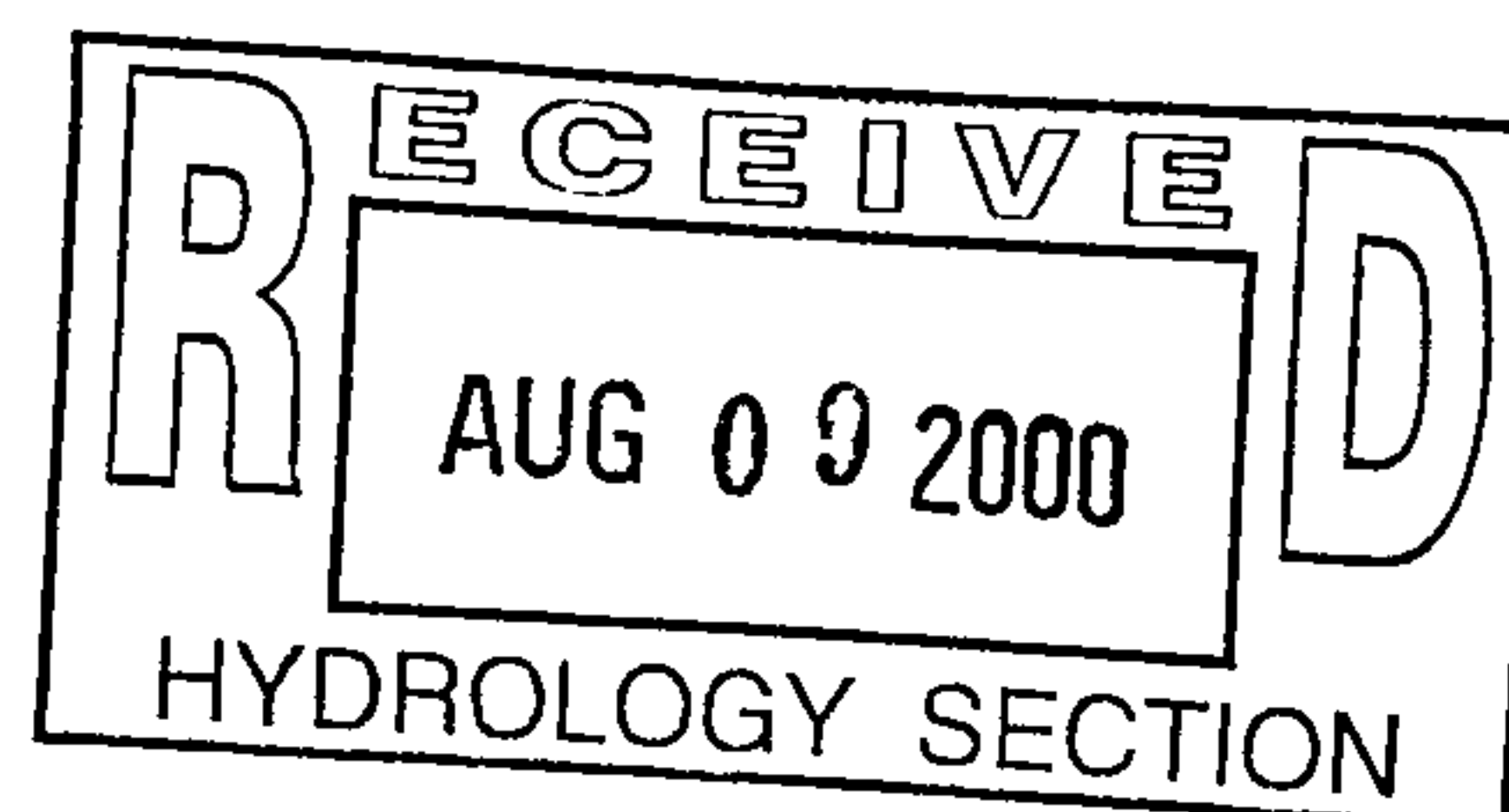
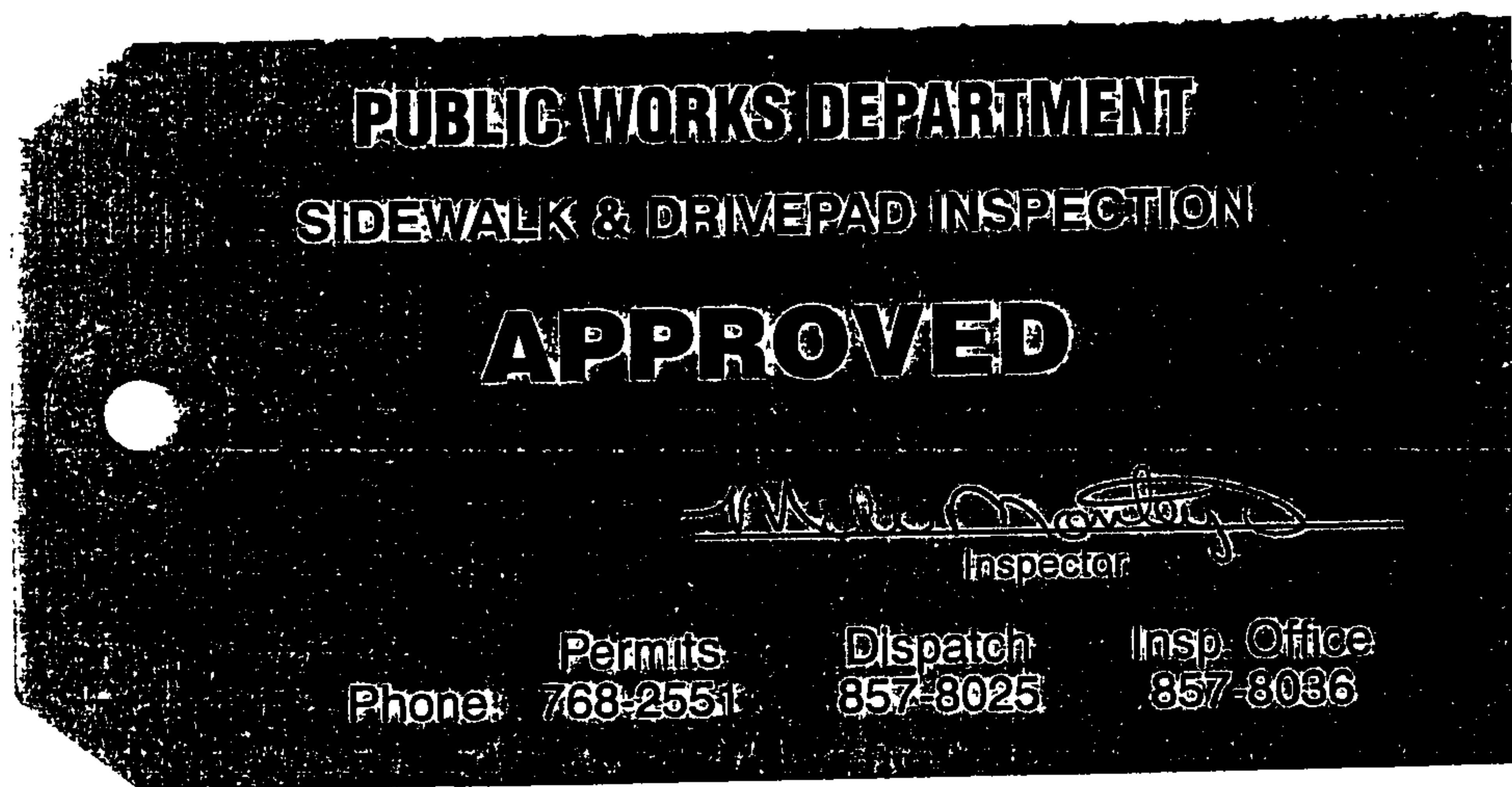


