

GENERAL NOTES:

- 1.) NO PERIMETER BOUNDARY CORNERS HAVE BEEN FIELD ESTABLISHED PER THIS SURVEY OF THE SUBJECT PROPERTY.
- 2.) NO SEARCH HAS BEEN MADE FOR EASEMENTS OF RECORD WITHIN THE SUBJECT SITE OTHER THAN THOSE SHOWN ON THE PLAT OF RECORD.
- 3.) REFER TO "ARCHITECTURAL SITE PLAN" FOR FIELD LAYOUT OF THE PROPOSED IMPROVEMENTS.
- 4.) TOPOGRAPHY SURVEY OBTAINED BY "TRANSIT-STADIA" METHOD.

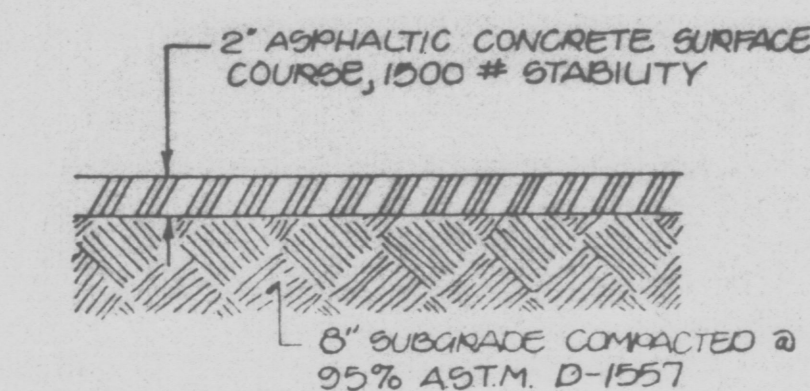
NOTICE TO CONTRACTOR:

- 1.) AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
- 2.) ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH "CONTRACT DOCUMENTS FOR CITY WIDE UTILITIES AND CASH PAVING NO. 31".
- 3.) TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE (765-1234), FOR LOCATION OF EXISTING OF SURFACE AND SUBSURFACE UTILITIES.
- 4.) PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS; SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY FOR THE PROJECT.

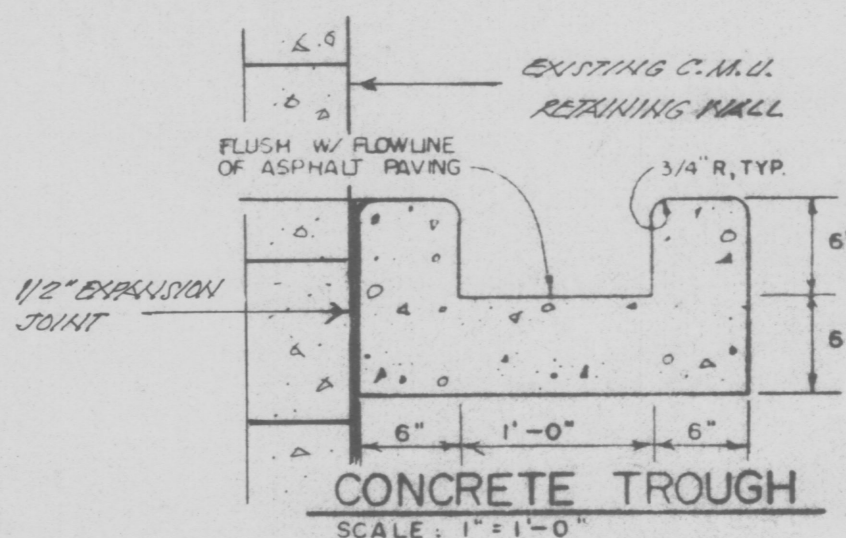
EROSION CONTROL MEASURES:

THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT FOR STORM RUN-OFF DURING CONSTRUCTION; HE SHALL INSURE THAT THE FOLLOWING MEASURES ARE TAKEN:

