

CIVIL PLANS

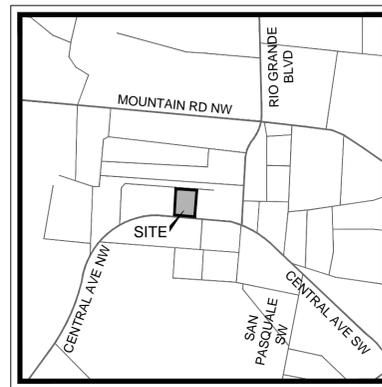
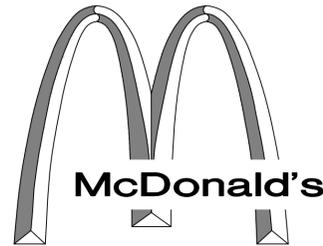
McDONALD'S

2305 CENTRAL AVE. NORTHWEST

ALBUQUERQUE, NM

L/C: 030-0018

NATIONAL # 3907



VICINITY MAP
N.T.S.

SHEET LIST TABLE		
C-0	COVER	5/27/2014
	TOPOGRAPHIC SURVEY	
SP-1	COMMERCIAL SITE PLAN	5/27/2014
SP-2	TRAFFIC ACCESS PLAN	5/27/2014
C-1	GENERAL NOTES	5/27/2014
C-2	EROSION CONTROL PLAN	5/27/2014
C-3	EROSION CONTROL DETAILS	5/27/2014
C-4	DEMOLITION PLAN	5/27/2014
C-5	DIMENSIONAL CONTROL AND PAVING PLAN	5/27/2014
C-6	DRIVE-THRU AND STRIPING PLAN	5/27/2014
C-7	GRADING PLAN	5/27/2014
C-8	EXISTING DRAINAGE AREA MAP	5/27/2014
C-9	PROPOSED DRAINAGE AREA MAP	5/27/2014
C-10	UTILITY PLAN	5/27/2014
C-11	CONSTRUCTION DETAILS	5/27/2014
C-12	BIKE RACK DETAILS	5/27/2014
C-13	STANDARD McDONALD'S DETAILS	5/27/2014
C-14	CITY STANDARD DETAILS	5/27/2014
C-15	PHOTOMETRIC PLAN	5/28/2014
L-1	LANDSCAPE PLAN	5/27/2014
L-2	LANDSCAPE DETAILS	5/27/2014

PLAN SUBMITTAL LOG

DESCRIPTION	SUBMITTAL DATE
CITY SUBMITTAL	12/2/2013
CITY RESUBMITTAL	1/28/2014
2ND CITY RESUBMITTAL	2/12/2014
3RD CITY RESUBMITTAL	2/19/2014
4TH CITY RESUBMITTAL	5/28/2014

BENCHMARK DESCRIPTION	
A.G.R.S. MONUMENT "12_J12"	
STANDARD A.G.R.S. BRASS TABLET	
(FOUND IN PLACE)	
NEW MEXICO STATE PLANE COORDINATES	
(CENTRAL ZONE-N.A.D. 1983)	
N=1,490,348.740	
E=1,513,276.047	
PUBLISHED EL=4955.235 (NAVD 1988)	
GROUND TO GRID FACTOR= 0.999685396	
DELTA ALPHA ANGLE=-0°14'39.76"	

NOTE:

Shop Drawings for Sprinkler and Fire alarm and Hood/Ansul Systems shall be submitted to this office for review and approval prior to installation.

May 2014

ENGINEER



1105 CHEEK SPARGER RD
SUITE #1
COLLEYVILLE, TX 76034
PH. 817.281.0572
FAX 817.281.0574
CONTACT: MATT MOORE, PE
EMAIL: MATT@CLAYMOOREENG.COM

DEVELOPER

MCDONALD'S CORPORATION
511 E. CARPENTER FRWY.,
SUITE 375
IRVING, TX 75062
PH. 972.869.5358
CONTACT: LEE MORRIS

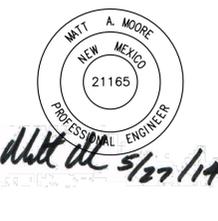
ARCHITECT

ROGUE ARCHITECTS
513 MAIN STREET,
SUITE 200
FORT WORTH, TX 76102
TEL: 817.820.0433
CONTACT: JERAMY WILLIAMS

REV	DATE	DESCRIPTION	BY	ISSUE REF



1105 CHEEK SPARGER RD.
SUITE #1
COLLEYVILLE, TX 76034
PHONE: 817.281.0572
WWW.CLAYMOOREENG.COM



McDONALD'S

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF McDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN CONSENT.

