

CITY OF ALBUQUERQUE



April 13, 2018

Eric Haskins
201 Third St. NW
Albuquerque, NM 87102

Re: Art Barn
1904 Bellamah NW
Request for Certificate of Occupancy
Transportation Development Final Inspection
Architect's Stamp dated 12-15-18 (J13-D044)
Certification dated 04-11-18

Dear Mr. Haskins,

Based upon the information provided in your submittal received 04-11-18, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

PO Box 1293

Albuquerque

If you have any questions, please contact me at (505)924-3630.

NM 87103

Sincerely,

Logan Patz
Senior Engineer, Planning Dept.
Development Review Services

www.cabq.gov

LWP via: email
C: CO Clerk, File



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 3/2018)

J130044

Project Title: ART BARN Building Permit #: 2017-23175 Hydrology File #: J130044

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: TRACT "A," LANDS OF STEWART-WALKER

City Address: 1904 BELLAMAH NW, ALBUQUERQUE, 87104

Applicant: ERIC HASKINS, HERITAGE HOTELS & RESORTS Contact: ERIC HASKINS

Address: 201 THIRD ST. NW, SUITE 1140, ALBUQUERQUE, 8702

Phone#: (505) 252-8325 Fax#: _____ E-mail: ehaskins@hhands.com

Other Contact: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply:

IS THIS A RESUBMITTAL?: Yes No

DEPARTMENT:

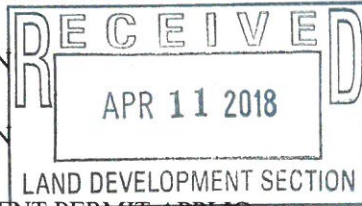
- HYDROLOGY/ DRAINAGE
- TRAFFIC/ TRANSPORTATION

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY
- PRELIMINARY PLAT APPROVAL
- SITE PLAN FOR SUB'D APPROVAL
- SITE PLAN FOR BLDG. PERMIT APPROVAL
- FINAL PLAT APPROVAL

TYPE OF SUBMITTAL:

- ENGINEER/ARCHITECT CERTIFICATION
- PAD CERTIFICATION
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- DRAINAGE MASTER PLAN
- DRAINAGE REPORT
- FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ELEVATION CERTIFICATE
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- TRAFFIC IMPACT STUDY (TIS)
- OTHER (SPECIFY) _____
- PRE-DESIGN MEETING?



- SIA/ RELEASE OF FINANCIAL GUARANTEE
- FOUNDATION PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- SO-19 APPROVAL
- PAVING PERMIT APPROVAL
- GRADING/ PAD CERTIFICATION
- WORK ORDER APPROVAL
- CLOMR/LOMR
- FLOODPLAIN DEVELOPMENT PERMIT
- OTHER (SPECIFY) _____

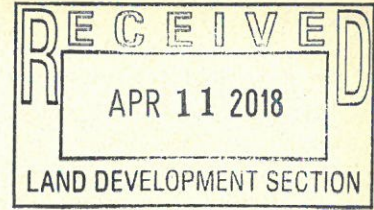
DATE SUBMITTED: 4-11-2018

By:

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



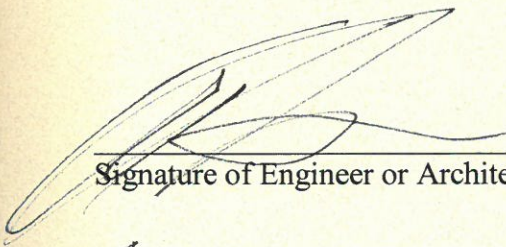
TRAFFIC CERTIFICATION

I, Eric Haskins, NMRA #5328, OF THE FIRM Heritage Hotels and Resorts, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 8-1-2017, revisions dated 12-15-2018, approved 2-5-2018. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY myself. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 4-10-2018, AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR Certificate of Occupancy.

