

TEMPORARY EROSION AND SEDIMENT CONTROL PLAN

Sawmill Building A

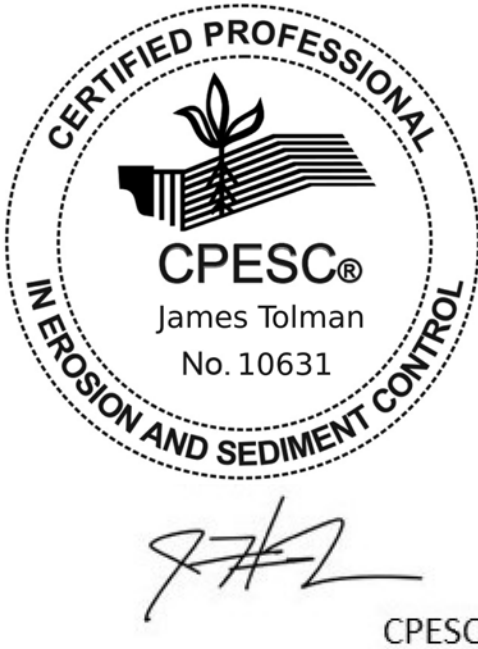

1904 Bellamah Avenue NW

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3	SWPPP Contacts / Nature of Construction
4-5	Temporary Erosion Control Map
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LATITUDE: 35.100587

LONGITUDE: -106.666945

	Sawmill Building A	
	Albuquerque, Bernalillo County, NM	
	02/03/2025	
	Bruce Henriksen James Tolman	

TEMPORARY EROSION AND SEDIMENT CONTROL PLAN

PERMIT NUMBER:	NMR1006WJ	ESC Plan Standard Notes (2023-06-16)
	NMR100000 State of New Mexico, Except Indian Country	
OWNER NAME:	Bernalillo County	<div>1. All Erosion and Sediment Control (ESC) work on these plans, except as otherwise stated or provided hereon shall be permitted, constructed, inspected and maintained in accordance with:<div>a. The City Ordinance § 14-5-2-11, the ESC Ordinance,<div>b. The EPA’s 2022 Construction General Permit (CGP), and<div>c. The City of Albuquerque Construction BMP Manual</div></div></div><div>2. All BMP’s must be installed prior to beginning any earth moving activities except as specified hereon in the Phasing Plan. Construction of earthen BMP’s such as sediment traps, sediment basins, and diversion berms shall be completed and inspected prior to any other construction or earthwork. Self-inspection is required after installation of the BMP’s and prior to beginning construction.</div><div>3. Self-inspections – In accordance with City Ordinance § 14-5-2-11(C)(1), “at a minimum a routine self-inspection is required to review the project for compliance with the Construction General Permit once every 14 days and after any precipitation event of ¼ inch or greater until the site construction has been completed and the site determined as stabilized by the city. Reports of these inspections shall be kept by the person or entity authorized to direct the construction activities on the site and made available upon request.”</div><div>4. Corrective action reports must be kept by the person or entity authorized to direct the construction activities on the site and made available upon request.</div><div>5. Final stabilization and Notice of Termination (NOT) – In accordance with City Ordinance § 14-5-2-11(C)(1), self-inspections must continue until the site is “determined as stabilized by the city.” The property owner/operator is responsible for determining when the “Conditions for Terminating CGP Coverage” per CGP Part 8.2 are satisfied and then filing their Notice of Termination (NOT) with the EPA. Each operator may terminate the CGP coverage only if one or more of the conditions in Part 8.2.1, 8.2.2, or 8.2.3 has occurred. After filing the NOT with the EPA, the property owner is responsible for requesting a Determination of Stabilization from the City.</div><div>6. When doing work in the City right-of-way (e.g. sidewalk, drive pads, utilities, etc.) prevent dirt from getting into the street. If dirt is present in the street, the street should be swept daily or prior to a rain event or contractor induced water event (e.g. curb cut or water test).</div><div>7. When installing utilities behind the curb, the excavated dirt should not be placed in the street.</div><div>8. When cutting the street for utilities the dirt shall be placed on the uphill side of the street cut and the area swept after the work is complete. A wattle or mulch sock may be placed at the toe of the excavated dirt pile if the site constraints do not allow placing the excavated dirt on the uphill side of the street cut.</div><div>9. ESC Plans must show longitudinal street slope and street names. On streets where the longitudinal slope is steeper than 2.5%, wattles/mulch socks or j-hook silt fence shall be shown in the front yard swale or on the side of the street.</div></div>
OWNER POINT OF CONTACT:	Jim Long - Owner Representative	
NOI PREPARED BY:	Inspections Plus	
PROJECT/SITE NAME:	Sawmill Building A	
PROJECT/SITE ADDRESS:	1904 Bellamah Avenue NW, Albuquerque NM 87120	
LATITUDE	35.100587	
LONGITUDE	-106.666945	
ESTIMATED PROJECT START DATE	12/01/2024	
ESTIMATED PROJECT COMPLETION DATE	03/31/2027	
PROPERTY SIZE	3.90 acres	
TOTAL AREA OF DISTURBANCE	3.90 acres	
MAXIMUM AREA DISTURBED AT ONE TIME	3.90 acres	
TYPE OF CONSTRUCTION	Commercial	
DEMOLITION OF ANY STRUCTURES 10,000 SQ FT OR GREATER BUILT OR RENOVATED BEFORE JANUARY 1, 1980?	N/A	
WAS THE PREDEVELOPMENT LAND USED FOR AGRICULTURE?	N/A	
COMMENCED EARTH DISTURBING ACTIVITIES?	No	
DISCHARGE TO MS4? MS4 NAME	Yes – COA	
SURFACE WATERS WITHIN 50 FT?	No	
RECEIVING WATER	Albuquerque Riverside Drain	
REC. WATER IMPAIRED? TIER	No	
WHAT IMPAIREMENTS?	N/A	
SWPPP CONTACT INFORMATION	Jim Long 505-242-2000 jlong@hhands.com	
ENDANGERED SPECIES CRITERIA	Criterion “A”, No Critical Habitats	
HISTORICAL LOCATION CRITERIA	Preexisting Development	

<div><div>James Tolman No. 10631</div><div> CPESC STAMP</div></div>	Sawmill Building A	
	Albuquerque, Bernalillo County, NM	
	02/03/2025	 INSPECTIONS PLUS
	Bruce Henriksen James Tolman	

TEMPORARY EROSION AND SEDIMENT CONTROL PLAN

Nature of Construction Activities

OPERATOR:

TBD

OWNER:

Sawmill Bellamah Properties LLC
1904 Bellamah Ave. NW
Albuquerque, NM 87104
505-242-2000

Jim Long
Owner Representative
505-242-2000
jlong@hhands.com

Dates:
12/01/2024 - 03/31/2027

Demolition
Removal of some paved parking areas, curbs, sidewalks, building and replacing according to the civil drawings for the new commercial building and property. These activities to be done by (TBD). Building being demolished was built before 1980.
Operator to Provide waste containers (e.g., dumpster, trash receptacle) of sufficient size and number to contain construction and domestic wastes per CGP 2.3.3.e, including demolition debris per footnote #53.
a. For waste containers with lids, keep waste container lids closed when not in use, and close lids at the end of the business day and during storm events.
b. For waste containers without lids, provide either Cover (e.g., a tarp, plastic sheeting, temporary roof) to minimize exposure of wastes to precipitation or a similarly effective means designed to minimize the discharge of pollutants (e.g., secondary containment).