DRAINAGE INFORMATION SHEET**PROJECT TITLE:** 20TH Street Old Town Development**ZONE ATLAS/DRNG. FILE #:** J13/D44 ✓**DRB #:****EPC #:****WORK ORDER #:****LEGAL DESCRIPTION:** Tract A, Lands of Stewart-Walker, MRGCD Map No. 38**CITY ADDRESS:** 800 20th Street NW, Albuquerque, NM**ENGINEERING FIRM:** Jeff Mortensen & Associates, Inc.**CONTACT:** Christian J. Sholtis**ADDRESS:** 6010-B Midway Pk. N.E., Albuquerque, NM 87109**PHONE:** (505)345-4250**OWNER:** Sunbelt Properties**CONTACT:** Bob Ruth**ADDRESS:** 3029 Rio Grande NW, Albuquerque, NM 87107**PHONE:** (505)480-8159**ARCHITECT:** Jon Anderson Architect AIA**CONTACT:** Jon Anderson**ADDRESS:** 912 Roma Ave. NW, Albuquerque, NM 87102**PHONE:** (505)764-8306**SURVEYOR:** Jeff Mortensen & Associates, Inc.**CONTACT:** Charles G. Cala**ADDRESS:** 6010-B Midway Pk. N.E., Albuquerque, NM 87109**PHONE:** (505) 345-4250**CONTRACTOR:** Sundance Mechanical and Utility Corp.**CONTACT:** .**ADDRESS:** 4400-E Alameda, NE, Albuquerque, NM 87113**PHONE:** (505) 345-2694**TYPE OF SUBMITTAL:****CHECK TYPE OF APPROVAL SOUGHT:****DRAINAGE REPORT****SKETCH PLAT APPROVAL****DRAINAGE PLAN****PRELIMINARY PLAT APPROVAL****CONCEPTUAL GRADING & DRAINAGE
PLAN****S. DEV. PLAN FOR SUB'D APPROVAL****S. DEV. PLAN FOR BLDG. PERMIT APPROVAL****GRADING PLAN****SECTOR PLAN APPROVAL****EROSION CONTROL PLAN****FINAL PLAT APPROVAL**☒ **ENGINEER'S CERTIFICATION****FOUNDATION PERMIT APPROVAL****OTHER****BUILDING PERMIT APPROVAL****CERTIFICATE OF OCCUPANCY APPROVAL****GRADING PERMIT APPROVAL****PRE-DESIGN MEETING:****PAVING PERMIT APPROVAL****YES****S.A.D. DRAINAGE REPORT**☒ **NO****DRAINAGE REQUIREMENTS****COPY PROVIDED****OTHER (SPECIFY)****DATE SUBMITTED:** 8-10-00**BY:** Christian J. Sholtis, E.I.

