

# CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development & Building Services



February 20, 2014

Richard J. Berry, Mayor

Matt A. Moore, P.E.  
ClayMoore Engineering  
1105 Cheek Sparger Road  
Colleyville, Texas 76034



RE: **McDonald's - Old Town MRP**  
2305 Central Avenue NW  
Lot 5-B, Block 2, Traction Park Addition  
**Grading & Drainage Plan** for Building Permit

File # **J13/D053**

**PE Stamp: 2/19/14**

Dear Mr. Moore:

Based upon information provided in your submittal received 2-20-2014, the above referenced Grading and Drainage Plan is approved for Building Permit.

Please attach a copy of this approved plan to the Building Permit construction sets prior to sign-off by Hydrology.

Prior to Certificate of Occupancy release, an Engineer's Certification of Grading on this site, in accordance with this plan, will be required per the DPM checklist.

If you have any questions, please email at [grolson@cabq.gov](mailto:grolson@cabq.gov) or phone (505) 924-3994.

Sincerely,

Gregory R. Olson, P.E.  
Senior Engineer

Orig: Drainage file **J13-D053**  
c.pdf Addressee via Email: [Matt@ClayMooreENG.com](mailto:Matt@ClayMooreENG.com)  
Clay Cristy via Email: [Clay@ClayMooreENG.com](mailto:Clay@ClayMooreENG.com)

PO Box 1293

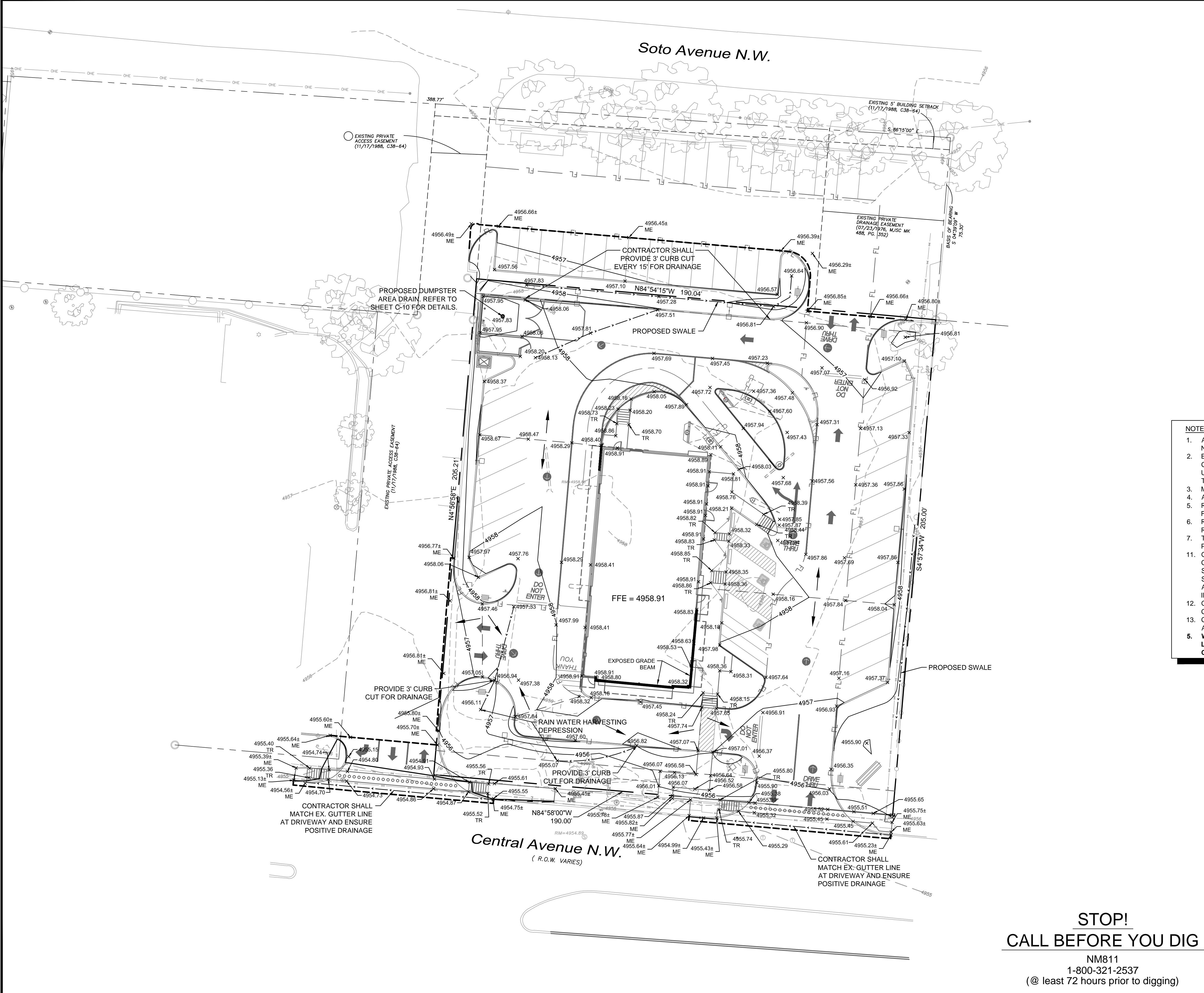
Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)