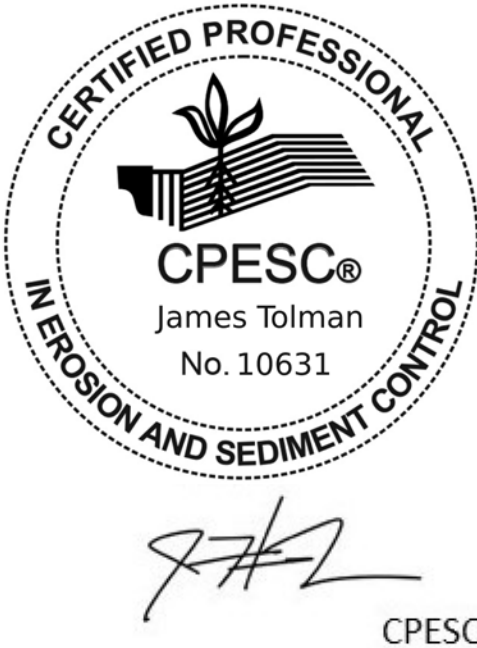

Minimize Potential Discharge of PCBs from Demolition Activities
Phase of Construction/Timing of Installation: Prior to demolition activities.
Describe: Select appropriate practices for the project to isolate demolished materials that may contain PCBs and prevent them from being discharged from the site. Wear appropriate protective gear, use tools that minimize dust and heat, and if necessary construct a containment area to make sure that dust and debris remain in the designated area. Dispose of PCB containing materials in compliance with the law.
How to Maintain: Make sure PCB containing material (paint, caulk, fluorescent light fixtures, etc.) is isolated from other construction materials and disposed of properly.

No temporary cessation of construction activities anticipated during this phase.

Commercial Building
Grading, excavation, installation of utilities, curbs & gutters, sidewalks, and asphalt paving, vertical construction of a commercial building, and landscaping for final stabilization to be done by [TBD].

No temporary cessation of construction activities anticipated during this phase.

Permanent Cessation of Construction Activities for this Phase: 03/2027

	Sawmill Building A	
	Albuquerque, Bernalillo County, NM	
	02/03/2025	
	Bruce Henriksen James Tolman	

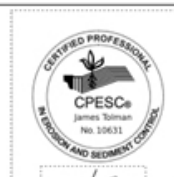
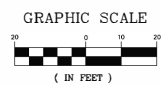


KEYED NOTES

- 1 REMOVE AND DISPOSE EXISTING BUILDING AND APPURTENANCES
- 2 REMOVE AND DISPOSE EXISTING CONCRETE
- 3 REMOVE AND DISPOSE EXISTING CURB
- 4 REMOVE AND DISPOSE EXISTING PARKING LOT LIGHTS (TYP)
- 5 REMOVE AND DISPOSE EXISTING PEDESTAL
- 6 REMOVE EXISTING TRANSFORMER AND RETURN TO PHM
- 7 REMOVE AND DISPOSE EXISTING BOLLARD (TYP)
- 8 REMOVE AND DISPOSE EXISTING LANDSCAPING AND TREES
- 9 REMOVE AND DISPOSE EXISTING STORM INLET
- 10 REMOVE AND DISPOSE EXISTING STORM SEWER
- 11 REMOVE AND DISPOSE EXISTING GAS METER AND LINE PLUG AT GAS MAIN
- 12 REMOVE AND DISPOSE EXISTING ASPHALT PAVING
- 13 REMOVE AND DISPOSE EXISTING CONCRETE STEPS
- 14 REMOVE AND DISPOSE EXISTING RAILS
- 15 REMOVE AND DISPOSE EXISTING VALLEY GUTTER
- 16 REMOVE AND DISPOSE EXISTING SIGN (TYP)
- 17 EXISTING ENTRANCE TO REMAIN

GENERAL DEMOLITION AND REMOVAL NOTES:

1. ITEMS OF SITE DEMOLITION SHALL BE GOVERNED BY THE BERNALILLO COUNTY PUBLIC WORKS REGULATORY REQUIREMENTS
- a. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS REQUIRED FOR DEMOLITION, PAYING ALL SPECIFIED FEES.
- b. CONFORM TO ALL APPLICABLE CODES AND REGULATIONS FOR DEMOLITION, SAFETY OF ADJACENT STRUCTURES, DUST CONTROL, RUNOFF CONTROL AND DISPOSAL OF DEBRIS.
- c. NOTIFY AFFECTED UTILITY COMPANIES BEFORE STARTING WORK AND COMPLY WITH THEIR REQUIREMENTS.
- d. DO NOT CLOSE OR OBSTRUCT ROADWAYS AND FIRE HYDRANTS WITHOUT PERMITS.
- e. CONFORM TO APPLICABLE REGULATORY PROCEDURES WHEN DISCOVERING HAZARDOUS MATERIALS OR CONTAMINATED MATERIALS.
3. DEMOLITION REQUIREMENTS
- a. CONDUCT DEMOLITION TO MINIMIZE INTERFERENCE WITH ADJACENT ITEMS.
- b. CEASE OPERATIONS IMMEDIATELY IF ADJACENT STRUCTURES APPEAR TO BE IN DANGER. DO NOT RESUME OPERATIONS UNTIL DIRECTED.
4. DEMOLITION
- a. IT IS THE INTENT OF THIS PLAN THAT ALL EXISTING BUILDINGS, PAVEMENTS, SIDEWALK, TREES AND OTHER ABOVE GROUND FEATURES WITHIN THE PROJECT LIMITS SHALL BE DEMOLISHED AND REMOVED FROM THE SITE UNLESS OTHERWISE INDICATED.
- b. SEE THE SITE UTILITY PLAN FOR CONNECTIONS AND NEW LOCATIONS OF THE EXISTING UTILITIES ON THE SITE. COORDINATE ALL RELOCATIONS AND INTERRUPTION OF SERVICE WITH APPROPRIATE UTILITY COMPANY. ALLOW ADEQUATE TIME FOR SCHEDULING.
- c. ALL FOUNDATIONS SHALL BE REMOVED TO 18" BELOW PROPOSED GRADE. ANY FOUNDATIONS NOT COMPLETELY REMOVED SHALL HAVE ANY PIPES PLUGGED WITH NON-SHRINK GROUT AND THE FLOOR RUBBLIZED.



[Signature]

CPESC Stamp

Sawmill Building A

PROJECT TITLE

ALBUQUERQUE, NM, BERNALILLO COUNTY

CITY, COUNTY, STATE

02/03/2025

DATE

B. Henriksen / J. Tolman

DRAWN BY



ALBUQUERQUE SAWMILL LOT A

1904 BELLAMAH AVE NW
ALBUQUERQUE NM 87104



12-9-24

DATE: 12/19/2024
JOB NO: 25-060
PERMIT NO: BP-2024-07517

REVISIONS:

ISSUE:
100% DD 23.05.07
BLOG PERMIT 24.02.20
CD SET 24.12.19

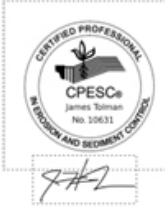

**DEMOLITION
PLAN**

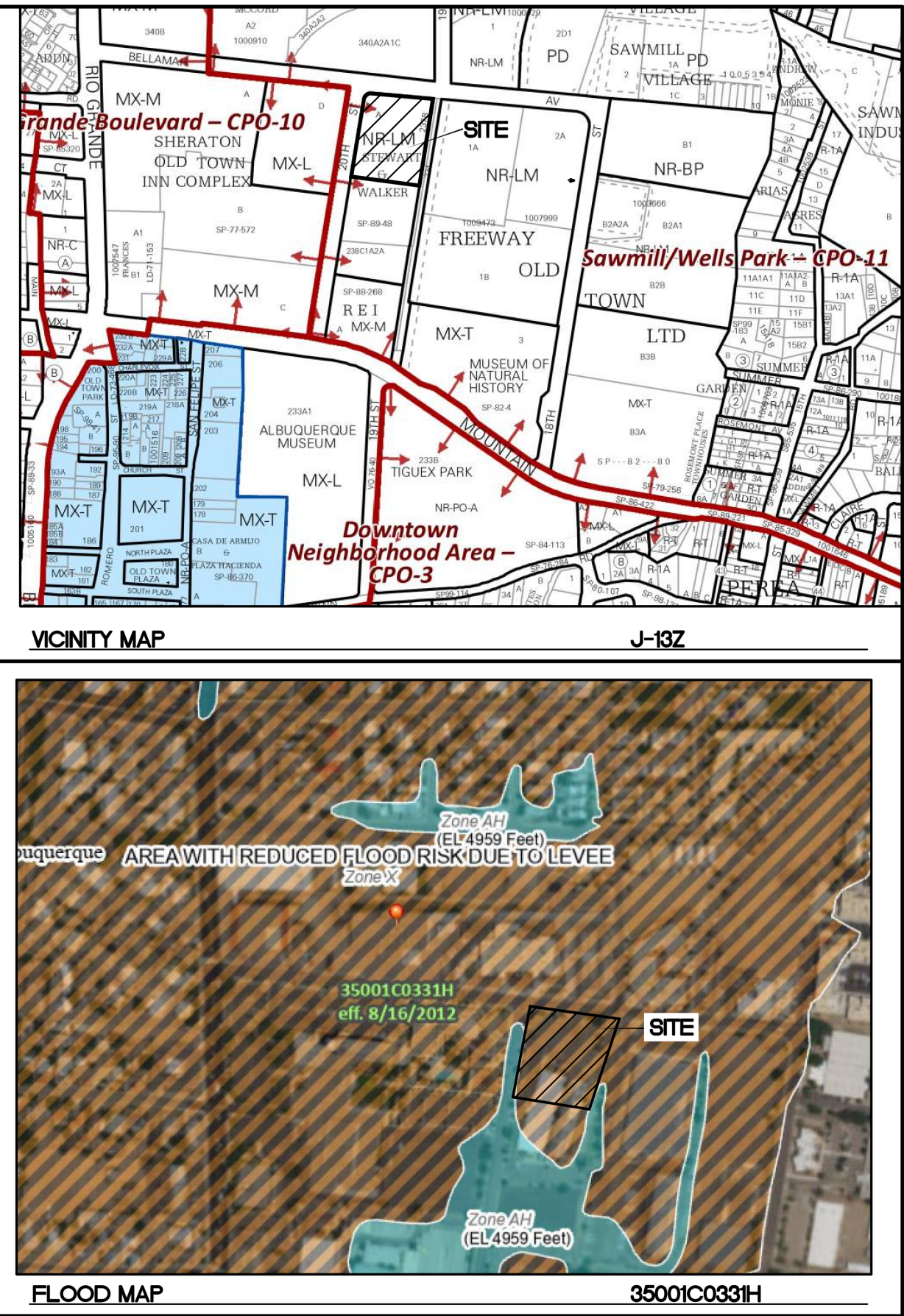
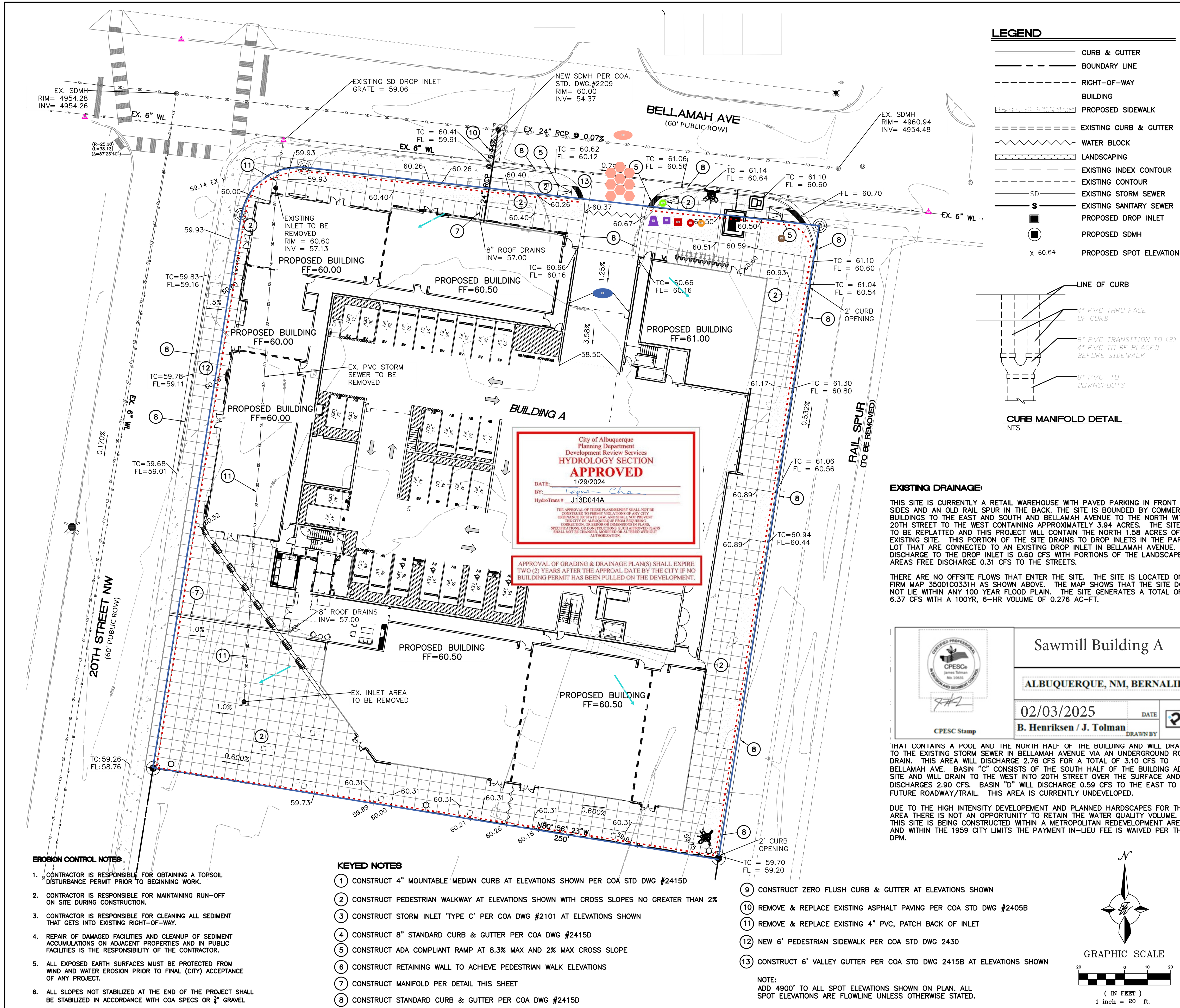
SHEET NO:

C0



-  Property Boundary / Limit of Disturbance (1)
-  Silt Fence (1)
-  Pre & Post Construction Water Flow (4)
-  Debris Stockpiles (1)
-  Water Truck (1)
-  Street Sweeping (1)
-  Portable Toilet (1)
-  Dumpster (1)
-  SWPPP Sign (1)
-  Stabilized Construction Exit (1)

 CPESC Stamp	Sawmill Building A <small>PROJECT TITLE</small>	
	ALBUQUERQUE, NM, BERNALILLO COUNTY <small>CITY, COUNTY, STATE</small>	
	02/03/2025 <small>DATE</small>	 INSPECTIONS PLUS
	B. Henriksen / J. Tolman <small>DRAWN BY</small>	






NOTICE TO CONTRACTORS


- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.


CAUTION


ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS. PRIOR TO STARTING THE WORK, ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.