McDONALD'S L/C: 030-0018
CLAYMOORE ENG. NO. 2013-072

2305 CENTRAL AVE.
ALBUQUERQUE, NM 87104

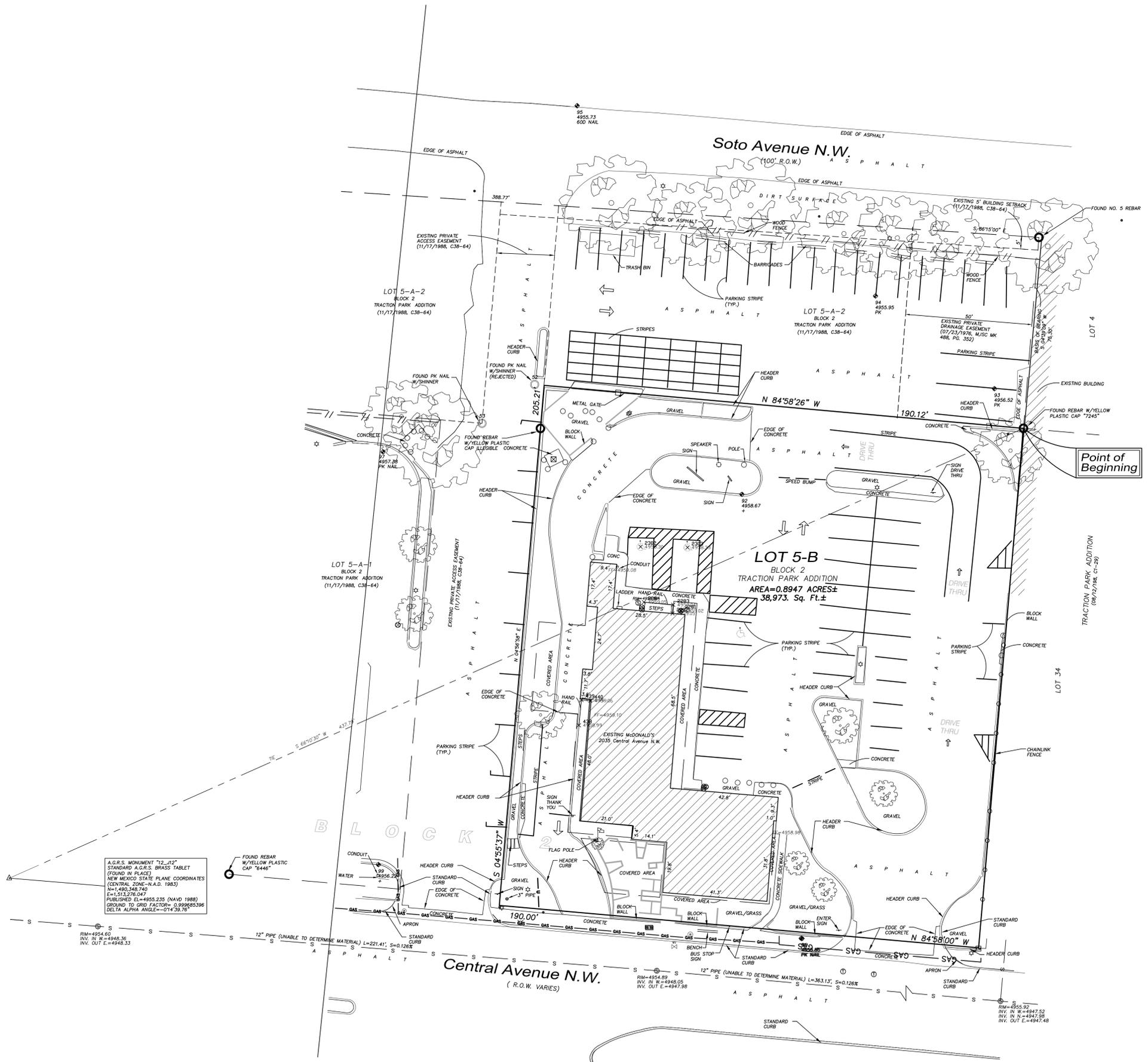
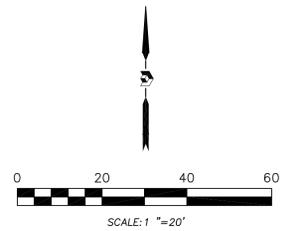
OFFICE ADDRESS: 511 E JOHN CARPENTER FRWY SUITE 375 IRVING, TX 75062

GREATER SOUTHWEST REGION

PLAN APPROVALS		
SIGNATURE (2 REQUIRED)	DATE	BY
REGIONAL MGR.		
CONST. MGR.		
OPERATIONS DEPT.		
REAL ESTATE DEPT.		
CO-SIGN SIGNATURE		
CONTRACTOR		
OWNER		
STATUS	DATE	BY
DATE DRAWN	5/27/14	ASD
PLAN CHECKED	5/27/14	MAM
ASBUILT		
SHEET NO.		
C-0		

STOP!
CALL BEFORE YOU DIG
DIG TESS
1-800-DIG-TESS
(@ least 72 hours prior to digging)

PLOT DATE: May 28, 2014, 6:47pm
LOCATION: V:\CLAYMOORE\Projects\2013-072 McDonald's Albuquerque Old Town\CADD\SHEETS\C-0 COVER.dwg
LAST SAVED: 5/28/2014 4:32 PM



A.G.R.S. MONUMENT "12_12"
 STANDARD A.G.R.S. BRASS TABLET
 (FOUND IN PLACE)
 NEW MEXICO STATE PLANE COORDINATES
 (CENTRAL ZONE-N.A.D. 1983)
 N=1,490,348.740
 E=2,513,276.047
 PUBLISHED: E=4955.235 (NAVD 1988)
 GROUND TO GRID FACTOR= 0.999665398
 DELTA ALPHA ANGLE=-014.39.79"

FOUND REBAR
 W/YELLOW PLASTIC
 CAP "6446"

12" PIPE (UNABLE TO DETERMINE MATERIAL) L=221.41', S=0.126%
 INV. IN W=4948.36
 INV. OUT E=4948.33

12" PIPE (UNABLE TO DETERMINE MATERIAL) L=363.13', S=0.126%
 INV. IN W=4948.05
 INV. OUT E=4947.98

12" PIPE (UNABLE TO DETERMINE MATERIAL) L=363.13', S=0.126%
 INV. IN W=4947.52
 INV. IN N=4947.98
 INV. OUT E=4947.48

Legend

N 90°00'00" E MEASURED BEARINGS AND DISTANCES

(N 90°00'00" E) RECORD BEARINGS AND DISTANCES

○ FOUND AND USED MONUMENT AS DESIGNATED

○ DENOTES NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993" SET THIS SURVEY AS DESIGNATED

△ FOUND ALUMINUM AGRS MONUMENT AS DESIGNATED

⊕ DENOTES SET PK NAIL AS DESIGNATED

⊕ SERVICE/DROP POLE AS DESIGNATED

○ UTILITY POLE

○ ELECTRIC METER

○ LIGHT POLE

⊕ TRANSFORMER

⊕ PULLBOX

⊕ GUY WIRE

⊕ ELECTRIC BOX

○ CONDUIT

○ TELEPHONE MANHOLE

○ SPEAKER

○ PIPE

○ WATER METER

○ WATER VALVE

○ FIRE HYDRANT

○ WATER MANHOLE

○ SANITARY SEWER MANHOLE

○ CLEANOUT

○ TELEPHONE POLE

○ SIGN

○ GAS METER

○ GUARD POST

○ TREE

⊕ FENCE POST

○ HANDICAP PARKING SPACE

— CURB AND GUTTER

— OVERHEAD UTILITY LINE

— GAS LINE

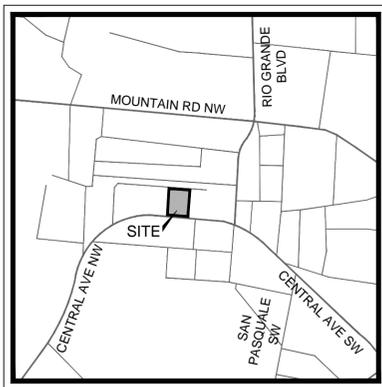
— WATER LINE

— SANITARY SEWER LINE

PRECISION SURVEYS, INC.