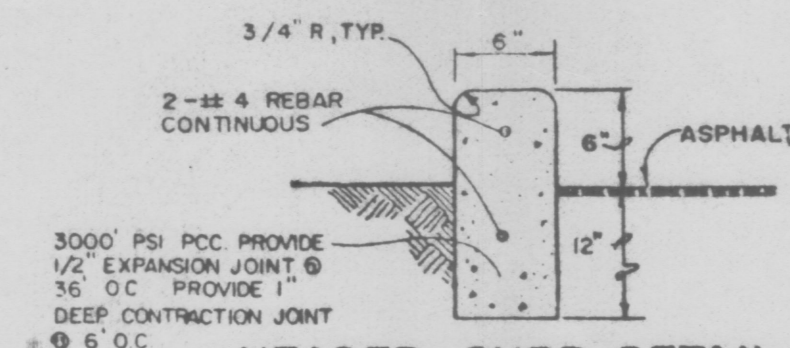
- 1.) ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY CONSTRUCTION OF BERMS, DIKES, SWALES, PONDS, AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUNOFF FROM LEAVING THE SITE AND ENTERING ADJACENT PROPERTIES.
- 2.) ADJACENT PUBLIC RIGHT-OF-WAYS SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUNOFF FROM THE SITE AND NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER PUBLIC STREETS.
- 3.) THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ANY AND ALL SEDIMENT WITHIN PUBLIC STREETS THAT HAS BEEN ERODED FROM THE SITE AND DEPOSITED THERE.



TYPICAL PAVEMENT SECTION
SCALE: 1" = 1'-0"



CONCRETE TROUGH
SCALE: 1" = 1'-0"

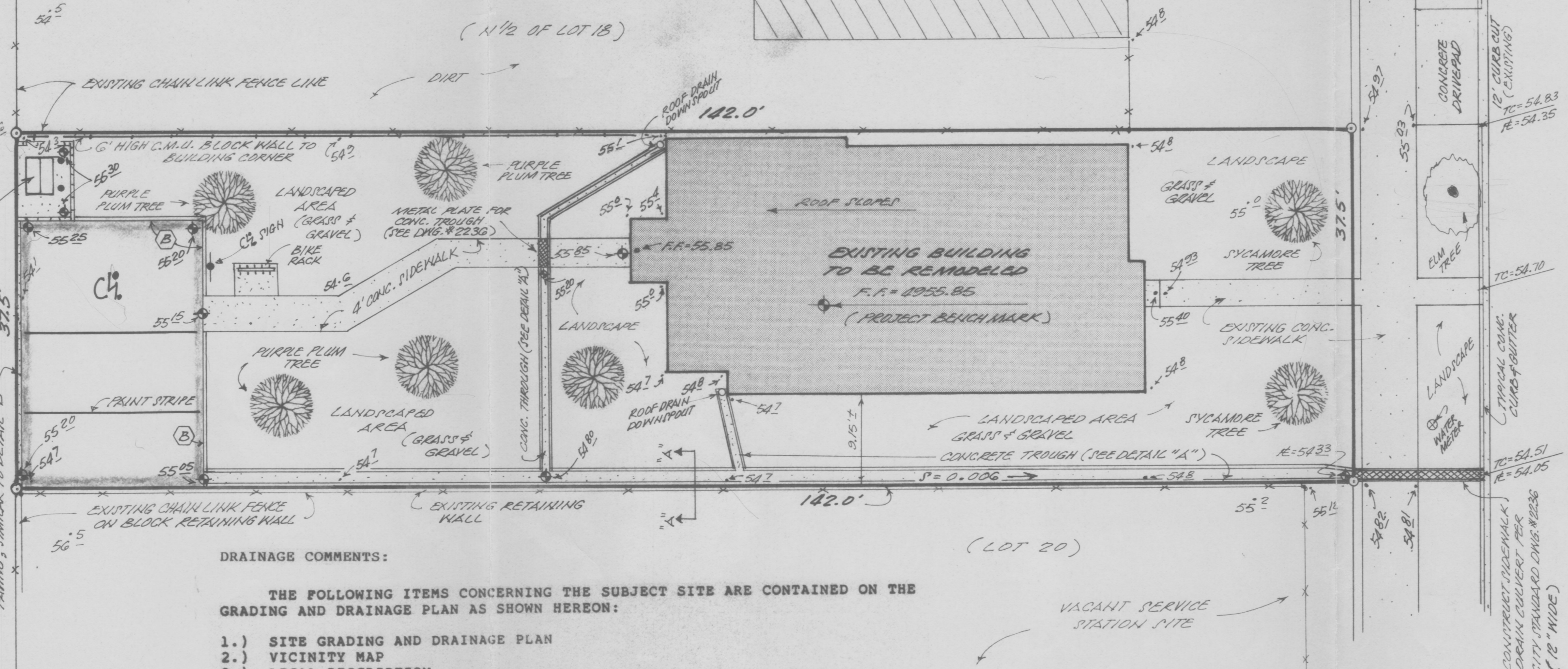


HEADER CURB DETAIL
SCALE: 1" = 1'-0"

LOMAS BLVD. N.W.