ENGINEER'S SEAL	1904 BELLAMAH AVE NW ALBUQUERQUE, NM	DRAWN BY SB
		DATE 05-11-23
		DRAWING
		SHEET # GR-1
 01-15-2024	 <i>TIERRA WEST, LLC</i> 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	JOB # 2022046
RONALD R. BOHANNAN P.E. #7868		





- 


Property Boundary / Limit of Disturbance (1)
- 


Silt Fence (1)
- 


Pre & Post Construction Water Flow (4)
- 


Materials Storage (1)
- 


Stockpiles (1)
- 


Water Truck (1)
- 


Street Sweeping (1)
- 


Insert Inlet Protection (4)
- 

Portable Toilet with Secondary Containment (1)
- 



Dumpster (1)
- 

Spill Kit (1)
- 

SWPPP Sign (1)
- 

Portable Concrete Washout (1)
- 

Stabilized Construction Exit (1)

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	ALBUQUERQUE, NM, BERNALILLO COUNTY		
	CITY, COUNTY, STATE		
	02/03/2025	DATE	 INSPECTIONS PLUS
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A1-1 DUST CONTROL

- A1
- A2
- A3



Image credit: Sites Southwest

DESCRIPTION

Dust control measures reduce a construction site's potential for producing airborne fugitive dust that can lead to air and water pollution. Sediments that are transported from construction sites by wind and construction vehicles that have left the site, are often re-dispersed to the air by subsequent vehicular traffic and winds. Likewise, these sediments may be transported by the next rainfall to streams and into public storm sewer systems. Implementation of control measures to minimize the generation of fugitive dust from disturbed landscapes and construction sites will also limit the quantity of sediments in stormwater.

PRIMARY USE

Dust control is used to limit and control nuisance fugitive dust from disturbed landscapes and construction sites. Project types and conditions that benefit from execution of a dust control strategy include, but are not limited to, the following:

- » Grading operations (land clearing and earthmoving).
- » Drilling and blasting.
- » Batch drop operations (loader operation).
- » Exposed, cleared, and unstabilized areas.
- » Vehicle traffic on unpaved surfaces.
- » Sediment tracking on paved surfaces.
- » Blasting and wrecking ball operations.
- » Soil and debris storage piles.

SEE ALSO

- A1-4 Grassland Seedbank Protection
- A1-5 Stockpile Management
- A2-1 Seeding
- A2-2 Mulching

NMDOT TЕСP
(TEMPORARY EROSION AND
SEDIMENT CONTROL PLAN)
SYMBOL

DU

A1-1 DUST CONTROL CONTINUED

APPLICATION

Dust control measures vary widely and should be selected alone or in combination for the specific project type, conditions, and resource availability. Dust control measures include, but are not limited to, the following:

- » Provide covers for trucks transporting materials that contribute dust.
- » Pave, apply gravel, vegetate or chemically stabilize large disturbed areas.
- » Immediately water disturbed areas.
- » Regularly water and dampen unstabilized areas.

Additionally, if the contractor is responsible for complying with the requirements of the air pollution control permit, the following is typically required:

- » Provide dust control plans for construction or land-clearing projects.
- » Conduct enforcement activities with priority given to citizen complaints.
- » Conduct documentation of maintenance.

LIMITATIONS

Some dust control measures may be of limited use due to lack of resources at the site, construction sequencing, and the need to repeatedly re-implement measures during the course of construction. Limitations may include:

- » Access to water.
- » Availability of equipment.
- » Drought.
- » Frequent disturbance during construction.

MAINTENANCE REQUIREMENTS

- » Inspect stabilized soils for disturbance on a regular basis.
- » Wet soil and soils treated with stabilization agents.
- » Regrade and reapply soil stabilizing agents.

A1-13 STABILIZED CONSTRUCTION ENTRANCE/EXIT

- A1
- A2
- A3



Image credit: Sites Southwest

DESCRIPTION

A stabilized construction entrance/exit consists of a pad of crushed stone, recycled concrete, or other rock-like material on top of a geotextile filter, which is used to facilitate the wash-down and removal of sediment and other debris from construction equipment prior to exiting the site.

PRIMARY USE

Stabilized construction entrances/exits are used to reduce offsite sediment tracking from trucks and construction equipment, and for sites where considerable truck traffic occurs each day. They also reduce the need to clean adjacent pavement as often, and help route site traffic through a single point. Stabilized construction entrances and exits are recommended for all construction sites, and may be required for Construction General Permit compliance.

APPLICATION

Strategies for successful and effective stabilized construction entrances/exits include but are not limited to:

- » Location selection able to accommodate construction traffic.
- » Appropriate selection of locally available material.

LIMITATIONS

- » Selection of the construction entrance/exit location is critical. To be effective, it must be used exclusively.
- » Stabilized access points can be expensive and must be installed in combination with one or more other sediment control techniques. It may be more cost effective, however, than labor-intensive street cleaning.

NMDOT STANDARD
DRAWING

603-01-7/7 Offsite Tracking
Prevention

NMDOT TЕСP
(TEMPORARY EROSION AND
SEDIMENT CONTROL PLAN)
SYMBOL

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A1-13 STABILIZED CONSTRUCTION ENTRANCE/EXIT CONTINUED

LIMITATIONS CONTINUED

- » Site constraints may limit the recommended 50 feet entrance/exit drive length.

MAINTENANCE REQUIREMENTS

- » Inspect the stabilized construction entrance after major storm events to ascertain sediment and pollution are being effectively captured on site. When sediment or debris has substantially clogged the void area between the rocks, the aggregate mat must be washed down or replaced.
- » Re-grade and top dress stone periodically to retain the effectiveness of the entrance/exit.

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	ALBUQUERQUE, NM, BERNALILLO COUNTY		
	CITY, COUNTY, STATE		
	02/03/2025	DATE	
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A2-8 MULCH SOCKS

- A1
- A2
- A3



Image credit: NMDOT

DESCRIPTION

Mulch socks are erosion and sediment control materials made typically of high density polyethylene (HDPE) or biodegradable plastic filament mesh tubes filled with compost or other organic media.

PRIMARY USE

Mulch socks are primarily used to filter and slow stormwater. Uses include:

- » Filter sediment and silts from sheet stormwater flowing from disturbed sites.
- » Protect inlets from sediment.
- » Create temporary ponding areas behind socks to facilitate the deposition of suspended solids.
- » Slow stormwater runoff and reduce peak flows.
- » Filter heavy metals, pollutants and oil from stormwater when socks are filled with adsorbent media.
- » Provide temporary protection at drop inlets or culverts.
- » Create check dams or sediment traps at concrete washout areas.
- » Provide perimeter control, runoff diversion, and slope interruption.
- » Reinforce stream banks and aid in the protection and establishment of stabilizing watercourse vegetation.

APPLICATION

Strategies for successful use of mulch socks include:

- » Lay the sock upon the surface and stake the tube every 10 feet.
- » Lay the tube along contours, vegetated channels, and outside of the toes of slopes.