EXCEPTIONS:

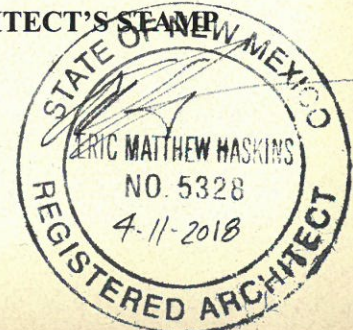
1. *Truncated dome warning mats are red in color, not yellow.*
2. *Two "Van Accessible" signs were added at van accessible parking stalls, one in north lot, one in south lot.*

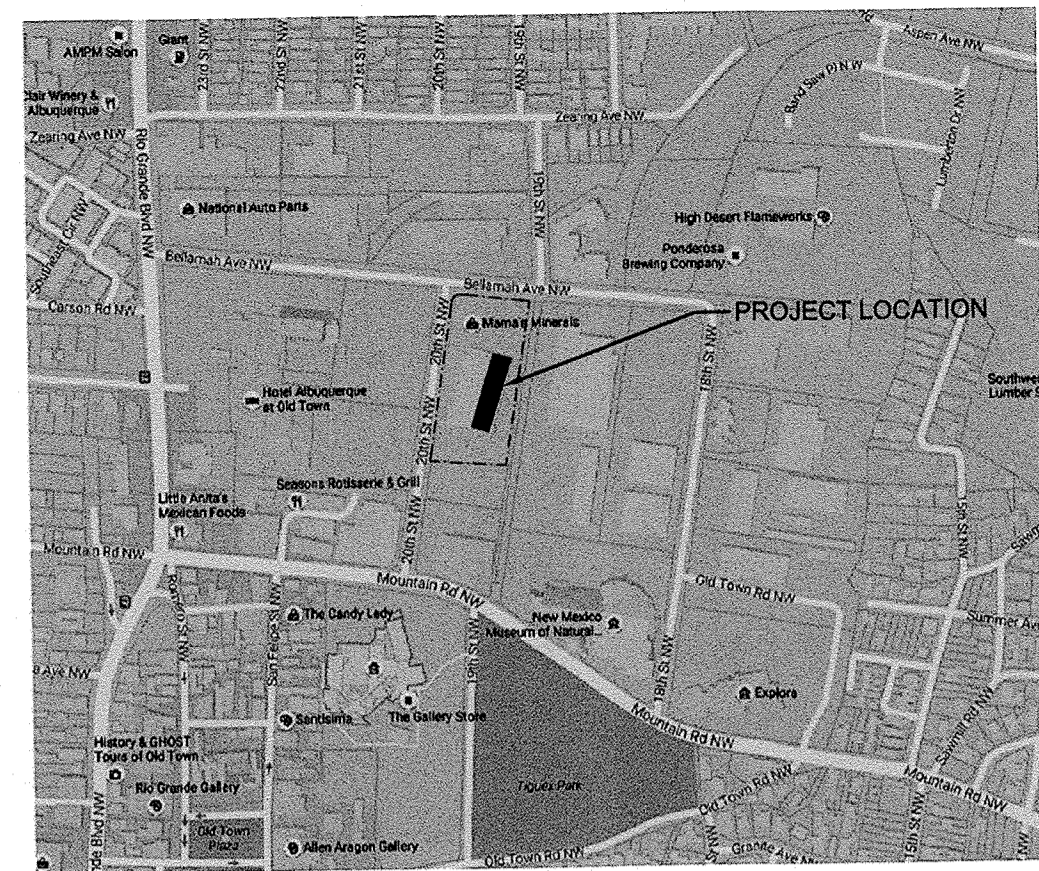
THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.