OFFICE LOCATION:
 5571 Midway Park Place, NE
 Albuquerque, NM 87109
 MAILING ADDRESS:
 PO Box 90636
 Albuquerque, NM 87199

866.442.8011 TOLL FREE
 505.856.5700 PHONE
 505.856.7900 FAX



VICINITY MAP
N.T.S.

LOT 5-A-2, BLOCK 2
TRACTION PARK ADDITION
(11/17/1988, C38-64)
ZONED: C-2

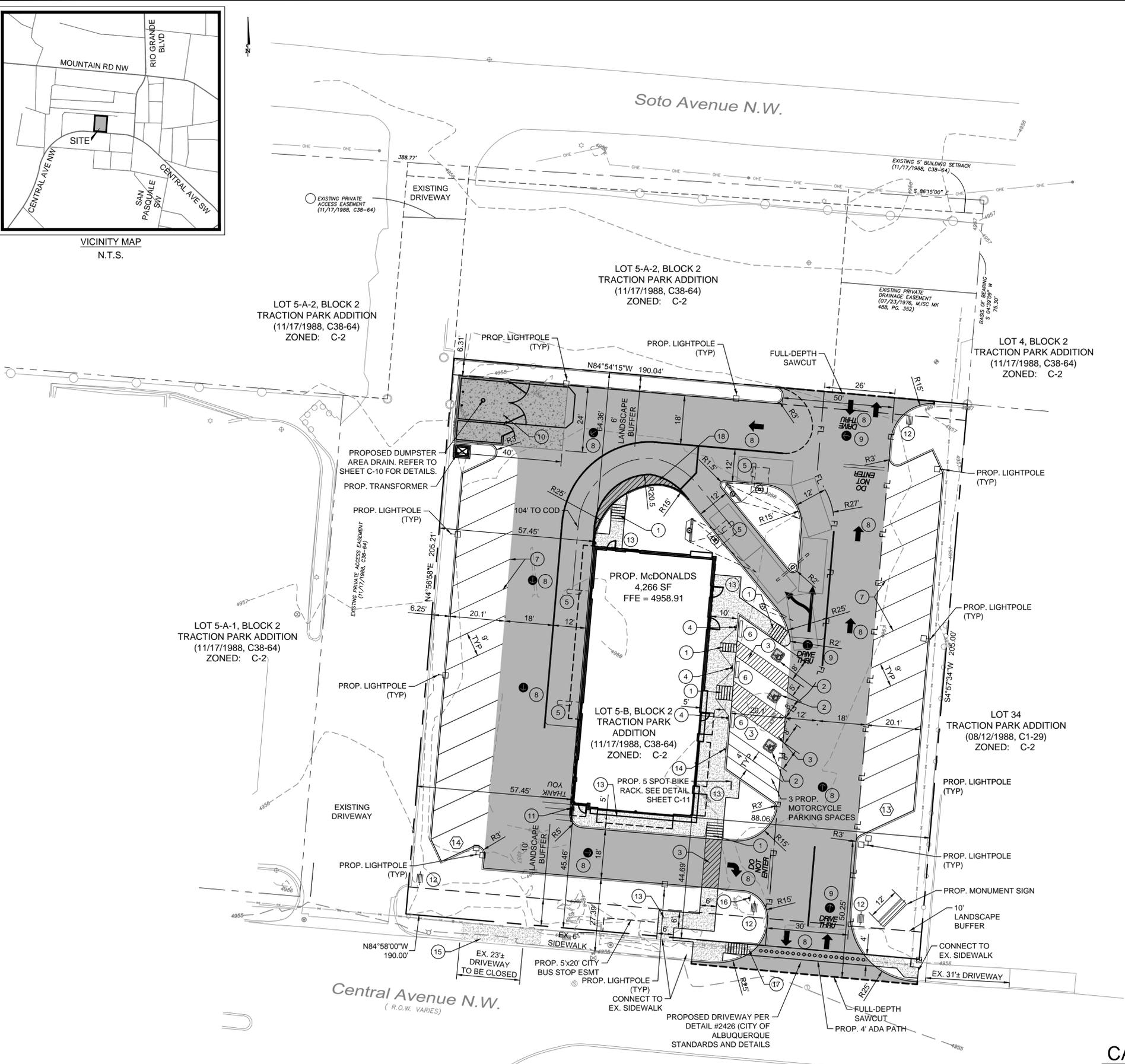
LOT 5-A-2, BLOCK 2
TRACTION PARK ADDITION
(11/17/1988, C38-64)
ZONED: C-2

LOT 4, BLOCK 2
TRACTION PARK ADDITION
(11/17/1988, C38-64)
ZONED: C-2

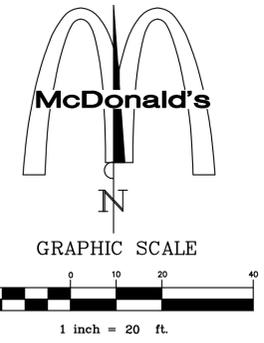
LOT 5-A-1, BLOCK 2
TRACTION PARK ADDITION
(11/17/1988, C38-64)
ZONED: C-2

LOT 5-B, BLOCK 2
TRACTION PARK
ADDITION
(11/17/1988, C38-64)
ZONED: C-2

LOT 34
TRACTION PARK ADDITION
(08/12/1988, C1-29)
ZONED: C-2



LEGEND	
	HEAVY DUTY CONCRETE PAVEMENT
	STANDARD DUTY CONCRETE PAVEMENT
	CONCRETE PAVEMENT FOR DUMPSTER AREA
	SIDEWALK
	FULL-DEPTH SAWCUT CONNECT TO EXISTING PAVEMENT WITH LONGITUDINAL BUTT JOINT
	PROPOSED CONCRETE CURB AND GUTTER
	PARKING COUNT
	TYPICAL LIGHT POLE (REFER TO MEP PLANS FOR DETAILS)
	PROPOSED FIRE LINE