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SYMBOL

MS
CMS

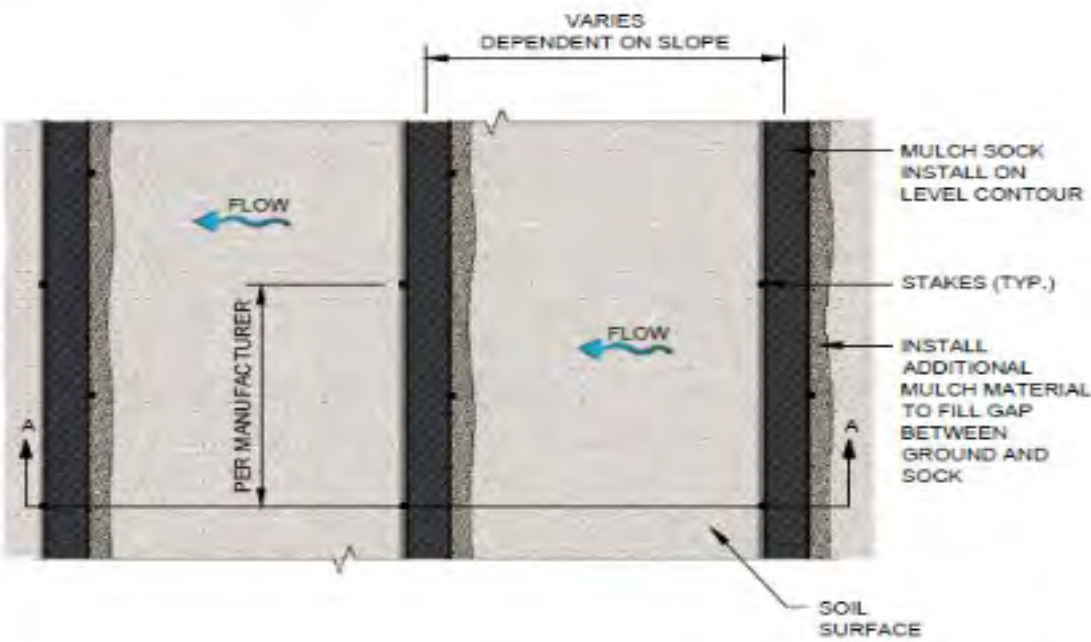
A2-8 MULCH SOCKS CONTINUED

LIMITATIONS

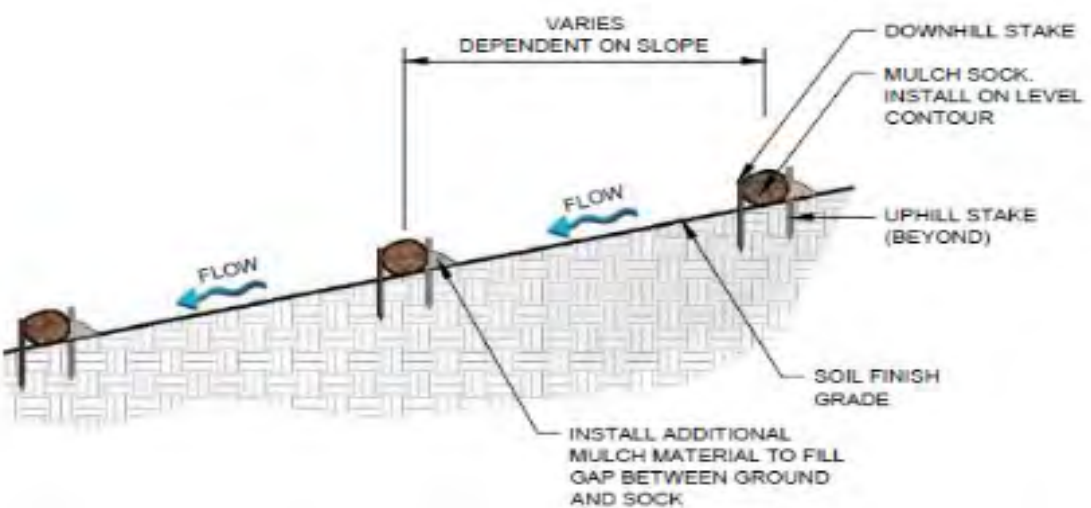
- » Mulch socks do not provide long-term solutions for stormwater storage.
- » Mulch socks have limited usefulness in concentrated flow conditions.
- » On NMDOT projects composted mulch socks (CMS) are used exclusively; wood chip mulch socks are not allowed.

MAINTENANCE REQUIREMENTS

- » Inspect mulch socks periodically, especially after major storm events.
- » Remove sediments from behind socks after accumulation is 1/3 sock height.
- » Restake and overlap socks that are displaced due to storm events or construction disturbance.

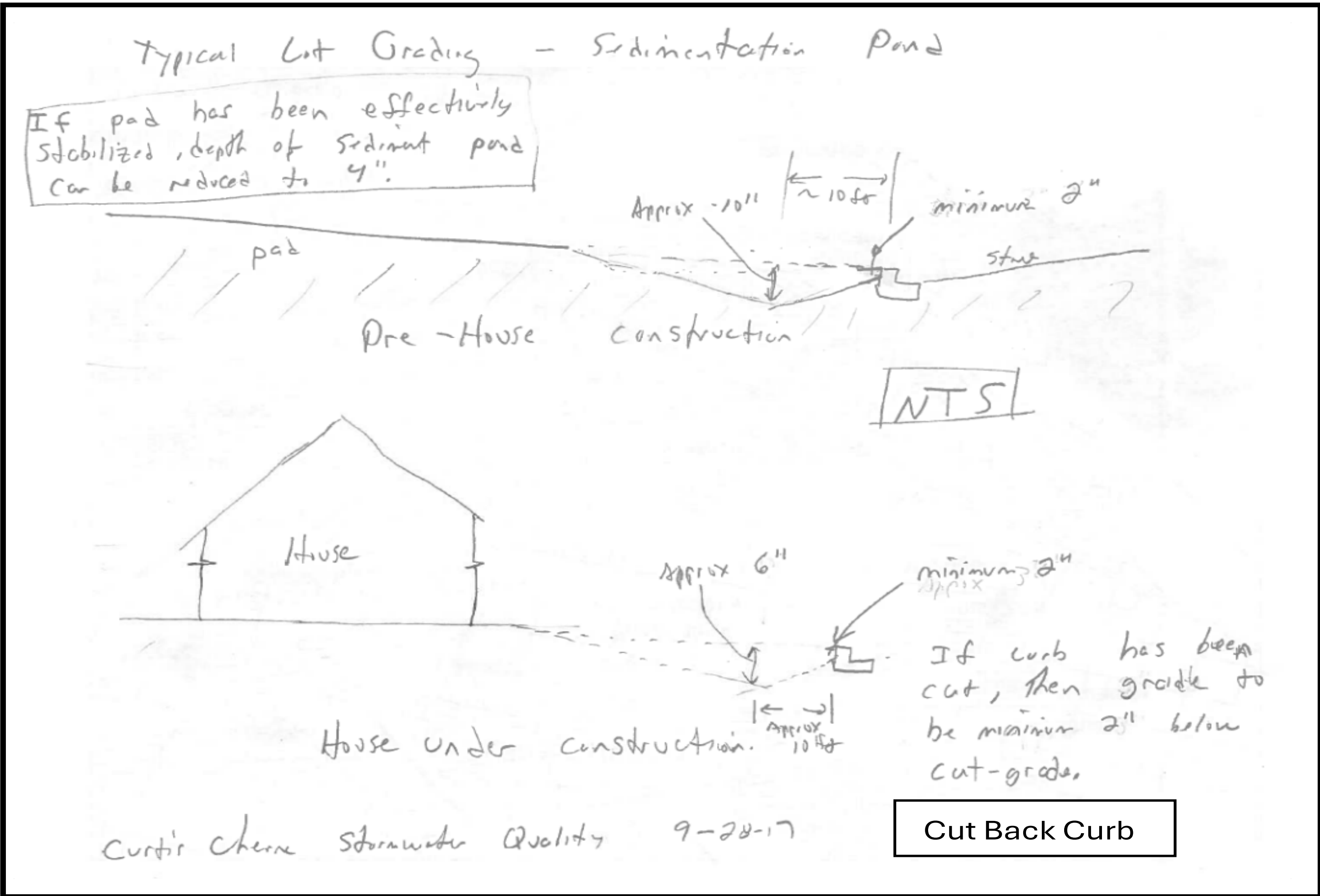


Mulch sock - PLAN VIEW.



Mulch sock - SECTION A-A.

Use for alternative to Cut Back Curbs in certain areas; and curb and grate inlet protection.



Revision 03 December 2020

NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM MANUAL
Appendix A1 – Construction Planning, Management and Clean Up

A1-10 CONCRETE WASTE MANAGEMENT

A1

A2

A3

DESCRIPTION

Concrete waste management reduces or prevents the discharge of pollutants to stormwater by implementing management measures.

PRIMARY USE

Concrete waste products can negatively affect the pH of water, harm aquatic life, and contribute to total suspended solids in stormwater. Concrete waste management strategies keep the discharge of concrete waste materials from affecting local stormwater and drainage systems during concrete construction operations.

Concrete construction operations that have the potential for contaminating receiving waters include, but are not limited to:

- » Pouring and finishing concrete slabs on grade and concrete paving.
- » Pouring vertical cast in place concrete (header curbs, concrete curbs and gutters, retaining walls, concrete footings).
- » Drilling, cutting, polishing, and curing concrete.
- » Washing concrete dust, and exposed aggregate concrete.
- » Spilling concrete.
- » Dampening freshly made concrete.
- » Creating and applying concrete slurry coat.
- » Building masonry structures.
- » Finishing surfaces with stucco.
- » Washing equipment.