Signature of Engineer or Architect

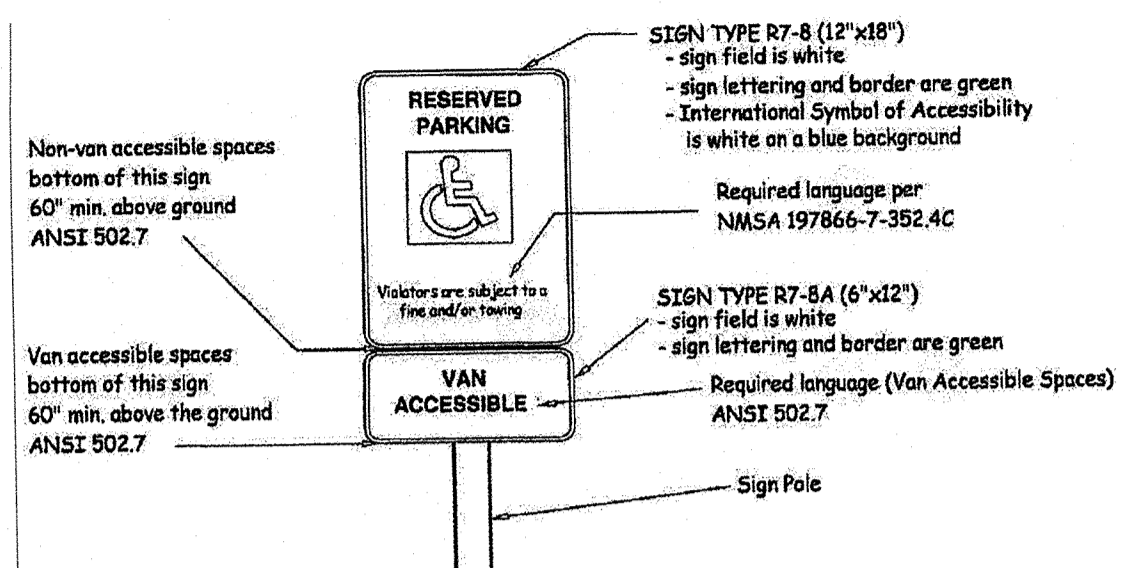
4-11-2018
Date

ENGINEER'S OR ARCHITECT'S STAMP





D1 LOCATION MAP
NOT TO SCALE



D2 TYPICAL PARKING SIGN
NOT TO SCALE

REQUIRED PARKING:
PER CITY ZONING CODE, RETAIL AND SERVICE USES:
1 SPACE PER 200 SF OF NET LEASABLE AREA
27,936 SF / 200 = 140 SPACES REQUIRED, 109 SPACES PROVIDED ON SITE.