PLOTTED BY: Draw    PLOT DATE: Feb 19, 2014 - 3:09pm  
 LOCATION: V\CLAYMOORE\AS\Projects\2013-072 McDonald's Albuquerque Old Town\CADD\SHEETSC-7 GRADING PLAN.dwg  
 LAST SAVED: 2/19/2014 3:07 PM



STOP!  
 CALL BEFORE YOU DIG  
 NM811  
 1-800-321-2537  
 (@ least 72 hours prior to digging)

GRAPHIC SCALE

1 inch = 20 ft.

**LEGEND**

- 100 EXISTING CONTOUR
- 100 PROPOSED CONTOUR
- ↑ RIDGE LINE
- +800.00 PROPOSED GRADE - TOP OF PAVEMENT
- ME MATCH EXISTING
- TW TOP OF WALL
- BW BOTTOM OF WALL
- TR TOP OF RAMP

- NOTES:**
- ALL SPOT ELEVATIONS ARE TO TOP OF PAVING UNLESS OTHERWISE NOTED.
  - EXISTING UTILITIES WERE OBTAINED FROM RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF EXISTING UTILITIES AND NOTIFY THE ENGINEER FOR ANY DISCREPANCIES WITH THIS PLAN.
  - MAXIMUM SLOPE IN LANDSCAPE AREAS ARE NOT TO EXCEED 3:1.
  - ALL CURB HEIGHTS ARE 6-INCHES UNLESS NOTED OTHERWISE.
  - REFER TO GEOTECHNICAL REPORT FOR REQUIREMENTS REGARDING FILL COMPACTION AND MOISTURE CONTENT.
  - REF. STRUCTURAL PLANS, SPECIFICATIONS, AND GEOTECHNICAL REPORT FOR ALL BUILDING PAD PREPARATION CRITERIA.
  - THE CONTRACTOR SHALL CONSTRUCT ALL BARRIER FREE RAMPS PER CITY OF ALBUQUERQUE AND ADA STANDARDS.
  - GRADING FOR ALL SIDEWALKS AND ACCESSIBLE ROUTES INCLUDING CROSSING DRIVEWAYS SHALL CONFORM TO ADA STANDARDS. SLOPES SHALL NOT EXCEED 5% LONGITUDINAL SLOPE OR 2% CROSS SLOPE. SIDEWALK ACCESS TO EXTERNAL BUILDING DOORS SHALL BE ADA COMPLIANT. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF ADA CRITERIA CANNOT BE MET AT ANY LOCATION.
  - GRADING OF ALL HANDICAPPED SPACES AND ROUTES IS TO CONFORM TO LOCAL, STATE, AND FEDERAL GUIDELINES.
  - CONTRACTOR SHALL ADJUST EXISTING VALVES, MANHOLE RIMS, ETC. AS NECESSARY TO MATCH FINISHED GRADE.
  - WHERE GRADES PERMIT, CONTRACTOR SHALL DEPRESS LANDSCAPE AREAS AS A LOW IMPACT DEVELOPMENT MEASURE TO COMPLY WITH THE CITIES MS4 EPA PERMIT.**

