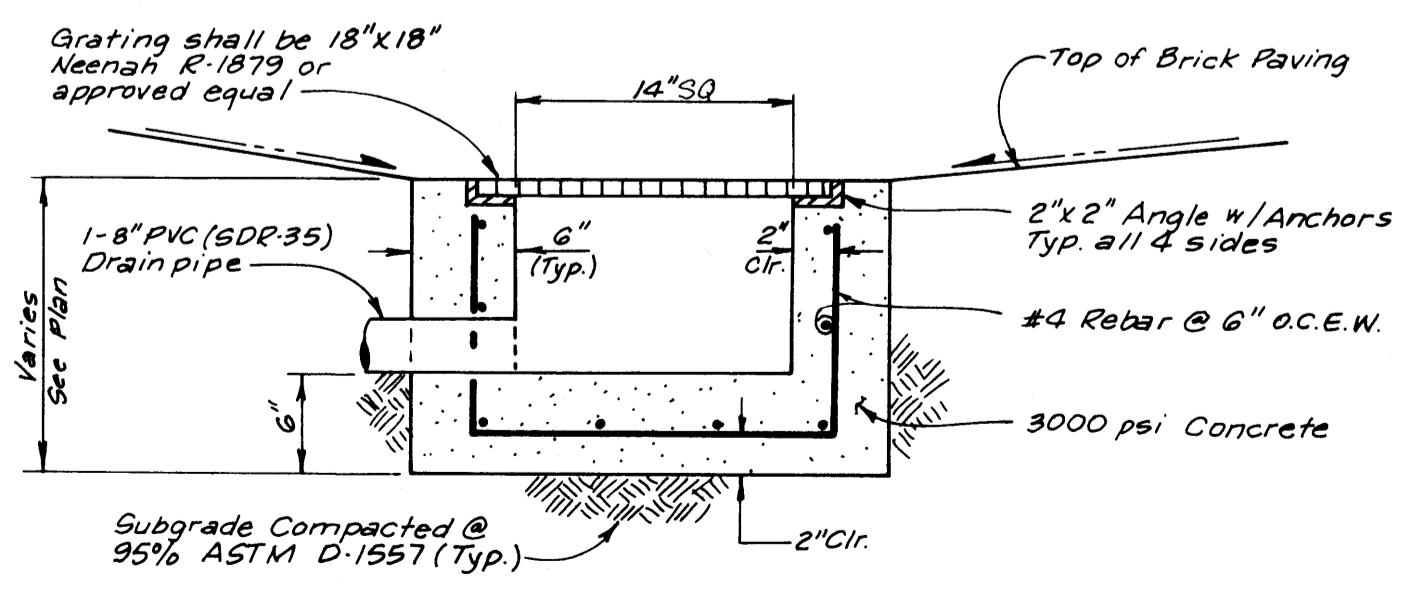
HORIZ. 1" = 5'
 VERT. 1" = 5'

- NOTICE TO CONTRACTOR:**
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL EXCEPT AS OTHERWISE STATED BE PROVIDED FOR HEREON. BE COMPLETED IN ACCORDANCE WITH THE "CITY OF ALBUQUERQUE, STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986" (COA STND).
 - TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT CITY ENGINEER, LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR SURVEYOR SO THAT THE CONFLICT CAN BE RESOLVED WITH MINIMUM AMOUNT OF DELAY.
 - ALL STORM DRAINAGE FACILITIES SHALL BE COMPLETED PRIOR TO FINAL ACCEPTANCE.
 - THE CONTRACTOR SHALL ENSURE THAT SO SOIL EXPOSED FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY SHEETS AT THE PROPERTY LINES AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
 - THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
 - WHEN CONSTRUCTION UNDER THIS PROJECT CONNECTS TO EXISTING IMPROVEMENTS, THE CONTRACTOR SHALL PROVIDE AN EASY RIDING CONNECTION.
 - ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
 - MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
 - CONTRACTOR IS RESPONSIBLE FOR OBTAINING A PERMIT TO CONSTRUCT FACILITIES WITHIN CITY RIGHT-OF-WAY.
 - CONTRACTOR SHALL PROVIDE 12" SUBGRADE PREPARATION UNDER ALL NEW PAVEMENT, CURBS AND GUTTERS, VALLEY, GUTTERS AND CONCRETE FILLETS.

NOTE: All roof drain locations are approximate, and the contractor is to locate and coordinate the roof drain connections to the new storm sewer with the owner. (Provide a positive slope to the new storm sewer system).



GRADING AND DRAINAGE PLAN

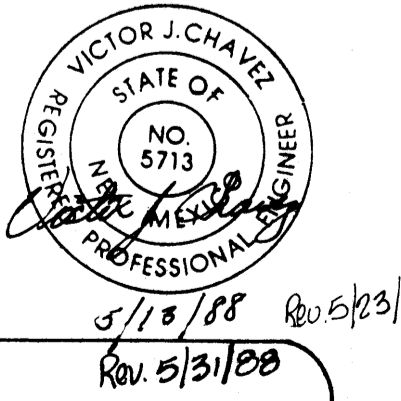


INLET DETAIL

NTS



PROJECT: PATIO ESCONDIDO
 404 San Felipe, NW
 Albuquerque, NM



CHAVEZ-GRIEVES / CONSULTING ENGINEERS, INC.
 4600 MONTGOMERY N.E., BUILDING C, #101
 ALBUQUERQUE, NEW MEXICO 87109
 (505) 881-7376