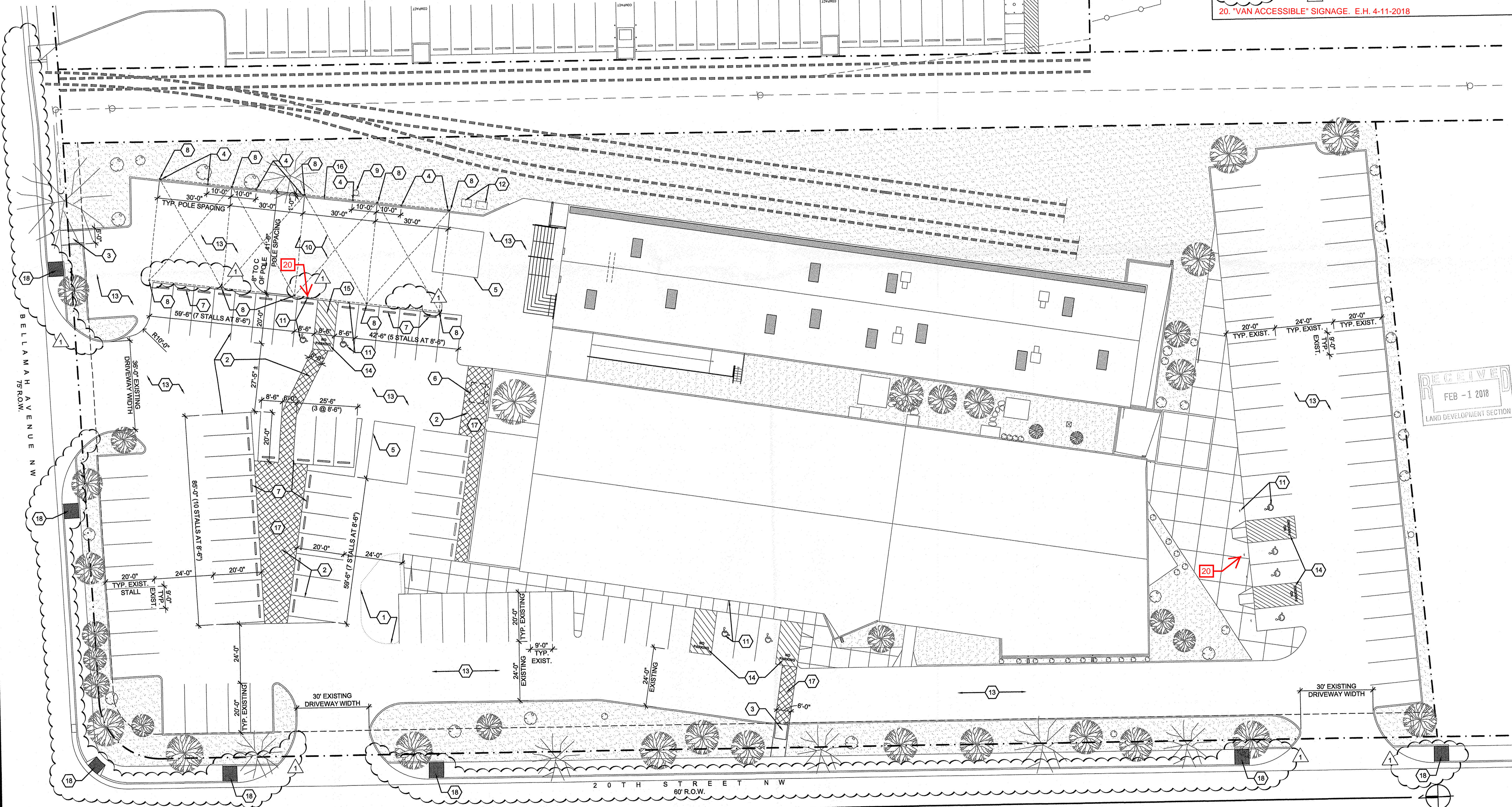
THE REMAINDER OF THE PARKING REQUIREMENT (31 SPACES, 22% OF REQUIREMENT) SHALL BE MET BY SHARED PARKING AGREEMENT WITH HOTEL CHACO/HOTEL ALBUQUERQUE, WHICH ARE UNDER SAME OWNERSHIP AS ART BARN AND ARE LOCATED DIRECTLY ACROSS 20TH STREET. A COPY OF SHARED PARKING AGREEMENT IS ATTACHED. PER PREVIOUSLY APPROVED DRB SUBMITTALS (ATTACHED), HOTEL ALBUQUERQUE / HOTEL CHACO HAVE A SURPLUS OF 306 SPACES. AFTER ALLOCATING 31 FOR ART BARN, HOTEL ALBUQUERQUE / HOTEL CHACO HAVE A REMAINING SURPLUS OF 275 SPACES.

8 DISABLED PARKING SPACES ARE REQUIRED AND PROVIDED.

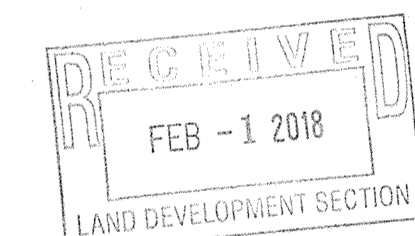
ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