PARKING TABLE	
4,266 SF REST.	
1 SPACE PER EVERY 4 SEATS	
TOTAL REQUIRED	21 (2 ADA)
STANDARD PARKING PROVIDED	30 (3 ADA)
MOTORCYCLE SPACES REQUIRED	2
MOTORCYCLE SPACES PROVIDED	3
BICYCLE RACKS REQUIRED (1 RACK PER 20 SPACES PROVIDED)	3
BICYCLE RACKS PROVIDED	5

- NOTES:**
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS AND EXACT DOOR LOCATIONS.
 - SIDEWALK SHALL BE DOWELED IN FOUNDATION AT STOOPS.
 - LOCATION OF SIGNS ARE APPROXIMATE. IT IS THE RESPONSIBILITY OF THE SIGN CONTRACTOR TO VERIFY COMPLIANCE WITH SET-BACK, SIZE/HEIGHT, AND RELATED ZONING REQUIREMENTS PRIOR TO SETTING.
 - WHERE GRADES PERMIT, CONTRACTOR SHALL DEPRESS LANDSCAPE AREAS AS A LOW IMPACT DEVELOPMENT MEASURE TO COMPLY WITH THE CITIES MS4 EPA PERMIT.
 - ALL ADA PATHS, RAMPS AND SIGNAGE SHALL MEET ALL REQUIREMENTS SET FORTH IN THE 2009 NEW MEXICO ACCESSIBLE PARKING CHECKLIST. LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.

CONSTRUCTION SCHEDULE	
1	HANDICAP RAMPS
2	HANDICAP SYMBOL
3	PAVEMENT STRIPING
4	HANDICAP SIGN DETAILS
5	DETECTOR LOOP (LOCATION TO BE APPROVED BY McDONALD'S)
6	CURB STOP
7	4' PARKING STALL STRIPING COLOR: WHITE (TYP)
8	TYPICAL DIRECTIONAL TRAFFIC STRIPING
9	DRIVE THRU WITH ARROW TYPICAL AT ALL ENTRIES COLOR: YELLOW
10	DUMPSTER WITH ENCLOSURE (REFER TO ARCHITECTURAL PLANS FOR DETAILS)
11	PROPOSED HANDRAIL
12	PROPOSED McDONALD'S DIRECTIONAL SIGNAGE
13	SIDEWALK
14	PROPOSED MOTORCYCLE PARKING SIGNAGE PER CITY STANDARDS
15	EXISTING DRIVEWAY TO BE CLOSED. SIDEWALK AND CURB TO BE REINSTALLED PER CITY OF ALBUQUERQUE STANDARDS #2430 AND #2415
16	PROPOSED DO NOT ENTER SIGN PER MUTCD STANDARDS AND DETAILS
17	HANDICAP RAMP PER CITY DETAIL #2426
18	McDONALD'S STANDARD DRIVE THRU STRIPING PER SHEET C-13

BENCHMARK DESCRIPTION

A.G.R.S. MONUMENT "12_112"
STANDARD A.G.R.S. BRASS TABLET
(FOUND IN PLACE)
NEW MEXICO STATE PLANE COORDINATES
(CENTRAL ZONE-N.A.D. 1983)
N=1,490,348.740
E=1,513,276.047
PUBLISHED EL=4955.235 (NAVD 1988)
GROUND TO GRID FACTOR= 0.999685396
DELTA ALPHA ANGLE=-0°14'39.76"

HERE WE GROW AGAIN

THE GENERAL CONTRACTOR SHALL DISPLAY A "HERE WE GROW AGAIN" BANNER DURING CONSTRUCTION. THESE BANNERS ARE AVAILABLE THROUGH WORLD WIDE COMPANY, OAKBROOK, IL
PH#: 1-800-937-7671

STOP!
CALL BEFORE YOU DIG

NM811
1-800-321-2537
(@ least 72 hours prior to digging)

SURVEY INFORMATION:	
PREPARED BY: PRECISION SURVEYS INC.	LEGAL DESCRIPTION: LOT 5-B OF THE REPLAT OF LOTS 5, 6, 7, 8, 9, 10, 11 AND THE EAST 40 FEET OF LOTS 12 AND 26, LOTS 27, 28, 29, 30, 31, 32 AND 33 OF BLOCK 2 OF THE REPLAT OF BLOCKS 1 AND 2, TRACTION PARK ADDITION
ADDRESS: 2305 CENTRAL AVE	
CITY: ALBUQUERQUE	STATE: NEW MEXICO
COUNTY: BERNALILLO	SURVEY: ABSTRACT NO.
L/C NUMBER: 030-0018	SHEET NAME: SITE PLAN

ISSUE REF

DESCRIPTION

REV DATE

BY

1105 CHEEK SPARGER RD.
SUITE #1
PHONE: 817.281.0572
COLLEYVILLE, TX 76034
WWW.CLAYMOOREENGINEERING.COM

CLAYMOORE ENGINEERING

WMT A. MOORE
NEW MEXICO
21165
PROFESSIONAL ENGINEER

Delta 5/27/14

GREATER SOUTHWEST REGION

OFFICE ADDRESS: 511 E JOHN CARPENTER FRWY SUITE 375, IRVING, TX 75062

McDONALD'S

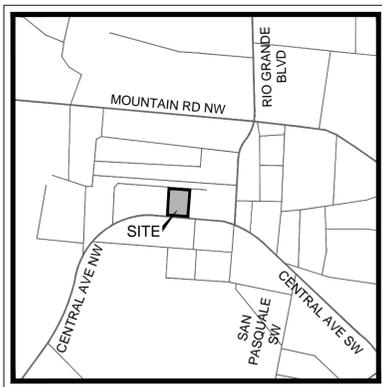
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2305 CENTRAL AVE
ALBUQUERQUE, NM 87104