**BENCHMARK DESCRIPTION**

A.G.R.S. MONUMENT "12\_J12"  
 STANDARD A.G.R.S. BRASS TABLET  
 (FOUND IN PLACE)  
 NEW MEXICO STATE PLANE COORDINATES  
 (CENTRAL ZONE-N.A.D. 1983)  
 N=1,490,348.740  
 E=1,513,276.047  
 PUBLISHED EL=4955.235 (NAVD 1988)  
 GROUND TO GRID FACTOR= 0.999685396  
 DELTA ALPHA ANGLE=0°14'39.76"

SURVEY INFORMATION:			
PREPARED BY:  PRECISION SURVEYS INC.		LEGAL DESCRIPTION: LOT 5-B OF THE REPLAT OF LOTS 5, 6, 7, 8, 9, 10, 11 AND THE EAST 40 FEET OF LOTS 12 AND 26, LOTS 27, 28, 29, 30, 31, 32 AND 33 OF BLOCK 2 OF THE REPLAT OF BLOCKS 1 AND 2, TRACTION PARK ADDITION	
ADDITION:			
NEW CONSTRUCTION			
ADDRESS:  2305 CENTRAL AVE			
CITY:  ALBUQUERQUE		STATE:  NEW MEXICO	
COUNTY  BERNALILLO	SURVEY:		ABSTRACT NO.
L/C NUMBER:  030-0018	SHEET NAME  GRADING PLAN		

REV	DATE	DESCRIPTION	BY	ISSUE REF

1105 CHEEK SPARGER RD.  
SUITE #1  
PHONE: 817.281.0572  
COLLEYVILLE, TX 76034  
WWW.CLAYMOOREENG.COM

MATT A. MOORE  
NEW MEXICO  
21165  
PROFESSIONAL ENGINEER

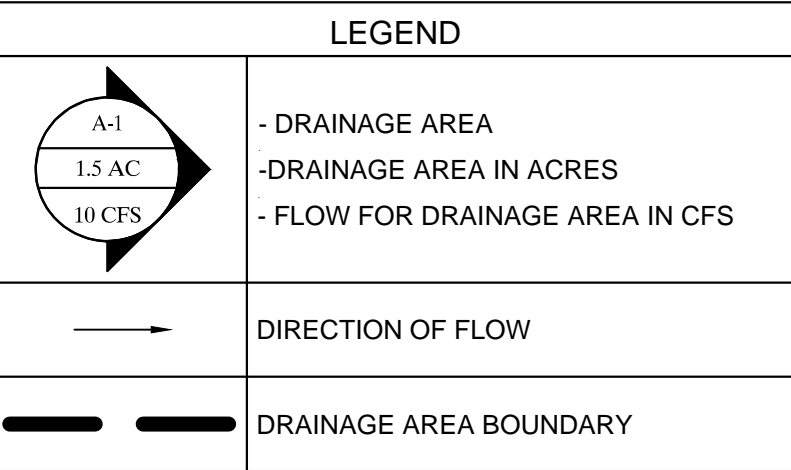
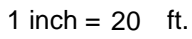
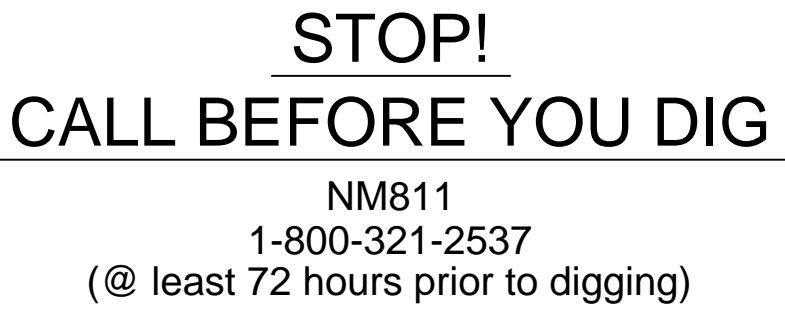
*dhlt dl 2/19/14*