LEGAL DESCRIPTION: LOT "19-A", BLOCK TWENTY-SEVEN (27), PEREA ADDITION, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

BENCH MARK REFERENCE: "ACS" STATION NO. "12-J13", M.S.L.D. ELEVATION = 4954.85; PROJECT BENCH MARK AS SHOWN ON THE PLAN HEREON.



DRAINAGE COMMENTS:

THE FOLLOWING ITEMS CONCERNING THE SUBJECT SITE ARE CONTAINED ON THE GRADING AND DRAINAGE PLAN AS SHOWN HEREON:

- 1.) SITE GRADING AND DRAINAGE PLAN
- 2.) VICINITY MAP
- 3.) LEGAL DESCRIPTION
- 4.) LIMITS AND CHARACTER OF THE EXISTING AND PROPOSED IMPROVEMENTS
- 5.) HYDRAULIC DRAINAGE CALCULATIONS

AS SHOWN ON THE VICINITY MAP HEREON THE SUBJECT SITE IS LOCATED ON 12TH STREET N.W., APPROXIMATELY 100' NORTH OF THE INTERSECTION OF 12TH STREET N.W., IN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

THE PROJECT SITE, (1.) LIES WITHIN A 500-YEAR FLOOD PLAIN, (P.E.M.A. PANEL 28 OF 50), (2.) DOES NOT LIE ADJACENT TO A NATURAL OR ARTIFICIAL WATER COURSE, (3.) HAS NO DRAINAGE EASEMENTS ON THE PROPERTY

BASED ON A SITE INVESTIGATION, IT HAS BEEN DETERMINED THAT THE FREE DISCHARGE OF SURFACE FLOWS OF THE EXISTING AND PROPOSED QUANTITIES HAVE NO ADVERSE AFFECT ON DOWNSTREAM PROPERTIES.

DRAINAGE CALCULATIONS:

I. REFERENCES:

- A. CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL (DPM), VOL. 2, DESIGN CRITERIA, CHAPTER 22, DRAINAGE, FLOOD CONTROL AND EROSION CONTROL.
- B. SOIL SURVEY OF BERNALILLO COUNTY AND PARTS OF SANDOVAL AND VALENCIA COUNTIES, NEW MEXICO, UNITED STATES DEPARTMENT OF AGRICULTURE, SOIL CONSERVATION SERVICE, (SCS SHEET NO. 30).

II. GENERAL INFORMATION:

- A. SOIL TYPE: SOIL TYPE IS "VDA", VINTON SANDY LOAM, 0 TO 1 PERCENT SLOPES.
- B. IMPERVIOUSNESS:
SITE AREA = 0.12 ACRES, (5,325.00 SQ. FT.).
PRESENT UNDEVELOPED "C" FACTOR = 0.40
- C. TYPE OF SURFACE (DEVELOPED):
EXISTING
HARD SURFACED (ASPHALT/GRAVEL) = 0.01 AC. = 0.08 X (C=0.95) = 0.08
BUILDING ROOF AREA = 0.03 AC. = 25 X (C=0.90) = 0.23
LANDSCAPED AREA = 0.00 AC. = 0.00 X (C=0.25) = 0.00
UNDEVELOPED AREA = 0.08 AC. = 67 X (C=0.40) = 0.27
AVERAGE "WEIGHTED" "C" = 0.58

C-1. TYPE OF SURFACE (DEVELOPED):

- A. HARD SURFACED (ASPHALT/CONC.) = 0.03 AC. = 25 X (C=0.95) = 0.24
BUILDING ROOF AREA = 0.03 AC. = 25 X (C=0.90) = 0.23
LANDSCAPED AREA = 0.06 AC. = 50 X (C=0.25) = 0.13
UNDEVELOPED AREA = 0.00 AC. = 0.00 X (C=0.40) = 0.00
AVERAGE "WEIGHTED" "C" = 0.60