Enclosures: Copies of Green Tags for SO-19



990002



Date 6-23-00 Permit No. 2032179

Contractor Sundance Mech

Location 800 20th NW

Time 6:30

S.D. - 19

Date 6-20-00 Permit No. 2030281

Contractor Bywater

Location 800 20th NW

Time 2:00

S.D. - 19



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

August 25, 2000

Jeff Mortensen, P.E.
Jeff Mortensen & Associates, Inc.
6010-B Midway Park Blvd., NE
Albuquerque, NM 87109

RE: GRADING & DRAINAGE PLAN FOR TWENTIETH STREET, OLD TOWN
DEVELOPMENT(J-13/ D0446D), ENGINEER'S STAMP DATED 10/27/99,
CERTIFICATION DATED 08/09/2000.

Dear Mr. Mortensen,

Based upon the information provided in your submittal dated August, 9, 2000, the Engineering Certification for Certificate of Occupancy for the project referred to above is approved.

If you have any questions, please call me at 924-3988.

Sincerely,

Stuart Reeder, P.E.

Stuart Reeder, P.E.
Hydrology Division

xc: Whitney Reiersen
✓File



City of Albuquerque

December 10, 1999

Jeff Mortensen, PE
Jeff Mortensen & Associates, Inc
6010-B Midway Park Blvd. NE
Albuquerque, NM 87109

Re: 20th Old Town Development Grading and Drainage Plan
Engineer's Stamp dated 10-27-99 (J13/D44)

Dear Mr. Mortensen,

Based upon the information provided in your submittal dated 10-27-99, the above referenced site is approved for Building Permit and SO-19 Permit.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

A separate permit is required for construction within City R/W. A copy of this approval letter must be on hand when applying for the excavation permit

Also, prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3986

Sincerely,

Bradley L. Bingham
Bradley L. Bingham, PE
Hydrology Review Engineer

C: Pam Lujan
file
WR



City of Albuquerque

PUBLIC WORKS DEPARTMENT

December 10, 1999

INTEROFFICE CORRESPONDENCE

HYDROLOGY DIVISION

TO: Glen Jurgensen, Storm Drain Maintenance Division

FROM: Bradley L. Bingham PE, Hydrology Div., PWD *BLB*

SUBJECT: **PRIVATE DRAINAGE FACILITIES WITHIN PUBLIC RIGHT-OF-WAY
DRAINAGE FILE NUMBER (J13/D44).**

Transmitted herewith is a copy of the approved drainage plan for the referenced project incorporating the SO #19 design.

This plan is being submitted to you for permitting and inspection. Please provide this section with a signed-off copy per the signature block upon construction and acceptance by your office.

As you are aware, the signed off SO#19 is required by this office for Certificate of Occupancy release; therefore your expeditious processing of this plan would be greatly appreciated and would avoid any unnecessary delay in the release of Certificate of Occupancy.

Thank you for your cooperation and if you should have any questions and/or comments, please feel free to call me at 924-3986.

Attachment

DRAINAGE INFORMATION SHEET

PROJECT TITLE: 20th Street Old Town Development

ZONE ATLAS/DRNG. FILE #: J13 10044

DRB #:

EPC #:

WORK ORDER #:

LEGAL DESCRIPTION: Tract A, Lands of Stewart-Walker, Map 38 MRGCD

CITY ADDRESS: 800 20th Street N.W., Alb., N.M.

ENGINEERING FIRM: Jeff Mortensen & Associates, Inc.

CONTACT: Jeffrey A. Peterson

ADDRESS: 6010-B Midway Pk. N.E., Albuquerque, NM 87109

PHONE: (505)345-4250

OWNER: Bob Ruth & Judy Griegos

CONTACT: Architect

ADDRESS:

PHONE: 764-8306

ARCHITECT: Jon Anderson Architect AIA

CONTACT: Jon Anderson

ADDRESS: 912 Roma Ave. N.W. Alb., NM 87102

PHONE: 764-8306

SURVEYOR: Jeff Mortensen & Associates, Inc.

CONTACT: Charles Cala

ADDRESS: 6010-B Midway Pk. N.E., Albuquerque, NM 87109

PHONE: (505) 345-4250

CONTRACTOR: Not yet determined

CONTACT: Architect

ADDRESS:

PHONE: 764-8306

TYPE OF SUBMITTAL:

- DRAINAGE REPORT
- ☒ DRAINAGE PLAN
- CONCEPTUAL GRADING & DRAINAGE PLAN
- ☒ GRADING PLAN
- EROSION CONTROL PLAN
- ENGINEER'S CERTIFICATION
- OTHER

PRE-DESIGN MEETING:

- YES
- ☒ NO
- COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

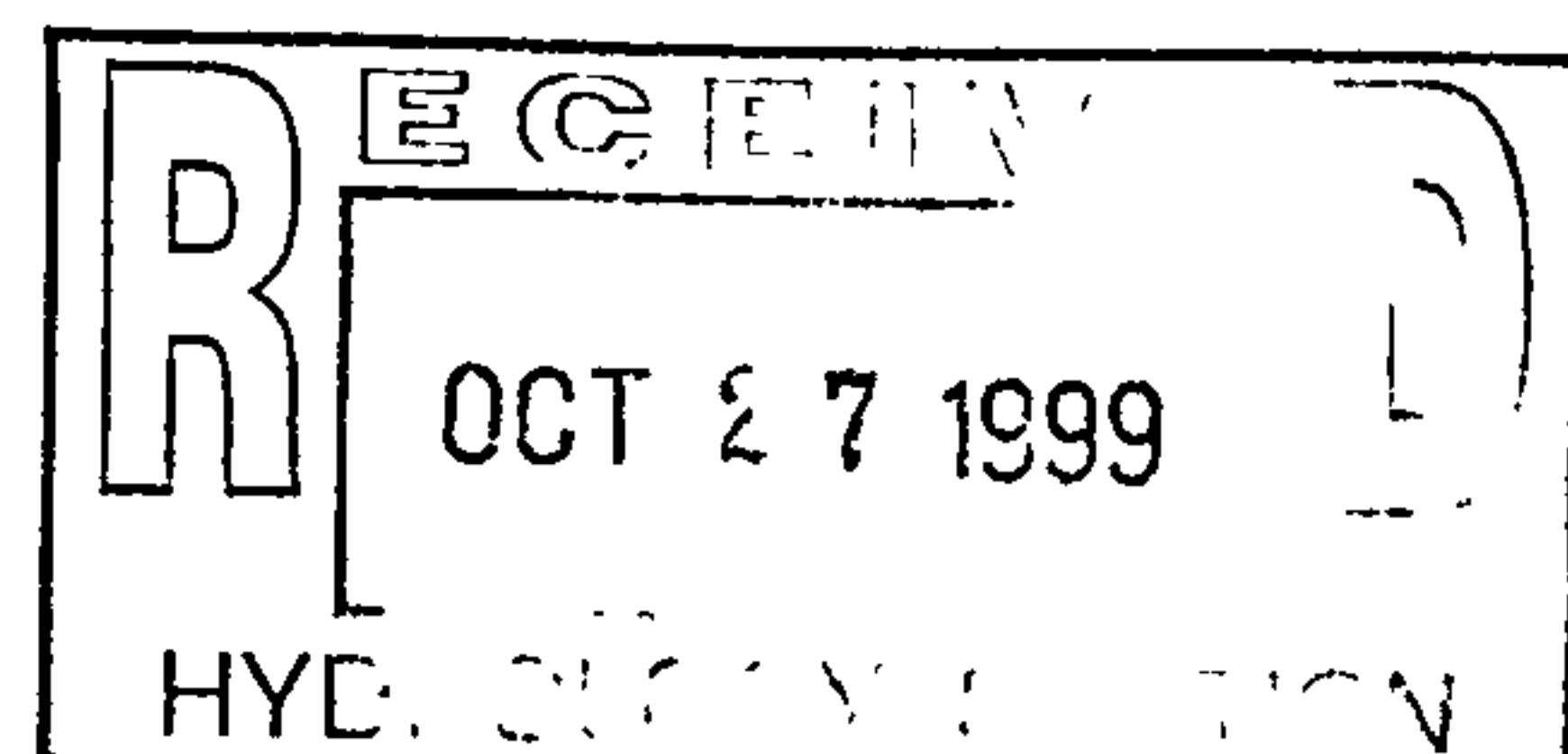
- SKETCH PLAT APPROVAL
- PRELIMINARY PLAT APPROVAL
- S. DEV. PLAN FOR SUB'D APPROVAL
- S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- SECTOR PLAN APPROVAL
- FINAL PLAT APPROVAL
- FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY APPROVAL
- GRADING PERMIT APPROVAL
- PAVING PERMIT APPROVAL
- S.A.D. DRAINAGE REPORT
- DRAINAGE REQUIREMENTS
- ☒ OTHER SO-19 (SPECIFY)