McDONALD'S		2305 CENTRAL AVE ALBUQUERQUE, NM 87104	
OFFICE	GREATER SOUTHWEST REGION	ADDRESS	511 E JOHN CARPENTER FRWY SUITE 375, IRVING, TX 75062
PLAN APPROVALS		CO-SIGN SIGNATURE	
SIGNATURE (2 REQUIRED)	DATE	REGIONAL MGR.	DATE
		CONST. MGR.	
		OPERATIONS DEPT.	
		REAL ESTATE DEPT.	
		CONTRACTOR	
		OWNER	
STATUS		DATE	BY
DATE DRAWN		11/19/13	ASD
PLAN CHECKED		12/02/13	MAM
ASBUILT			
SHEET NO.		C-7	









POST DEVELOPMENT AREA CALCULATIONS				
	ZONE	TREATMENT	AREA (AC)	PEAK DISCHARGE
<b>A-1</b>	1	B	0.13	2.03
		D	0.37	4.37
	<b>WEIGHTED DISCHARGE =</b>			<b>3.76</b>
<b>B-1</b>	1	B	0.09	2.03
		D	0.30	4.37
	<b>WEIGHTED DISCHARGE =</b>			<b>3.83</b>
<b>C-1</b>	1	B	0.00	2.03
		D	0.01	4.37
	<b>WEIGHTED DISCHARGE =</b>			<b>4.37</b>
<b>OS-1</b>	1	B	0.03	2.03
		D	0.04	4.37
	<b>WEIGHTED DISCHARGE =</b>			<b>3.37</b>

POST DEVELOPMENT RUNOFF CALCULATIONS			
DA #	AREA (AC)	WEIGHTED DISCHARGE	Q <sub>100</sub> (cfs)
<b>A-1</b>	0.5	3.76	1.88
<b>B-1</b>	0.39	3.83	1.49
<b>C-1</b>	0.01	4.37	0.04
<b>TOTAL ON-SITE RUNOFF =</b>			<b>3.42</b>
<b>OS-1</b>	0.07	3.37	0.24
<b>TOTAL OFF-SITE RUNOFF =</b>			<b>0.24</b>

## FLOODPLAIN NOTE

ACCORDING TO MAP NO. 35011C03313, DATED SEPTEMBER 26, 2008 OF THE NATIONAL FLOOD INSURANCE PROGRAM MAP, FLOOD INSURANCE RATE MAP OF BERNALILLO COUNTY, NEW MEXICO, FEDERAL EMERGENCY MANAGEMENT AGENCY, FEDERAL INSURANCE ADMINISTRATION, THIS PROPERTY IS WITHIN ZONE "X" (UNSHADED) AND IS NOT WITHIN A SPECIAL FLOOD HAZARD AREA. IF THIS SITE IS IDENTIFIED AND IDENTIFIED AS BEING WITHIN A SPECIAL FLOOD HAZARD AREA, THE STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR THE STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.

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COUNTY  BERNALILLO	SURVEY:  		ABSTRACT NO.  
L/C NUMBER:  030-0018	SHEET NAME  PROPOSED DRAINAGE AREA MAP		