- D. RAINFALL, 100-YR., 6-HR., R_6 ; (SEE REF. A., PLATE 22.2 D-1)
 $R_6 = 2.2$ INCHES.
- E. TIME OF CONCENTRATION, T_c = TEN (10) MINUTES FOR A SITE THIS SIZE.
- F. RAINFALL INTENSITY, "I", (SEE REF. A., PLATE 22.2 D-2)
 $I = R_6 \times 6.84 \times T_c^{-0.51} = 2.2 \times 6.84 \times (10)^{-0.51} = 4.65$ IN./HR.

III. PEAK DISCHARGE: ($Q = CIA$)

- UNDEVELOPED: $Q_{100} = 0.58 \times 4.65 \times 0.12 = 0.32$ cfs
EXISTING
 $Q_{10} = 0.657 \times 0.32 = 0.21$ cfs
- DEVELOPED: $Q_{100} = 0.60 \times 4.65 \times 0.12 = 0.33$ cfs
 $Q_{10} = 0.657 \times 0.33 = 0.22$ cfs

IV. PEAK VOLUME:

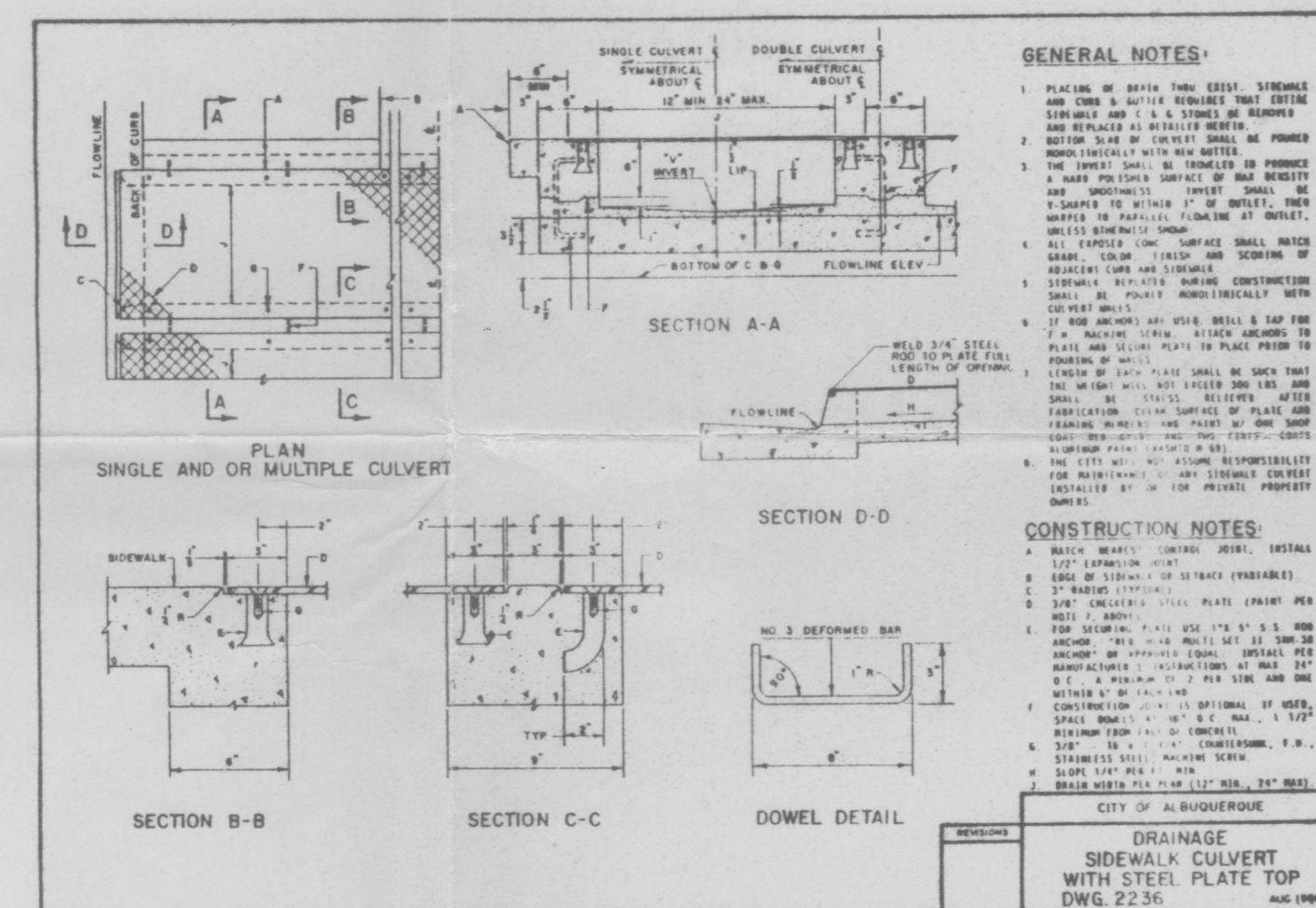
- A. EXISTING CONDITIONS:
 $V_{100} = 0.58 \times (2.2/12) \times 5,325.0 = 566.2$ CU. FT.
 $V_{10} = 0.657 \times 566.2 = 372.0$ CU. FT.
- B. DEVELOPED CONDITIONS:
 $V_{100} = 0.60 \times (2.2/12) \times 5,325.0 = 585.8$ CU. FT.
 $V_{10} = 0.657 \times 585.8 = 384.8$ CU. FT.