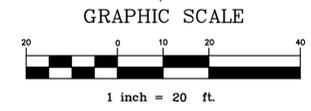
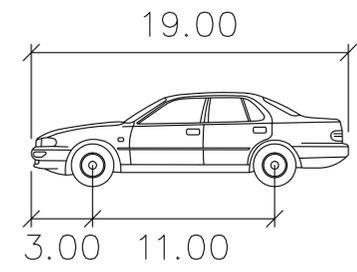
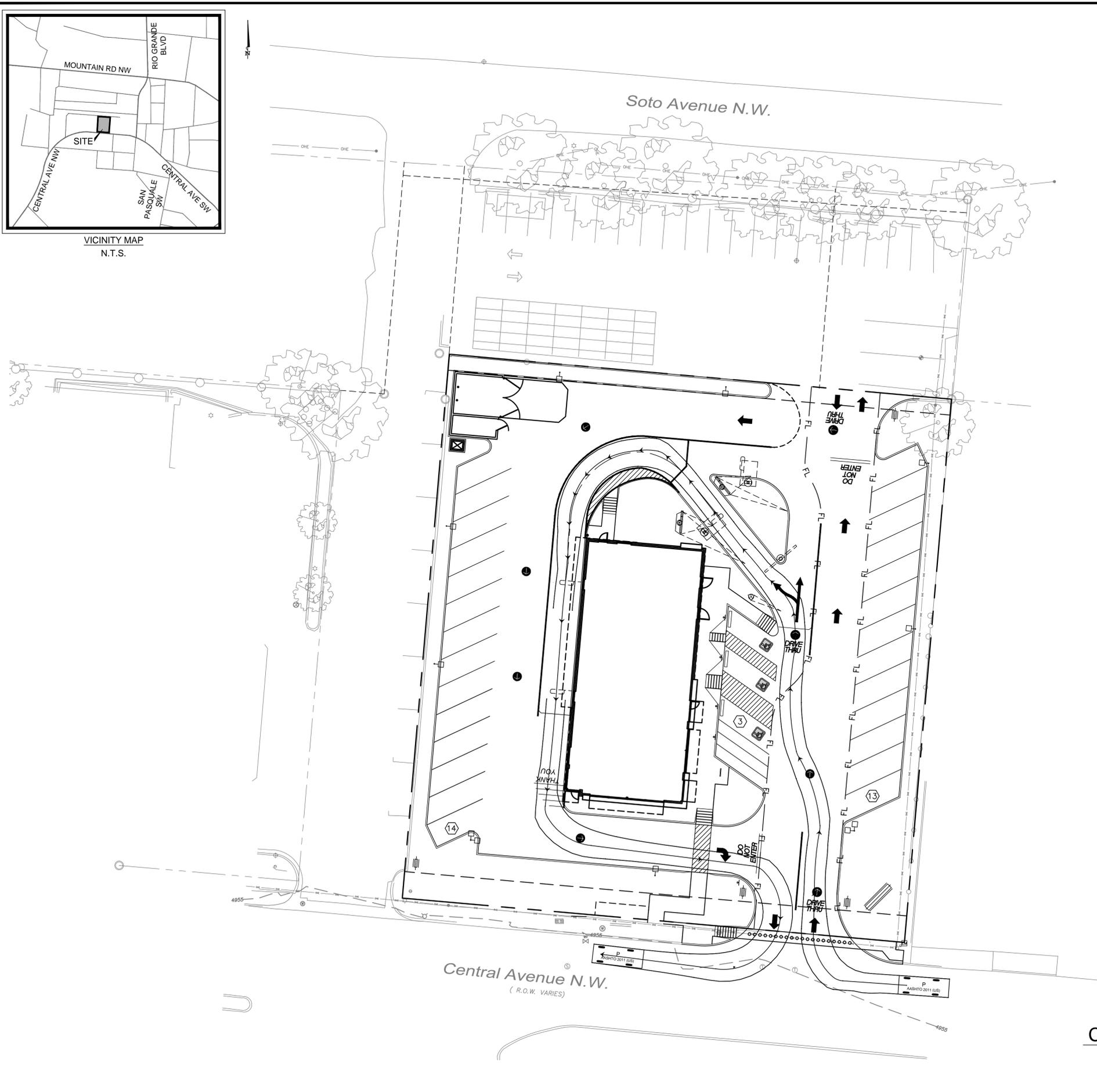
McDONALD'S L/C: 030-0018
CLAYMOORE ENG. NO. 2013-072

PLAN APPROVALS		
SIGNATURE (2 REQUIRED)	DATE	
REGIONAL MGR.		
CONST. MGR.		
OPERATIONS DEPT.		
REAL ESTATE DEPT.		
CONTRACTOR	OWNER	
CO-SIGN SIGNATURE		
STATUS	DATE	BY
DATE DRAWN	5/27/14	ASD
PLAN CHECKED	5/27/14	MAM
ASBUILT		
SHEET NO.		
SP-1		

PLOTTED BY: Drew PLOT DATE: May 28, 2014 - 6:47pm
LOCATION: V:\CLAYMOORE\Projects\0315-072 McDonald's Albuquerque Old Town\CADD\SHEET\SSP-1 SITE PLAN.dwg
LAST SAVED: 5/28/2014 6:34 PM



VICINITY MAP
N.T.S.