<div>PLAN APPROVALS</div> <table><tr><td>SIGNATURE (2 REQUIRED)</td><td>DATE</td></tr><tr><td>REGIONAL MGR.</td><td></td></tr><tr><td>CONST. MGR.</td><td></td></tr><tr><td>OPERATIONS DEPT.</td><td></td></tr><tr><td>REAL ESTATE DEPT.</td><td></td></tr></table>				SIGNATURE (2 REQUIRED)	DATE	REGIONAL MGR.		CONST. MGR.		OPERATIONS DEPT.		REAL ESTATE DEPT.		<div>OFFICE</div> <div>GREATER SOUTHWEST REGION</div>		<div>ADDRESS</div> <div>511 E JOHN CARPENTER FRWY SUITE 375, IRVING, TX 75062</div>		<div>MCDONALD'S</div> <div>THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF MCDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN CONSENT.</div> <div>2305 CENTRAL AVE. ALBUQUERQUE, NM 87104</div> <div>McDONALD'S LLC: 030-0018 CLAYMOORE ENG. NO. 2013-072</div>				<div>CONTRACTOR</div> <div>OWNER</div>				<div>CO-SIGN SIGNATURE</div>			
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PLOTTED BY: Drew      PLOT DATE: Feb. 19, 2014 - 3:10pm  
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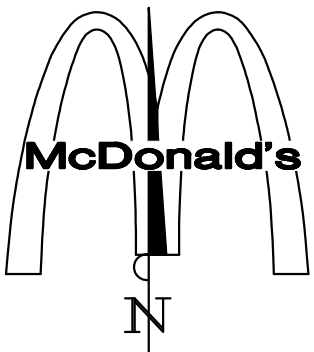
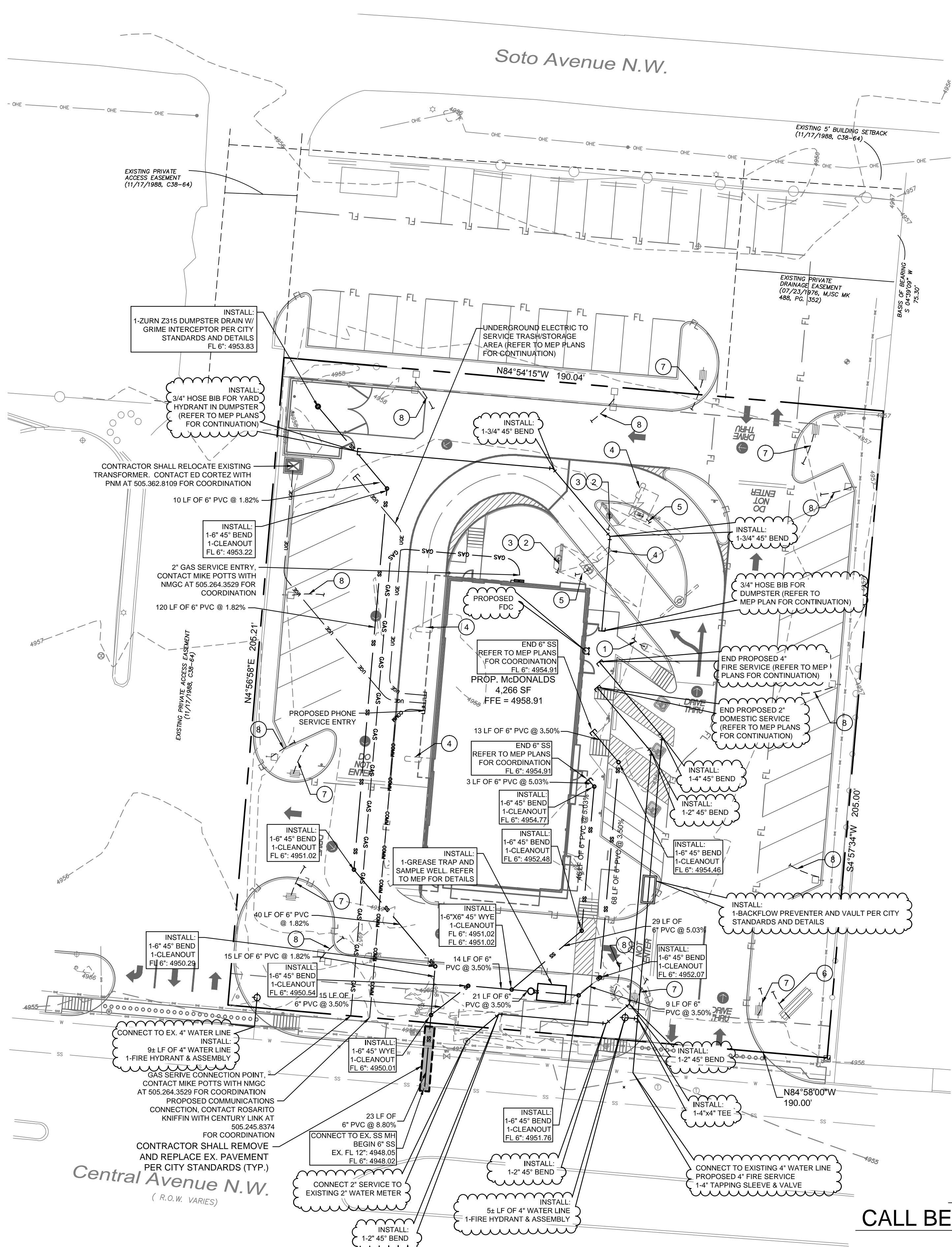
## NOTES