Approval

DATE SUBMITTED: 10/27/99

BY: Jeffrey A. Peterson, EI

Xc: Jon Anderson





City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

November 3, 1999

Jon Anderson Architect AIA
800 20th St. N.W.
Albuquerque, New Mexico 87102

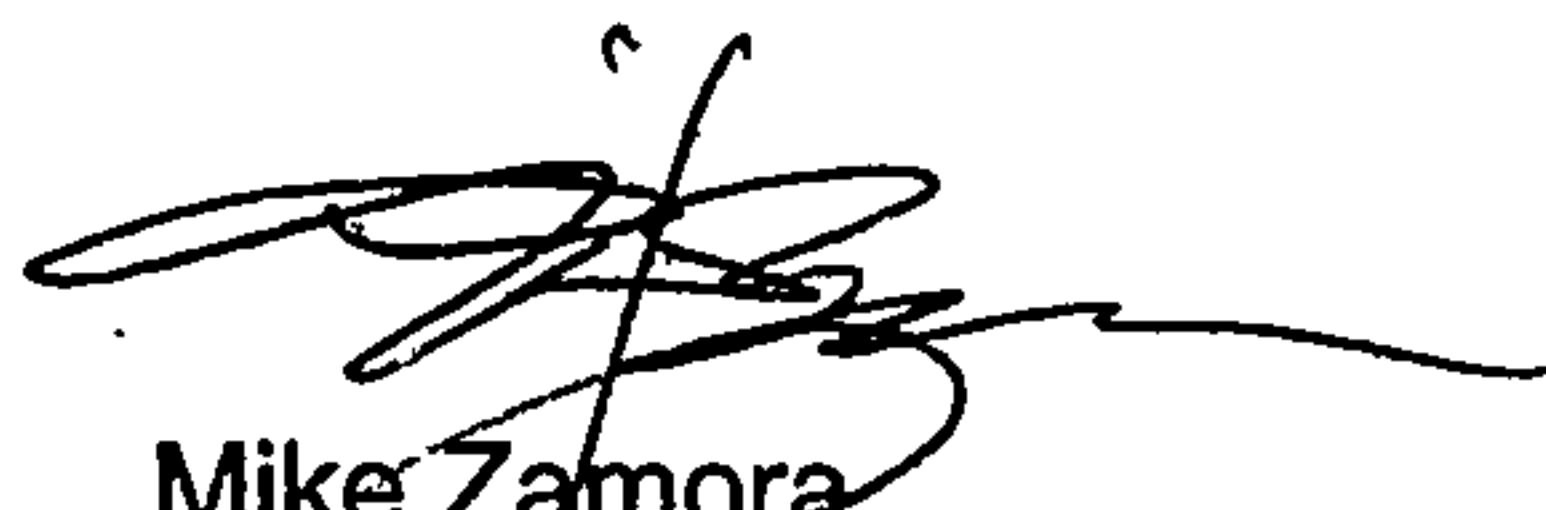
Re: Site Plan submittal for building permit approval for 20th Street Old Town Development, 800 20th St. N.W., Lands of Stewart-Walker, Map 38MRGCD, Tract A, [J-18/Do44]. Architect's Stamp dated 10/26/99.

Dear Mr. Anderson,

The location referenced above requires modification to the Site Plan prior to Building Permit release as stated on the attached comments and marked up Site Plan.

Please resubmit revised Site Plan after addressing typed and marked up comments. Submit Plan along with typed comments and all red-lined, mark-up copies.

Sincerely,



Mike Zamora,
Commercial Plan Checker

cc:
Engineer
Hydrology File
Office File

- The engineer's certification required by the Hydrology section needs to include certification that this site was constructed in accordance with the Traffic Circulation Layout (TCL) before C.O. is released. Place note on Site Plan to this effect.
- Use of DPM and close review of SitePlans and comments in previous BuildingPermit plan set submittals can aid in production of Site Plan requiring fewer corrections to original and more expediant review time.
- Only one SitePlan is needed per Permit submittal. Multiple copies of SitePlans will need to match exactly.
- The projected width of Bellamah right-of-way at this location will be 68'. Place note on plan stating this and that compliance with code at this site will be maintained at time of widening.
- New and existing elements noted on the Site Plan must be shown, labelled, and dimensioned correctly and accurately, this includes accurate width of right-of-way and road, curb & gutter, site sidewalks, etc. _Need to see clear differentiation between existing and new construction on Site Plan.
- Show, label, and dimension existing and/or new street sidewalks. City sidewalk ordinance requires minim. 4' street sidewalks along the frontage of all commercial sites being developed.
- Dimension stalls - label "typical" or call out in individual locations, if not typical.
- Label 6" high concrete curb, and type (or show detail labelled "typical"), at each individual location or call out double-line style linework, used as "typical".__If extruded concrete is used, top of surface of landscape mulching (gravel, bark, etc.) must be level with, or up to 1" below top of curb.
- Minim. 5' wide concrete sidewalk, raised 6" above parking surface, needed at the front of parked vehicles adjacent to building.
- Clearly indicate transition from one type of surface to the other on Site Plan, for example ramps, concrete/asphalt, landscape/concrete, etc. Label each area or stipple to show varying surfaces.
- A 36'- 40' foot curb cut is required on Bellamah for semi trucks._Once full width of Bellamah is provided templates will be used. _All truck traffic will need to use this drivepad to enter and exit. Place note on Plan.
- 20'-25'distance back from back of sidewalk needed at south 20th street entrance for vehicle visibility and to allow parked vehicle to exit last adjacent stall while vehicle is waiting to leave site.
- Label - "Construct new drivepad per City of Albuq. Std. Detail Dwg. No. 2426.
- 15' radius curve needed on end islands" throughout the traffic drive aisle", 25' along large vehicle route as shown.__Minimum width of end islands-10'.
- Clearly call out removal, and construction of concrete sidewalk at all drivepads required to be abandoned.
- Label asphalt and thickness of parking surface per city std. or refer to a detail which illustrates the proposed method of paving and states it's equivalency to standard asphalt surfacing.
- Show and label property lines and right-of-way lines.
- Need to see that all existing obstacles in City right-of-way, in existing sidewalks, have been picked up.
- All Civil Sheets (Drainage Plan and Site Plan) and Landscape Plan must be together at front of plan set.
- Linework on Drainage Plan and Landscape Plan must match Site Plan exactly.
- Angle enclosure for more effective use by refuse vehicle as shown.

DRAINAGE INFORMATION SHEET

PROJECT TITLE: 20th Street Old Town Development

ZONE ATLAS/DRNG. FILE #: J13

DRB #:

EPC #:

WORK ORDER #:

LEGAL DESCRIPTION: Tract A, Lands of Stewart-Walker, Map 38 MRGCD

CITY ADDRESS: 800 20th Street N.W., Alb., N.M.