TRAFFIC CIRCULATION LAYOUT APPROVED
Signer 02-05-18
Date

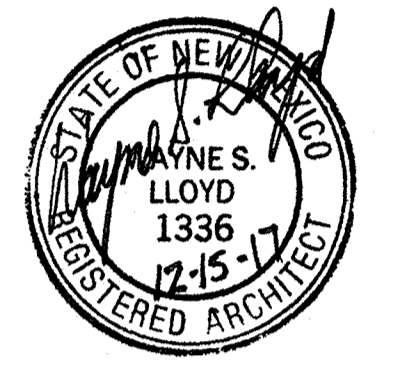
- GENERAL SHEET NOTES**
- ALL BUILDINGS ARE EXISTING. ALL PAVING AND LANDSCAPING IS EXISTING TO REMAIN. PARKING STRIPING IS BEING PARTIALLY RECONFIGURED.
 - ALL LANDSCAPING IS EXISTING TO REMAIN.
 - WITH THE EXCEPTION OF A SMALL PATCHED AREA, ALL ASPHALT IS EXISTING TO REMAIN. EXISTING GRADING AND DRAINAGE WILL REMAIN UNCHANGED.
 - EXISTING ITEMS ARE SHOWN WITH GRAY LINES, NEW ITEMS ARE SHOWN WITH BLACK LINES.
- SHEET KEYED NOTES**
- PROVIDE NEW ASPHALT PATCH IN AREA SHOWN, FEATHER INTO EXISTING ASPHALT.
 - NEW PAINT STRIPING.
 - NEW CONCRETE SIDEWALK AND CURB RAMP, 1:12 MAX SLOPE, 6'-0" MIN. WIDTH.
 - STEEL BOLLARD WITH INTEGRATED ELECTRICAL RECEPTACLES, SEE ELECTRICAL.
 - EXISTING CONCRETE SLAB AT GRADE TO REMAIN.
 - RELOCATE EXISTING DUMPSTER TO LOCATION SHOWN.
 - CONCRETE CURB STOP.
 - POLE TO SUPPORT STRINGS OF LIGHTS (LIGHTS BY OWNER). SEE E4/S-301 FOR DETAIL.
 - EXISTING AREA LIGHTING TO REMAIN.
 - LOCATION OF STRINGS OF LIGHTS (BY OWNER).
 - PROVIDE NEW PAINTED DISABLED PARKING SYMBOL AND SIGNAGE. NEW SIGNAGE SHALL BE PER D2/TCL. WHERE PRESENT, EXISTING SYMBOLS AND SIGNAGE MAY REMAIN IF IN SERVICEABLE CONDITION.
 - EXISTING TRANSFORMERS TO REMAIN.
 - EXISTING ASPHALT PARKING SURFACE TO REMAIN.
 - PROVIDE PAINTED LETTERING IN STRIPED ACCESS AISLE: "NO PARKING." LETTERS SHALL BE CAPITAL, AT LEAST 12" HIGH, 2" WIDE, PLACED SO AS TO BE CLOSE AS TO WHERE AN ADJACENT VEHICLE'S REAR TIRES WOULD BE PLACED.
 - PROVIDE DIAGONAL PAINT STRIPING AT ADA ACCESS AISLE, BLUE COLOR.
 - EXISTING CURB, BASIS OF DIMENSIONS.
 - AT CROSS-HATCHED AREA DESIGN AND COLOR OF PAINT SHALL BE APPROVED BY OWNER. COLOR(S) SHALL CONTRAST WITH ASPHALT.
 - PROVIDE NEW RETROFIT TRUNCATED DOME (ADA TEXTURED) WARNING MAT, YELLOW COLOR, AT EXISTING CURB RAMPS.
 - NOT USED.
 - "VAN ACCESSIBLE" SIGNAGE. E.H. 4-11-2018



A1 TRAFFIC CIRCULATION LAYOUT
1" = 20'-0"



Lloyd & Associates
ARCHITECTS
321-A West San Francisco Street
Santa Fe, NM 87501
Telephone: 505-988-9789 Web address: lloyd-architects.com



ART BARN
1904 BELLAMAH NW
ALBUQUERQUE, NEW MEXICO 87104

Date	8-1-2017
Revised	CITY COMMENTS AND OWNER REVISIONS, 12-15-2017
Drawn by	EH
Checked by	EH
Sheet Title	TRAFFIC CIRCULATION LAYOUT
Job Number	1705
Sheet No.	TCL