1. CONTRACTOR SHALL COORDINATE WITH FRANCHISE UTILITY COMPANIES AND IRRIGATION PLANS TO DETERMINE QUANTITY, SIZE, AND LOCATION FOR ALL CONDUIT AND SLEEVING REQUIRED TO SERVE BUILDING AND SITE. ALL CONDUIT AND SLEEVES SHALL BE INSTALLED PRIOR TO SUBGRADE PREPARATION AND PAVING.

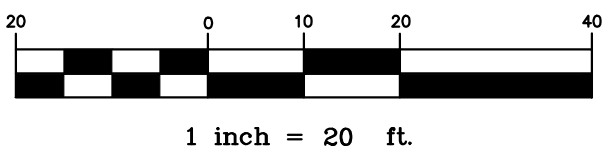
2. ALL PROPOSED UTILITIES DESIGNED TO WITHIN 5 FEET OF THE BUILDING. REFER TO MEP PLANS FOR CONTINUATION.

## FRANCHISE UTILITY NOTES:

- THE GAS, ELECTRIC AND TELEPHONE INFORMATION SHOWN ON THIS PLAN IS BASED UPON THE LATEST INFORMATION AVAILABLE FROM THE RESPECTIVE FRANCHISE UTILITY COMPANIES. IT IS INTENDED FOR PURPOSES OF GENERAL BIDDING AND BASIC CLARITY. SPECIFIC JOB SITE CONDITIONS SHALL BE FIELD VERIFIED PER NOTES 2 THROUGH 4 BELOW. THE FRANCHISE UTILITY CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR SAID FIELD CONDITIONS AND ASSOCIATED REVISIONS REQUIRED BY THE RESPECTIVE UTILITY COMPANIES INVOLVED.
- THE FRANCHISE UTILITY CONTRACTOR SHALL CONTACT THE RESPECTIVE FRANCHISE UTILITY COMPANIES, VERIFY ALL REQUIREMENTS AND EQUIPMENT, AND FURNISH AND INSTALL, INCLUDING BUT NOT LIMITED TO, ALL METERS, TRANSFORMERS, CONDUIT, CONCRETE PADS, TRENCHING, AND BACKFILL NECESSARY FOR PROPER INSTALLATION. FRANCHISE UTILITY CONTRACTOR SHALL ALSO PAY ALL FEES AND CHARGES INCURRED AND COORDINATE WITH OTHER FRANCHISE UTILITY COMPANIES.
- THE FRANCHISE UTILITY CONTRACTOR SHALL FIELD VERIFY, IN THE PRESENCE OF THE RESPECTIVE UTILITY COMPANY REPRESENTATIVES, THE LOCATION OF ALL EXISTING AND PROPOSED UTILITY SERVICES AND EQUIPMENT. THE FRANCHISE UTILITY CONTRACTOR SHALL INCLUDE IN HIS BID SUFFICIENT FUNDS TO COVER ALL COSTS REQUIRED BY UTILITY COMPANIES TO PROVIDE NEW SERVICES AND/OR UPGRADE EXISTING SERVICES. NO ALLOWANCES WILL BE MADE FOR FRANCHISE UTILITY CONTRACTOR'S UNFAMILIARITY WITH THE EXISTING CONDITION, REQUIREMENTS OF THE NEW CONDITIONS, AND/OR FAILURE TO COORDINATE INSTALLATION.
- CONTRACTOR SHALL VERIFY THAT METER AND TRANSFORMER LOCATIONS SHOWN MEET DESIGN CRITERIA BY FRANCHISE UTILITY COMPANIES FOR, BUT NOT LIMITED TO, THE OFFSET DISTANCE FROM FACE OF BUILDING.
- SHOP DRAWINGS FOR SPRINKLER AND FIRE ALARM AND HOOD/ANSUL SYSTEMS SHALL BE SUBMITTED TO THIS OFFICE FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.