ENGINEERING FIRM: Jeff Mortensen & Associates, Inc.

CONTACT: Jeffrey A. Peterson

ADDRESS: 6010-B Midway Pk. N.E., Albuquerque, NM 87109

PHONE: (505)345-4250

OWNER: Bob Ruth & Judy Griegos

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PHONE: 764-8306

SURVEYOR: Jeff Mortensen & Associates, Inc.

CONTACT: Charles Cala

ADDRESS: 6010-B Midway Pk. N.E., Albuquerque, NM 87109

PHONE: (505) 345-4250

CONTRACTOR: Not yet determined

CONTACT: Architect

ADDRESS:

PHONE: 764-8306

TYPE OF SUBMITTAL:

DRAINAGE REPORT

DRAINAGE PLAN

**CONCEPTUAL GRADING & DRAINAGE
PLAN**

GRADING PLAN

EROSION CONTROL PLAN

ENGINEER'S CERTIFICATION

☒ **OTHER**

Traffic Circulation Plan

PRE-DESIGN MEETING:

YES

☒ **NO**

COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

SKETCH PLAT APPROVAL

PRELIMINARY PLAT APPROVAL

S. DEV. PLAN FOR SUB'D APPROVAL

S. DEV. PLAN FOR BLDG. PERMIT APPROVAL

SECTOR PLAN APPROVAL

FINAL PLAT APPROVAL

FOUNDATION PERMIT APPROVAL

BUILDING PERMIT APPROVAL

CERTIFICATE OF OCCUPANCY APPROVAL

GRADING PERMIT APPROVAL

PAVING PERMIT APPROVAL

S.A.D. DRAINAGE REPORT

DRAINAGE REQUIREMENTS

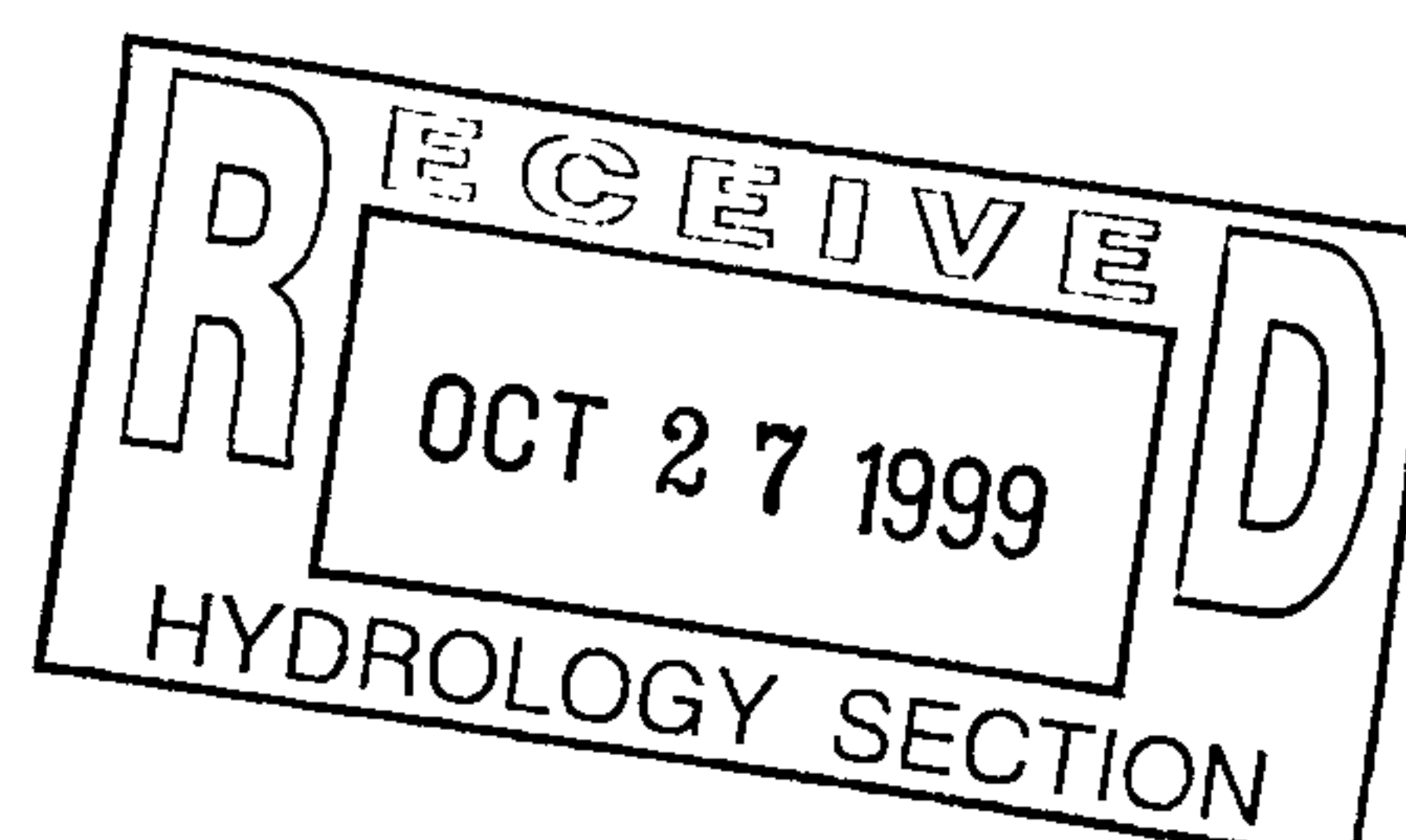
☒ **OTHER** (SPECIFY)