SEE ALSO

A1-9 Spill Prevention Plan

A1-11 Solid Waste Management

A1-12 Hazardous Waste Management

NMDOT TESCP
(TEMPORARY EROSION AND
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SYMBOL

CWM

Image credit: SoCal Sandbags

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CPESC Stamp		

Stabilized Drive Approach

Description

A stabilized layer of aggregate or road base laid in preparation for a driveway or drive approach on a residential lot. Stabilized drive approaches are used as the only vehicular access to a lot so that vehicles do not compact or track out disturbed soils.

Application

The purpose of the stabilized drive approach is to reduce tracking of sediment onto streets or public rights-of-way and provide a stable area for entrance or exit from the individual lot.

Conditions Where the Practice Applies

1. Stabilized drive approaches shall be located where a future driveway or drive approach will be paved with concrete.
2. Stabilized drive approaches should only apply to individual homes/building lots.
3. Stabilized drive approaches should not be used on existing pavement.

Design/Installation

1. Length - Minimum of 10'-0" (30'-0" preferred for single residence lot/commercial pad or as space will allow).
2. Width - Minimum of 10'-0", should be flared at the existing road to provide a turning radius.
3. Road base or similar aggregate should be used as normal in preparation for a driveway
4. Location - The stabilized drive approach will be the only access point for vehicular traffic to the site. Vehicle traffic will not be allowed on areas of the site other than the stabilized drive approach.

Revision 03 December 2020

NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM MANUAL
Appendix A1 – Construction Planning, Management and Clean Up

A1-10 CONCRETE WASTE MANAGEMENT CONTINUED

APPLICATION

Concrete waste management strategies include:

- » Avoid mixing excess amounts of fresh concrete or cement onsite.
- » Perform washout of concrete trucks offsite or in designated areas on site at least 50 feet from storm drains, open ditches or bodies of water.
- » Block drop inlets and direct concrete wastewater into temporary pits where the concrete can set, be broken up, and then disposed of properly.
- » Collect and return sweepings to aggregate base stockpile or dispose of properly.
- » Train employees and subcontractors in proper concrete waste management.

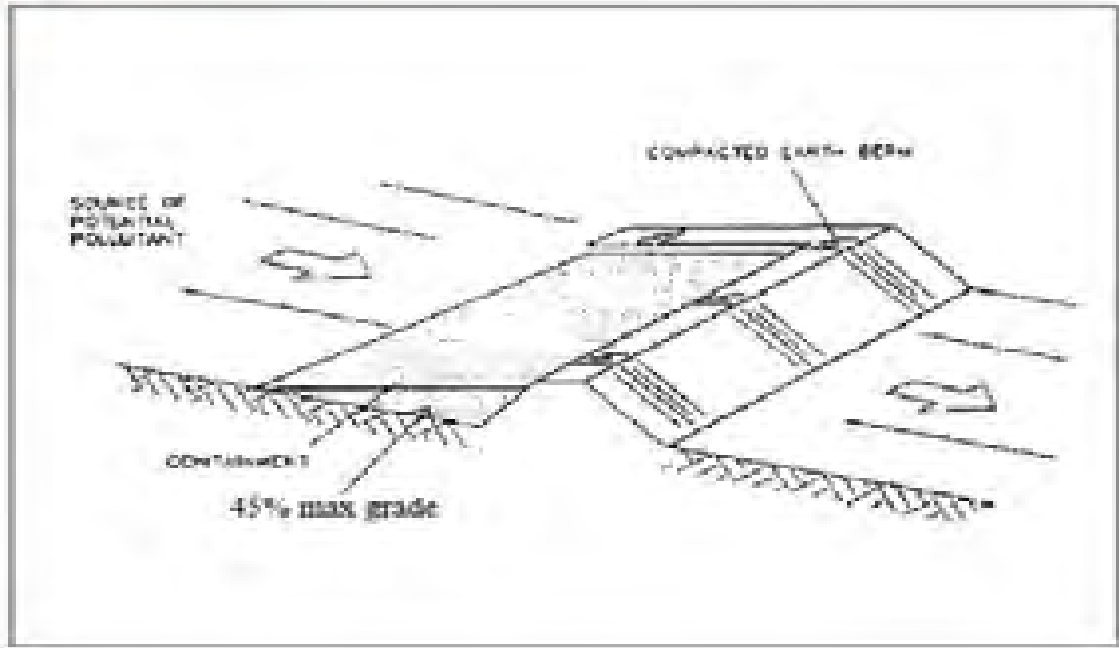
LIMITATIONS

- » Offsite washout of concrete wastes may not always be possible.

MAINTENANCE REQUIREMENTS

- » Ensure subcontractors properly manage concrete wastes.
- » Dispose of hardened concrete on a regular basis.
- » Regularly inspect drop inlet protection measures.

BMP: Earth Berm Barrier



DESCRIPTION:
A temporary containment control constructed of compacted soil.

- APPLICATION:**
- Construct around waste and materials storage area.
 - Construct around staging and maintenance areas.
 - Construct around vehicle parking and servicing areas.

- INSTALLATION/APPLICATION CRITERIA:**
- Construct an earthen berm down hill of the area to be controlled. The berm should surround fueling facilities and maintenance areas on three sides to provide containment.
 - Berm needs to be a minimum of 1 foot tall by 1 foot wide and be compacted by earth moving equipment.

- LIMITATIONS:**
- Not effective on steep slopes.
 - Limits access to controlled area.
 - Personnel need to quickly respond to spills with remedial actions.

- MAINTENANCE:**
- Observe daily for any non-stormwater discharge.
 - Look for runoff bypassing ends of berms or undercutting berms.
 - Repair or replace damaged areas of the berm and remove accumulated sediment.
 - Recompact soil around berm as necessary to prevent piping.

BMP: Outlet Protection

OP
Construction



DESCRIPTION:
A rock outlet protection is a physical device composed of rock, grouted riprap, or concrete rubble which is placed at the outlet of a pipe to prevent scour of the soil caused by high pipe flow velocities, and to absorb flow energy to produce non-erosive velocities.

- APPLICATIONS:**
- Wherever discharge velocities and energies at the outlets of culverts, conduits, or channels are sufficient to erode the next downstream reach.
 - Rock outlet protection is best suited for temporary use during construction because it is usually less expensive and easier to install than concrete aprons or energy dissipators.
 - A sediment trap below the pipe outlet is recommended if runoff is sediment laden.
 - Permanent rock riprap protection should be designed and sized by the engineer as part of the culvert, conduit or channel design.
 - Grouted riprap should be avoided in areas of freeze and thaw because the grout will break up.