## GRAPHIC SCALE



## LEGEND

○○○○○○	EXISTING FIRE HYDRANT ASSEMBLY
—	EXISTING WATER MAIN
—	PROPOSED WATER LINE AND GATE VALVE
—○—	EXISTING SANITARY SEWER AND MANHOLE
—	PROPOSED SANITARY SEWER LINE

## UTILITY NOTE SCHEDULE

- |   |  |
|---|--|
| ① | 1-1/2" CONDUIT TO PRESELL BOARD FOR CONTROLS   |
| ② | 1-1/2" CONDUIT TO MENU BOARD FOR CONTROLS  |
| ③ | 1" CONDUIT FROM BUILDING ELECTRIC PANEL TO MENU BOARD  |
| ④ | 3/4" CONDUIT W/Low VOLTAGE WIRE FROM PRE-WARNING VEHICLE LOOP DETECTION                              |
| ⑤ | 1-1/2" CONDUIT TO CUSTOMER ORDER DISPLAY FOR CONTROLS 1" CONDUIT TO CUSTOMER ORDER DISPLAY FOR POWER |
| ⑥ | 1-1/2" CONDUIT WITH WIRE TO ROAD SIGN  |
| ⑦ | 1/2" CONDUIT WITH WIRE TO DIRECTIONAL SIGNAGE  |
| ⑧ | 3/4" CONDUIT WITH WIRE (SITE LIGHTING)   |

## BENCHMARK DESCRIPTION

A.G.R.S. MONUMENT "12\_J12"  
STANDARD A.G.R.S. BRASS TABLET  
(FOUND IN PLACE)  
NEW MEXICO STATE PLANE COORDINATES  
(CENTRAL ZONE-N.A.D. 1983)  
N=1,490,348.740  
E=1,513,276.047  
PUBLISHED EL=4955.235 (NAVD 1988)  
GROUND TO GRID FACTOR= 0.999685396  
DELTA ALPHA ANGLE=0°14'39.76"

## SURVEY INFORMATION:

PREPARED BY: PRECISION SURVEYS INC.  
LEGAL DESCRIPTION: LOT 5-B OF THE REPLAT OF LOTS 5, 6, 7, 8, 9, 10, 11 AND THE EAST 40 FEET OF LOTS 12 AND 26, LOTS 27, 28, 29, 30, 31, 32 AND 33 OF BLOCK 2 OF THE REPLAT OF BLOCKS 1 AND 2, TRACTION PARK ADDITION  
ADDITION:

## NEW CONSTRUCTION

ADDRESS:

2305 CENTRAL AVE

CITY:	ALBUQUERQUE	STATE:	NEW MEXICO
COUNTY:	BERNALILLO	SURVEY:	ABSTRACT NO.
L/C NUMBER:	030-0018	SHEET NAME:	UTILITY PLAN

REV	DATE	DESCRIPTION	BY	ISSUE REF

CLAYMOORE

ENGINEERING

1105 CHEEK SPARGER RD.  
SUITE #1  
PHONE: 817.281.0572  
COLLEYVILLE, TX 76034  
WWW.CLAYMOOREENG.COM



2/19/14

OFFICE	GREATER SOUTHWEST REGION
ADDRESS	511 E JOHN CARPENTER FRWY SUITE 375, IRVING, TX 75062
McDONALD'S	
THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF McDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN CONSENT.	
2305 CENTRAL AVE ALBUQUERQUE, NM 87104	
McDONALD'S L/C: 030-0018 CLAYMOORE ENG. NO. 2013-072	

PLAN APPROVALS		DATE	
SIGNATURE (2 REQUIRED)			
REGIONAL MGR.			
CONST. MGR.			
OPERATIONS DEPT.			
REAL ESTATE DEPT.			
CO-SIGN SIGNATURE			
CONTRACTOR			
OWNER			
STATUS		DATE	BY
DATE DRAWN	11/19/13	ASD	
PLAN CHECKED	12/02/13	MAM	
ASBUILT			
SHEET NO.		C-10	

STOP!  
CALL BEFORE YOU DIG

NM811  
1-800-321-2537  
(@ least 72 hours prior to digging)