P feet

Width : 7.00
 Track : 6.00
 Lock to Lock Time : 6.0
 Steering Angle : 31.6

BENCHMARK DESCRIPTION

A.G.R.S. MONUMENT "12_J12"
 STANDARD A.G.R.S. BRASS TABLET
 (FOUND IN PLACE)
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 (CENTRAL ZONE-N.A.D. 1983)
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ADDRESS: 2305 CENTRAL AVE	
CITY: ALBUQUERQUE	STATE: NEW MEXICO
COUNTY: BERNALILLO	SURVEY: ABSTRACT NO.
L/C NUMBER: 030-0018	SHEET NAME: TRAFFIC ACCESS PLAN

STOP!
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 NM811
 1-800-321-2537
 (@ least 72 hours prior to digging)

REV	DATE	DESCRIPTION	BY	ISSUE REF

1105 CHEEK SPARGER RD.
 SUITE #1
 PHONE: 817.281.0572
 COLLEYVILLE, TX 76034
 WWW.CLAYMOOREENG.COM

CLAYMOORE ENGINEERING

WMT A. MOORE
 NEW MEXICO
 21165
 PROFESSIONAL ENGINEER

date 5/27/14

GREATER SOUTHWEST REGION
 OFFICE ADDRESS: 511 E JOHN CARPENTER FRWY SUITE 375, IRVING, TX 75062

MCDONALD'S

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2305 CENTRAL AVE
 ALBUQUERQUE, NM 87104

MCDONALD'S L/C: 030-0018
 CLAYMOORE ENG. NO. 2013-072

PLAN APPROVALS		STATUS	DATE	BY
SIGNATURE (2 REQUIRED)	DATE			
REGIONAL MGR.		DATE DRAWN	5/27/14	ASD
CONST. MGR.		PLAN CHECKED	5/27/14	MAM
OPERATIONS DEPT.		ASBUILT		
REAL ESTATE DEPT.		SHEET NO.	SP-2	
CO-SIGN SIGNATURE		CONTRACTOR		
		OWNER		

PLOTTED BY: Drew PLOT DATE: May 28, 2014 - 6:47pm
 LOCATION: V:\CLAYMOORE\AS\Projects\0313-072 McDonald's Albuquerque Old Town\CADD\SHEET\SSP-2 TRAFFIC ACCESS PLAN.dwg
 LAST SAVED: 5/28/2014 6:45 PM

GENERAL NOTES

- ALL MATERIAL AND CONSTRUCTION SHALL CONFORM TO THE CITY'S DESIGN STANDARDS.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO FURNISH ALL MATERIALS AND LABOR TO CONSTRUCT THE FACILITY AS SHOWN AND DESCRIBED IN THE CONSTRUCTION DOCUMENTS IN ACCORDANCE WITH THE APPROPRIATE APPROVING AUTHORITIES, SPECIFICATIONS AND REQUIREMENTS. ALL WORK REQUIRED BY THESE PLANS SHALL BE CONDUCTED IN CONFORMANCE WITH CURRENT SAFETY CODES AND STANDARDS WITH JURISDICTION OVER THIS PROJECT.
- THE CONTRACTOR SHALL CONTACT ALL FRANCHISE UTILITY COMPANIES TO HAVE THEM LOCATE EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL COORDINATE THE EXACT LOCATION AND DEPTH OF ALL FRANCHISE UTILITY SERVICES AND ANY REQUIRED RELOCATION AND/OR EXTENSIONS. SERVICES SHOWN ON THE PLANS, IF ANY, ARE CONCEPTUAL.
- THE CONTRACTOR SHALL PROTECT ALL PUBLIC AND PRIVATE UTILITIES IN THE CONSTRUCTION OF THIS PROJECT. ALL MANHOLES, CLEANOUTS, VALVE BOXES, POWER POLES, SIGNS, FIRE HYDRANTS, ETC., MUST BE ADJUSTED TO PROPER GRADE BY THE CONTRACTOR PRIOR TO AND AFTER PLACING OF PERMANENT PAVING. UTILITIES MUST BE MAINTAINED TO PROPER LINE AND GRADE DURING CONSTRUCTION OF THE PAVING FOR THIS PROJECT.
- BRACING OF UTILITY POLES MAY BE REQUIRED BY UTILITY COMPANIES WHEN TRENCHING OR EXCAVATION IS IN CLOSE PROXIMITY TO THE POLES. THE COST OF BRACING POLES WILL BE BORNE BY THE CONTRACTOR. THERE IS NO SEPARATE PAY ITEM FOR THIS WORK. THE COST IS INCIDENTAL TO THE VARIOUS PAY ITEMS FOR INSTALLATION OF PIPE.
- THE LOCATIONS, ELEVATIONS, AND DIMENSIONS OF EXISTING UTILITIES SHOWN ON THE PLANS WERE OBTAINED FROM AVAILABLE RECORDS AND ARE CONSIDERED APPROXIMATE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY LOCATIONS, ELEVATIONS, AND DIMENSIONS OF ADJACENT AND/OR CONFLICTING UTILITIES SUFFICIENTLY IN ADVANCE OF CONSTRUCTION IN ORDER THAT ADJUSTMENTS CAN BE MADE TO PROVIDE ADEQUATE CLEARANCES. THE CONTRACTOR SHALL PRESERVE AND PROTECT PUBLIC UTILITIES AT ALL TIMES DURING CONSTRUCTION. ANY DAMAGE TO UTILITIES RESULTING FROM CONTRACTOR'S OPERATIONS SHALL BE RESTORED AT THE CONTRACTOR'S EXPENSE. THE ENGINEER SHALL BE NOTIFIED WHEN PROPOSED FACILITY GRADES CONFLICT WITH EXISTING UTILITY GRADES.
- THE CONTRACTOR SHALL IMMEDIATELY REPAIR OR REPLACE ANY PHYSICAL DAMAGE TO PRIVATE PROPERTY, INCLUDING, BUT NOT LIMITED TO FENCES, WALLS, PAVEMENT, GRASS, TREES, AND LAWN SPRINKLER AND IRRIGATION SYSTEMS AT NO COST TO THE OWNER. THIS WORK SHALL BE SUBSIDIARY TO THE CONTRACT (UNLESS OTHERWISE NOTED) AND IS NOT A SEPARATE PAY ITEM.
- THE CONTRACTOR SHALL REMOVE SURPLUS MATERIAL FROM THE PROJECT AREA. THIS WORK SHALL BE SUBSIDIARY TO THE CONTRACT AND IS NOT A SEPARATE PAY ITEM.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES A COPY OF THE CONTRACT DOCUMENTS INCLUDING PLANS, SPECIFICATIONS, AND SPECIAL CONDITIONS. COPIES OF ANY REQUIRED CONSTRUCTION PERMITS, EROSION CONTROL PLANS, SWPPP AND INSPECTION REPORTS.
- ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT AND ENGINEER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN SHALL BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND NOTIFICATION TO THE ENGINEER. NO CONSIDERATION WILL BE GIVEN TO CHANGE ORDERS FOR WHICH THE OWNER AND ENGINEER WERE NOT CONTACTED PRIOR TO CONSTRUCTION OF THE AFFECTED ITEM.
- ALL COPIES OF COMPACTION, CONCRETE AND OTHER REQUIRED TEST RESULTS SHALL BE SENT TO THE ARCHITECT, CIVIL ENGINEER, CONTRACTOR AND OWNER DIRECTLY FROM THE TESTING AGENCY.
- ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES, JURISDICTIONAL AGENCIES AND/OR UTILITY SERVICE COMPANIES SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICES.
- CONTRACTOR SHALL VERIFY BENCHMARKS AND DATUM PRIOR TO COMMENCING CONSTRUCTION OR STAKING OF IMPROVEMENTS.
- CONTRACTOR SHALL THOROUGHLY CHECK COORDINATION OF CIVIL, LANDSCAPE, MEP, ARCHITECTURAL, AND OTHER PLANS PRIOR TO COMMENCING CONSTRUCTION. OWNER AND ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCY PRIOR TO COMMENCING WITH CONSTRUCTION.
- ALL HORIZONTAL DIMENSIONS GIVEN ARE TO FACE OF CURB AND TO PIPE CENTERLINES UNLESS OTHERWISE NOTED ON PLANS.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING RELOCATION AND INSTALLATION OF FRANCHISE UTILITIES NECESSARY FOR ON AND OFF SITE CONSTRUCTION. PAYMENT FOR RELOCATION AND INSTALLATION WILL BE NEGOTIATED ONCE IDENTIFIED.
- ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE SHOWN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINKLING OR OTHER SUITABLE METHODS OF CONTROL. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
- UPON COMPLETION OF CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE THE CIVIL ENGINEER A COPY OF RECORD DRAWINGS IDENTIFYING ALL DEVIATIONS OR VARIATIONS FROM THE ORIGINAL PLANS.
- CONTRACTOR SHALL GIVE NOTICE TO ALL AFFECTED PARTIES AND ALL AUTHORIZED INSPECTORS, SUPERINTENDENTS, OR PERSONS IN CHARGE OF PRIVATE AND PUBLIC UTILITIES OR RAILROADS AFFECTED BY HIS OPERATIONS, AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF WORK.
- ALL "RECORD" DIMENSIONS SHALL CONFORM TO THE DESIGN DIMENSIONS PLUS OR MINUS 0.02 FEET. ALL "RECORD" SLOPES SHALL CONFORM TO THE DESIGNED SLOPES PLUS OR MINUS 0.005 FOOT/FOOT.
- CONTRACTOR SHALL CONTACT CITY BUILDING OFFICIAL TO LEARN OF ANY UNUSUAL CONSTRUCTION SEQUENCING REQUIREMENTS THAT THE CITY MAY REQUIRE. THE CONTRACTOR IS CAUTIONED THAT THIS AND PERHAPS OTHER SUCH REQUIREMENTS MAY EXIST AND IT IS THE CONTRACTOR'S RESPONSIBILITY TO INVESTIGATE AND COMPLY WITH THEM.