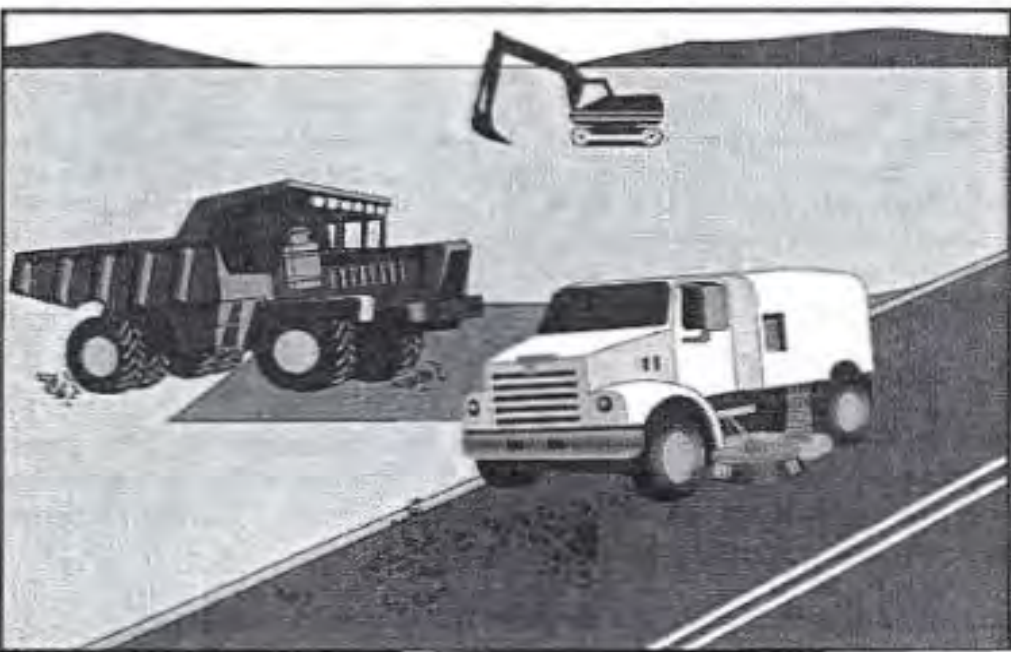
INSTALLATION/APPLICATION CRITERIA:
Rock outlet protection is effective when the rock is sized and placed properly. When this is accomplished, rock outlets do much to limit erosion at pipe outlets. Rock size should be increased for high velocity flows. Best results are obtained when sound, durable, angular rock is used.

- LIMITATIONS:**
- Large storms often wash away the rock outlet protection and leave the area susceptible to erosion.
 - Sediment captured by the rock outlet protection may be difficult to remove without removing the rock.
 - Outlet protection may negatively impact the channel habitat.

- MAINTENANCE:**
- Inspect after each significant rain for erosion and/or disruption of the rock, and repair immediately.
 - Grouted or wire-tied rock riprap can minimize maintenance requirements.

Street Sweeping and Vacuuming

SE-7



Objectives

- EC Erosion Control
- SE Sediment Control
- TR Tracking Control
- WE Wind Erosion Control
- NS Non-Stormwater Management Control
- WM Waste Managementland Material Pollution Control

Targeted Constituents

- Sediment
- Nutrients
- Trash
- Metals
- Bacteria
- Oil and Grease
- Organics

Potential Alternatives

None

Description and Purpose

Street sweeping and vacuuming includes use of self-propelled and walk-behind equipment to remove sediment from streets and roadways, and to clean paved surfaces in preparation for final paving. Sweeping and vacuuming prevents sediment from the project site from entering storm drains or receiving waters.

Suitable Applications

Sweeping and vacuuming are suitable anywhere sediment is tracked from the project site onto public or private paved streets and roads, typically at points of egress. Sweeping and vacuuming are also applicable during preparation of paved surfaces for final paving.

Limitations

Sweeping and vacuuming may not be effective when sediment is wet or when tracked soil is caked (caked soil may need to be scraped loose).

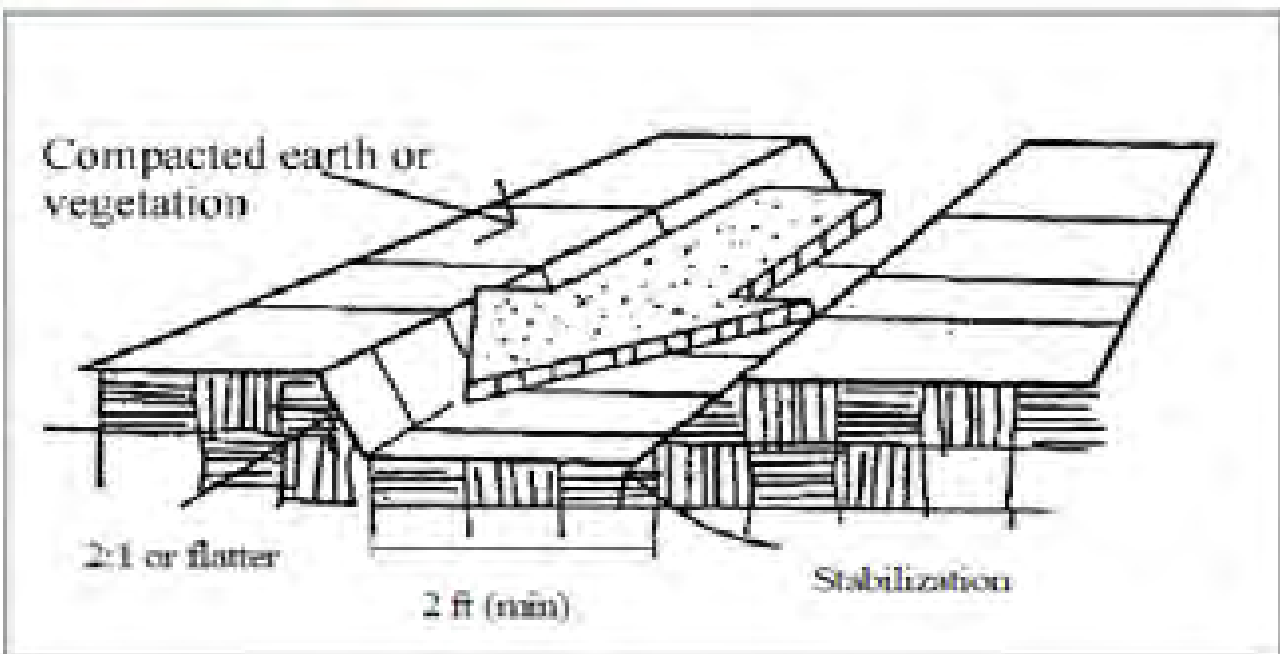
Implementation

- Controlling the number of points where vehicles can leave the site will allow sweeping and vacuuming effort to be focused, and perhaps save money.
- Inspect potential sediment tracking locations daily.
- Visible sediment tracking should be swept or vacuumed on a daily basis.

January 2003

1 of 2

BMP: Temporary Drains And Swales





DESCRIPTION:
Temporary drains and swales are used to divert off-site runoff around the construction site, divert runoff from stabilized areas around disturbed areas, and direct runoff into sediment.

- APPLICATIONS:**
- Temporary drains and swales are appropriate for diverting any upslope runoff around unstabilized or disturbed areas of the construction site.
 - Prevent slope failures. Prevent damage to adjacent property. Prevents erosion and transport of sediments into water ways. Increases the potential for infiltration. Diverts sediment-laden runoff into sediment basins or traps.

- INSTALLATION/APPLICATION:**
- Temporary drainage swales will effectively convey runoff and avoid erosion if built properly.
 - Size temporary drainage swales using local drainage design criteria. A permanent drainage channel must be designed by a professional engineer (see the local drainage design criteria for proper design).
 - At a minimum, the drain/swale should conform to predevelopment drainage patterns and capacities.
 - Construct the drain/swale with an uninterrupted, positive grade to a stabilized outlet. Provide erosion protection or energy dissipation measures if the flow out of the drain or swale can reach an erosive velocity.

- LIMITATIONS:**
- Temporary drains and swales or any other diversion of runoff should not adversely impact upstream or downstream properties.
 - Temporary drains and swales must conform to local floodplain management requirements.