Traffic
Circulation
Plan

DATE SUBMITTED: 10/27/99

BY: Jeffrey A. Peterson, EI

Xc: Jon Anderson



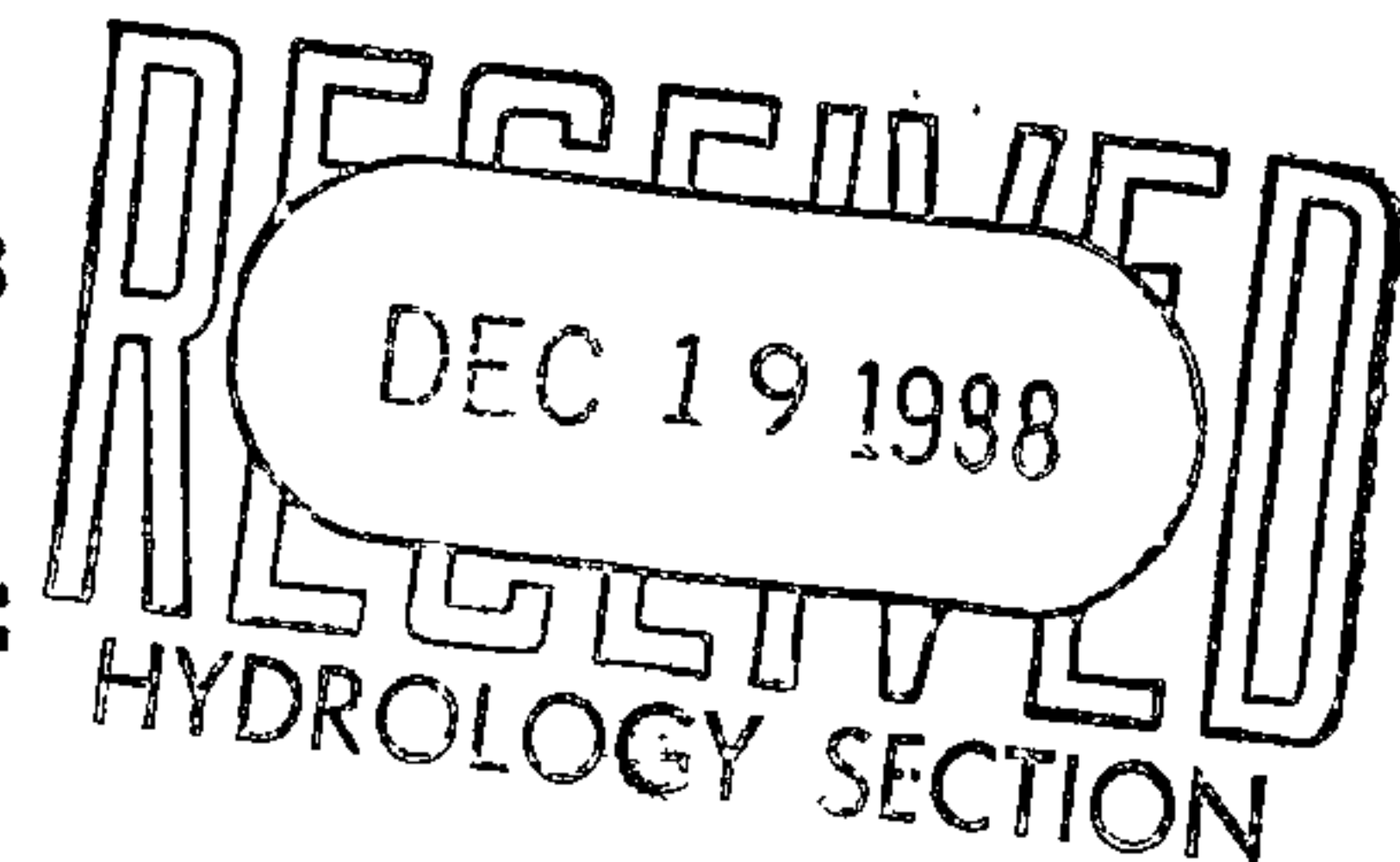


KEN SCHULTZ
MAYOR

City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

December 16, 1988



CERTIFICATE OF COMPLETION AND ACCEPTANCE

Stewart/Walker Company
800 20th Street N.W.
Albuquerque, NM 87104

RE: PROJECT NO. 3585, BELLAMAH/20TH STREET, (MAP NO. J-13) / *244*

Dear Mr. Stright:

This is to certify that the City of Albuquerque accepts Project No. 3585 as being completed according to approved plans and construction specifications. If all required right-of-ways and/or easements have been dedicated, the City of Albuquerque will accept for continuous maintenance all public infrastructure improvements constructed as part of Project No. 3585. If the required right-of-ways and/or easements have not been dedicated, the City of Albuquerque cannot accept the project for continuous maintenance and said maintenance will be the responsibility of the developer.