PAVING AND STRIPING NOTES

- THE REINFORCED PORTLAND CEMENT CONCRETE SHOULD HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS FOR STANDARD DUTY CONCRETE AND 4,000 PSI FOR HEAVY DUTY CONCRETE AND 4,000 PSI FOR DUMPSTER AREA CONCRETE, AND A MINIMUM REINFORCING OF #3 BARS @ 18" O.C.E.W. AND SHALL STRICTLY ADHERE TO DETAILS INCLUDED IN THIS SET. A BASE OF 6" MINIMUM SUB-GRADE PER THE GEOTECHNICAL REPORT IS REQUIRED BENEATH ALL PAVING.
- TESTING OF MATERIALS REQUIRED FOR THE CONSTRUCTION OF THE PAVING IMPROVEMENTS SHALL BE PERFORMED BY AN AGENCY, APPROVED BY THE OWNER, FOR TESTING MATERIALS. PROCUREMENT OF THE TESTING LABORATORY AND THE PAYMENT OF SUCH TESTING SERVICES SHALL BE MADE BY THE OWNER. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE, BY THE STANDARD TESTING PROCEDURES, THAT THE WORK CONSTRUCTED MEETS THE REQUIREMENTS OF THE CITY AND PROJECT SPECIFICATIONS.
- ALL SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE "TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".
- THE CONTRACTOR SHALL REVIEW LOCATION OF ALL TRAFFIC CONTROL DEVICES WITH THE OWNER PRIOR TO INSTALLATION.

- SEE M.E.P. PLANS FOR LOCATION OF PROPOSED SLEEVING AND CONDUITS.
- ALL HANDICAP RAMPING, STRIPING, AND PAVEMENT MARKINGS SHALL CONFORM TO THE MOST RECENT AMERICANS WITH DISABILITIES ACT AND THE TEXAS ARCHITECTURAL BARRIERS ACT , AND ALL ADDENDUMS OR UPDATES.
- CONTRACTOR SHALL SUBMIT A PAVEMENT JOINTING PLAN TO THE ENGINEER AND OWNER PRIOR TO THE BEGINNING OF ANY CONCRETE PAVING WORK.
- ANY EXISTING CONCRETE OR ASPHALT SHOWN TO BE REMOVED SHALL BE PROPERLY DISPOSED OF BY THE CONTRACTOR OFF SITE. THIS WORK SHALL BE SUBSIDIARY TO THE CONTRACT AND IS NOT A SEPARATE PAY ITEM.
- CONSTRUCTION JOINTS SHALL BE REQUIRED AT INTERRUPTIONS OF PAVING OPERATIONS SUCH AS THOSE OCCURRING AT THE END OF THE DAY OR DUE TO WEATHER OR EQUIPMENT BREAKDOWN. PLACE AT LONGITUDINAL CONSTRUCTION OR ISOLATION JOINT LOCATIONS.
- CONTRACTOR TO INSTALL CONSTRUCTION JOINTS IN CONCRETE PAVEMENT AT ALL PC'S AND AS CONVENIENT TO PHASING OF POURS. CONCRETE PAVEMENT TO BE CONSTRUCTED WITH ISOLATION JOINTS AROUND THE PERIMETER OF ANY BLOCK OUT IN PAVEMENT AND SAWED DUMMY JOINTS EVERY 12' IN BOTH DIRECTIONS.
- ALL JOINTS ARE TO CONTINUE THROUGH THE CURB.
- RADIAL JOINTS SHALL BE NO SHORTER THAN 24".
- ALL CONSTRUCTION JOINTS SHALL BE SAWED, CLEANED OF DEBRIS, BLOWN DRY AND IMMEDIATELY SEALED WITH HOT POURED RUBBER JOINT SEALING COMPOUND.