LEGEND:

- $T.C. = 54.83$ = TOP OF CURB ELEVATION
- $R.E. = 54.35$ = CURB FLOW LINE ELEVATION
- $---$ = EXISTING OR PROPOSED CONCRETE
- $---$ = EXISTING CONTOUR
- $---$ = PROPOSED CONTOUR
- $---$ = EXISTING FENCE
- $---$ = PROPOSED SPOT ELEVATION
- $---$ = PROPOSED LIMITS OF NEW PAVING

HYDROLOGY APPROVAL & INSPECTION

APPROVED FOR BUILDING PERMIT
ENGINEER: *B. Montoya* DATE: 9/13/90
INSPECTION REQUESTED DATE: _____
APPROVAL DATE: _____ DISAPPROVED _____
5019 APPROVAL DATE: _____
SURVEY DATE: _____
HYDROLOGY BOOK NO./PAGE NO.: _____
SUBMITTED BY: _____
COMMENTS: _____

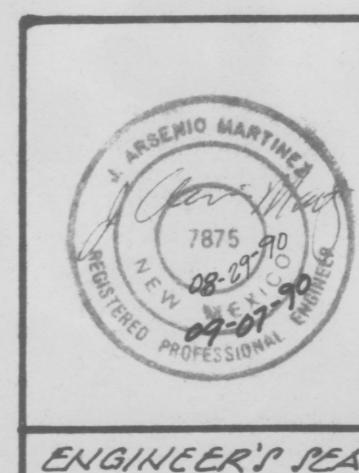
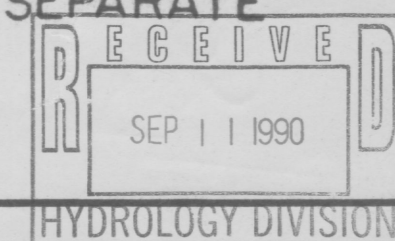


NOTICE TO CONTRACTOR:

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- 2.) ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATION - PUBLIC WORKS CONSTRUCTION - 1985.
- 3.) TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE (765-1234) FOR LOCATION OF EXISTING UTILITIES.
- 4.) PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS; SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR SURVEYOR SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- 5.) BACKFILL COMPACTION SHALL BE ACCORDING TO ARTERIAL STREET USE.
- 6.) MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.

APPROVALS	NAME	DATE
A.C.E./DESIGN	<i>B. Montoya</i>	9/13/90
INSPECTOR		
A.C.E./FIELD		

NOTE: ALL WORK WITHIN PUBLIC EASEMENT SHALL BE PERFORMED UNDER SEPARATE PERMIT.



ENGINEER'S SEAL

REVISED
GRADING AND DRAINAGE PLAN
FOR
A PROPOSED OFFICE BUILDING LOCATED AT
609 12TH STREET N.W.
ALBUQUERQUE, NEW MEXICO
AUGUST, 1990
(REVISION: 09-07-90)