The project is described as follows:

- Installation of a 6" gate valve on the existing 6" water main on 20th St. Installed a fire hydrant on the west side of 20th St., 156.5' from the southwest curb return of 20th and Bellamah to serve the Stewart/Walker Company.
- The contractor's warranty begins the date of this letter and will be effective for a period of one (1) year.

Sincerely,

Russell B. Givler, P.E.
Chief Construction Engineer
Construction Mgmt. Division
Engineering Group
Public Works Department

RBG:kt

LETTER OF ACCEPTANCE FOR PROJECT NO. 3585

December 16, 1988

Page Two (2)

xc: Gary Tibljas & Company
Sundance Mechanical & Utility Corp.
Fred Aguirre, Engineering Group, PWD
Phil Fischer, Engineering Group, PWD
Ray Pang, Engineering Group, PWD
Terri Martin, Engineering Group, PWD
Jeanette Barrett, Special Assessments
Jim Olsen, Operations Group, PWD
Sam Cummins, Operations Group, PWD
Jim Fink, Operations Group, PWD
Anthony Lopez, Operations Group, PWD
Jon Ertsgaard, Engineering Group, PWD
Dave Parks, Engineering Group, PWD
Tom Kennerly, Operations Group, PWD
Josie Gutierrez, New Meter Sales, Finance Group, PWD
Claudia Gallegos, Standby Clerk, Finance Group, PWD
Della Gallegos, Engineering Group, PWD
Terry Schultz, Engineering Group, PWD
Fred Gomez, Engineering Group, PWD
Judy Aguilar, Engineering Group, PWD
f/Project 3585
f/Warranty
f/Readers



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

MAYOR
KEN SCHULTZ

CHIEF
ADMINISTRATIVE OFFICER
GENE ROMO

DEPUTY CAO
DEVELOPMENT & ENTERPRISE SERVICES
LARRY LARRANAGA

DEPUTY CAO
PUBLIC SERVICES
DAN WEAKS

June 24, 1988

Gary W. Tibljas, P.E.
Gary W. Tibljas & Company
13 Juniper Hill, NE
Albuquerque, New Mexico 87112

RE: GRADING & DRAINAGE PLAN SUBMITTAL OF STEWART/WALKER COMPANY
RECEIVED JUNE 2, 1988 FOR BUILDING PERMIT APPROVAL (J-13/D44)

Dear Mr. Tibljas:

The above referenced submittal dated June 1, 1988 is approved for
Building Permit sign-off by Hydrology.

Include a copy of the approved plan with the construction sets routed for
sign-off.

If you have any further questions, call me at 768-2650.

Cordially,

Roger A. Green, P.E.
C.E./Hydrology Section

RAG/bsj



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

MAYOR
KEN SCHULTZ

CHIEF
ADMINISTRATIVE OFFICER
GENE ROMO

DEPUTY CAO
DEVELOPMENT & ENTERPRISE SERVICES
LARRY LARRANAGA

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PUBLIC SERVICES
DAN WEAKS

June 24, 1988

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Gary W. Tibljas & Company
13 Juniper Hill, NE
Albuquerque, New Mexico 87112

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If you have any further questions, call me at 768-2650.

Cordially,

Roger A. Green, P.E.
C.E./Hydrology Section

RAG/bsj

CITY OF ALBUQUERQUE
MUNICIPAL DEVELOPMENT DEPARTMENT
ENGINEERING DIVISION/DESIGN HYDROLOGY SECTION

CONFERENCE RECAP

DRAINAGE FILE/ZONE ATLAS PAGE NO.: J-13 DATE: 5/12/88 @ 11:15

PLANNING DIVISION NOS: EPC: _____ DRB: _____

SUBJECT: 20th Street & Fallman Avenue, NW

STREET ADDRESS (IF KNOWN): _____

SUBDIVISION NAME: MRGCD Tracts 239B1A1B, 239C1A2A2, 237A

APPROVAL REQUESTED:

____ PRELIMINARY PLAT
____ SITE DEVELOPMENT PLAN
____ OTHER _____

____ FINAL PLAT
X BUILDING PERMIT
____ ROUGH GRADING

	WHO	REPRESENTING
ATTENDANCE:	<u>Gary Tibbels</u>	<u>Gary W. Tibbels &</u>
	<u>Carlos Montoya</u>	<u>Hydrology Section</u>
	_____	_____

FINDINGS:

- ① Drainage plan per DPM
- ② Free discharge allowed due to the following
 - (A) minimum impact on downstream facilities
 - (B) storm drain location of facilities site
 - (C) infill site
- ③ Loading Dock needs a permanent pumping facility.
 - (A) pond would be within 15 ft of building
 - (B) we do not allow retention ponds per Ordinance
 - (C) Free discharge is not allowed per city policy

The undersigned agrees that the above findings are summarized accurately and are only subject to change if further investigation reveals that they are not reasonable or that they are based on inaccurate information.

SIGNED: G. A. Montoya
TITLE: _____
DATE: 5-12-88

SIGNED: [Signature]
TITLE: III
DATE: 5-12-88

NOTE PLEASE PROVIDE A COPY OF THIS RECAP WITH THE DRAINAGE SUBMITTAL