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	ALBUQUERQUE, NM, BERNALILLO COUNTY		
	CITY, COUNTY, STATE		
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PCB Containment Procedures

To contain PCB materials on a construction site, follow these steps:



1. Identify and sample suspect PCB-containing materials before beginning work¹³. This includes caulk, paint, sealants, and potentially contaminated substrates.
2. Establish proper handling and disposal procedures based on the sampling results². Materials with PCB concentrations ≥ 50 ppm must be removed and disposed of as PCB bulk product waste⁴.
3. Create a work plan that outlines the means and methods for removing PCB-containing materials and cleaning contaminated surfaces². This plan should include:
 - Procedures for removing PCB-containing materials
 - Methods for cleaning non-porous surfaces
 - Protocols for removing contaminated porous materials
 - Steps to minimize PCB releases to the environment
4. Implement best management practices (BMPs) to protect workers and the environment:
 - Use proper personal protective equipment (PPE), including gloves and respiratory protection
 - Ensure adequate ventilation in work areas⁸
 - Avoid skin contact with PCB materials and inhalation of vapors, smoke, or dust⁸
5. Contain and manage PCB-contaminated materials:

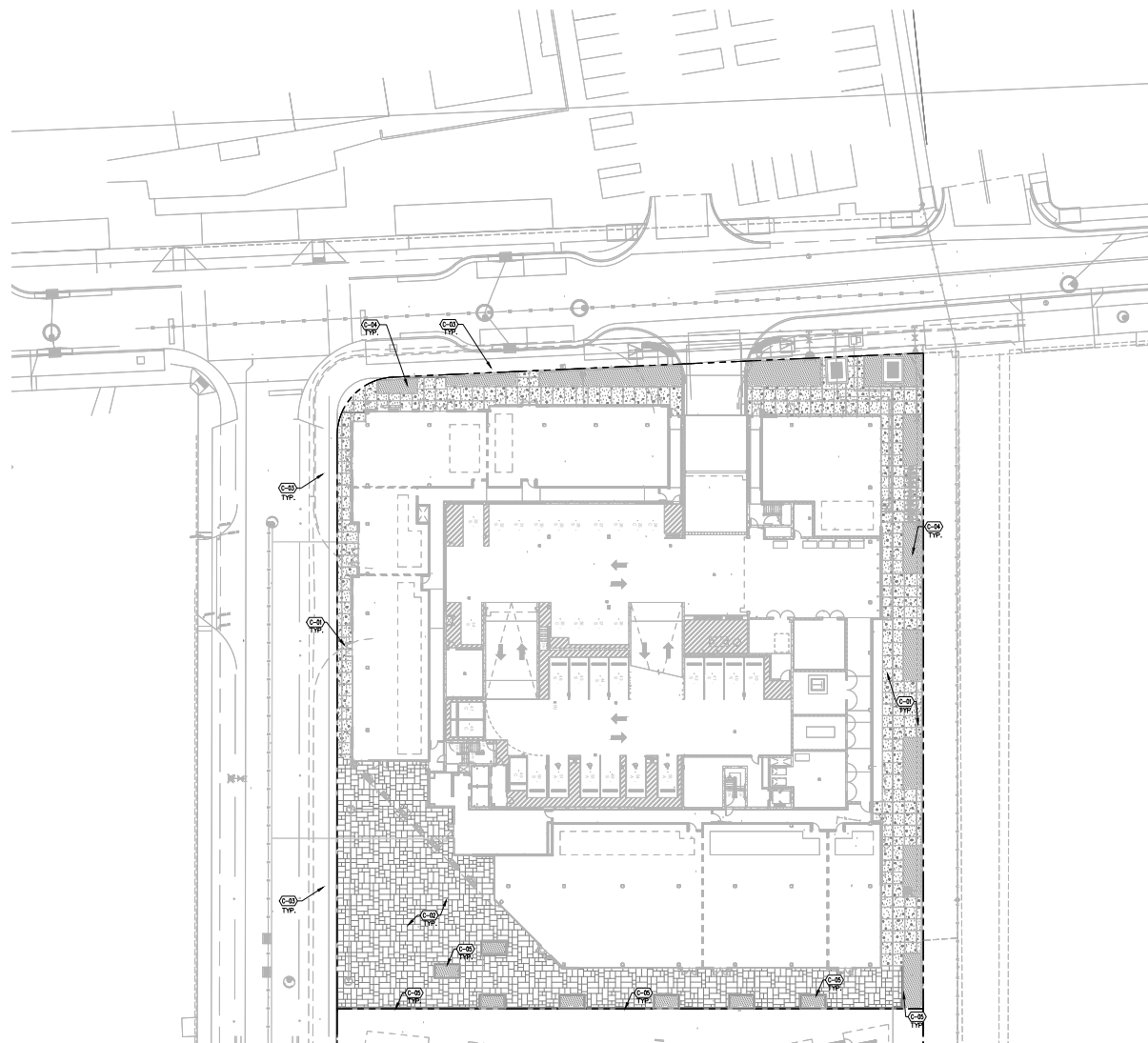
For materials that cannot be immediately removed, consider encapsulation as a temporary measure³

Use appropriate containment methods, such as sealed containers or wrapping, to prevent PCB release

Label all PCB-containing materials and waste properly

6. Protect stormwater and prevent environmental contamination:
 - Implement erosion and sediment control measures
 - Cover PCB-containing materials and waste to prevent contact with rainwater
 - Properly dispose of all PCB-contaminated water and cleaning solutions
7. Follow proper waste management procedures:
 - Segregate PCB waste from other construction debris
 - Store PCB waste in appropriate containers or areas
 - Dispose of PCB waste according to federal and state regulations
8. Conduct air sampling to evaluate potential health risks to workers and nearby occupants. If elevated levels are detected, implement additional controls or adjust work practices.
9. Regularly inspect containment measures and work practices to ensure compliance with the established procedures.
10. Document all PCB-related activities, including sampling results, removal methods, and disposal records, to demonstrate compliance with regulations.

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	PROJECT TITLE		
	ALBUQUERQUE, NM, BERNALILLO COUNTY		
	CITY, COUNTY, STATE		
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GENERAL CONSTRUCTION NOTES

CODE	DESCRIPTION
GC-01	CONTRACTOR SHALL CONSTRUCT ONE (1) 6"X6" MOCK UP OF EACH UNIQUE PAVING TYPE AND FINISH IDENTIFIED ON THIS SHEET, FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION OF THESE ITEMS WITHIN THE SITE. CONCRETE MOCK-UPS SHALL INCLUDE ONE (1) EXPANSION AND ONE (1) CONTROL JOINT.

CONSTRUCTION KEYED NOTES

SYMBOL	CODE	DESCRIPTION	DETAIL
	C-01	CONCRETE PAVING WITH INTEGRAL COLOR AND SALT FINISH. COLOR: PALMWOOD, AS AVAILABLE FROM DAVIS COLORS. THIS PLAN REFERENCES CONCRETE COLOR AND FINISH ONLY, REFER TO CIVIL SITE PLAN FOR ADDITIONAL REQUIREMENTS OF CONCRETE PAVING CONSTRUCTION.	
	C-02	FURNISH AND INSTALL SPECIALTY PAVERS AT WALKWAY. PAVERS SHALL BE "TUBBIN CORBBLE" 60 MM PAVERS, BY BELGARD, AS AVAILABLE FROM BUILDLOGY (505-344-8626). SIZES: 3" X 6", 6" X 6", AND 6" X 9". PATTERN: RANDOM. COLOR: VICTORIA.	A3/PS01
	C-03	EXISTING SIDEWALK PAVING TO REMAIN. SEE SITE PLAN.	
	C-04	LANDSCAPE AREA, SEE PLANTING PLAN.	
	C-05	CONSTRUCT 6" WIDE PAVR BAND ON CONCRETE BOND BEAM.	A1/LP501

(A1) LANDSCAPE SITE PLAN
SCALE: 1"=20'-0"



7/12
CPESC Stamp

Saw Building A

PROJECT TITLE

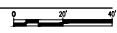
ALBUQUERQUE, NM, BERNALILLO COUNTY
CITY, COUNTY, STATE

02/03/2025

DATE

B. Henriksen / J. Tolman

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ALBUQUERQUE SAWMILL LOT A
1004 BELLAMAH AVE NW
ALBUQUERQUE NM 87104

OT FOR
CONSTRUCTION

DATE: 12/13/2024
JOB NO. 22-060
PERMIT NO. TBD

REVISIONS:
DATE DESCRIPTION

ISSUE:
100% DD 23.05.07
BLOG PERMIT 24.02.26
GMP 24.12.19

LANDSCAPE
SITE
PLAN

SHEET NO.

LS101