STORM SEWER NOTES

- CONTRACTOR SHALL FIELD VERIFY THE VERTICAL AND HORIZONTAL LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND CONSTRUCTION MANAGER IMMEDIATELY IF A CONFLICT IS DISCOVERED.
- CONTRACTOR SHALL VERIFY AND COORDINATE ALL DIMENSIONS SHOWN, INCLUDING THE HORIZONTAL AND VERTICAL LOCATION OF CURB INLETS, GRATE INLETS, AND ALL UTILITIES CROSSING THE STORM SEWER. FLOW LINES AND RIMS OF PROPOSED INLETS SHALL BE VERIFIED WITH THE PROPOSED GRADE PRIOR TO CONSTRUCTION.
- THE END OF ALL STORM SEWER LATERALS THAT CONNECT TO WORK BY PLUMBER SHALL BE TIGHTLY PLUGGED OR CAPPED AND MARKED 5.0 FEET OUTSIDE THE BUILDING UNTIL FINAL CONNECTIONS ARE MADE BY PLUMBING CONTRACTOR.
- THE SITE UTILITY CONTRACTOR SHALL PROVIDE ALL MATERIALS AND APPURTENANCES NECESSARY FOR COMPLETE INSTALLATION OF THE STORM SEWER.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL CONSTRUCTION PERMITS.
- THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL VERIFY THE SUITABILITY OF ALL EXISTING AND PROPOSED SITE CONDITIONS INCLUDING GRADES AND DIMENSIONS BEFORE COMMENCEMENT OF CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES.
- EXISTING MANHOLE TOPS AND ALL OTHER DRAINAGE FACILITIES SHALL BE ADJUSTED AS REQUIRED TO MATCH FINAL GRADES AS SHOWN ON GRADING PLAN. NO SEPARATE PAY ITEM.
- ALL RCP SHALL BE CLASS 3 OR APPROVED EQUAL.

STORM SEWER DISCHARGE AUTHORIZATION

- IF THE TOTAL DISTURBED AREA EXCEEDS ONE (1) ACRE A NOTICE OF INTENT (N.O.I.) SHALL BE SUBMITTED BY THE CONTRACTOR TO THE EPA NO LESS THAN 48 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES.
- ALL CONTRACTORS AND SUBCONTRACTORS PROVIDING SERVICES RELATED TO THE SWPPP SHALL SIGN A CONTRACTOR CERTIFICATION STATEMENT ACKNOWLEDGING THEIR RESPONSIBILITIES AS SPECIFIED IN THE SWPPP.
- A COPY OF THE SWPPP, INCLUDING CONTRACTOR CERTIFICATIONS AND ANY REVISIONS, SHALL BE SUBMITTED TO THE CITY AND FILED WITH THE CONSTRUCTION PLANS, AND SHALL BE RETAINED ON-SITE DURING CONSTRUCTION.
- A NOTICE OF TERMINATION (N.O.T.) SHALL BE SUBMITTED TO THE TCEQ BY THE CONTRACTOR WHEN THE SITE HAS 100% OF THE DISTURBED AREAS STABILIZED AND THE SITE NO LONGER HAS STORM WATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITIES (CONSTRUCTION), OR THE N.O.T. PERMITTEE OR CO-PERMITTEE NO LONGER HOLDS OPERATIONAL CONTROL OF THE CONSTRUCTION.

WATER NOTES

- EXISTING UTILITY DATA IS PROVIDED FOR INFORMATION ONLY. ALTHOUGH THIS DATA IS SHOWN AS ACCURATELY AS POSSIBLE, THE CONTRACTOR IS CAUTIONED THAT THE DEVELOPER AND THE ENGINEER NEITHER ASSUMES NOR IMPLIES ANY RESPONSIBILITY FOR THE ACCURACY OF THIS DATA.
- THE CONTRACTOR IS TO VERIFY LOCATION AND ELEVATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- HORIZONTAL AND VERTICAL BLOCKING FOR WATER LINES HAS BEEN OMITTED FOR CLARITY. HOWEVER, BLOCKING SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY STANDARDS AND SPECIFICATIONS.
- TRENCHES WHICH LAY OUTSIDE EXISTING OR FUTURE PAVEMENTS SHALL BE BACK FILLED ABOVE THE TOP OF THE EMBEDMENT WITH TYPE 'C' BACKFILL MATERIALS. WHEN TYPE 'C' BACKFILL MATERIAL IS NOT SUITABLE AND AT THE DIRECTION OF THE ENGINEER TYPE 'B' MATERIAL SHALL BE USED. ALL BACKFILL MATERIAL SHALL BE COMPACTED TO A MINIMUM OF 90% PROCTOR DENSITY BY MEANS OF TAMPING ONLY. TRENCHES WHICH CROSS UNDER EXISTING OR FUTURE PAVEMENT SHALL BE BACK FILLED PER FIGURE 'A' WITH 95% PROCTOR STANDARD DENSITY OF -2, -44 OF OPTIMUM MOISTURE CONTENT.
- TOP OF WATER LINES SHALL BE A MINIMUM OF 48" BELOW TOP OF CURB EXCEPT WHERE SHOWN OTHERWISE IN THESE PLANS.
- FIRE HYDRANTS SHALL BE A MINIMUM 3' BEHIND THE FACE OF THE CURB UNLESS OTHERWISE DIRECTED BY THE CITY. FIRE HYDRANTS AND VALVES AS SHOWN ON THESE PLANS ARE SYMBOLIC ONLY.
- CORPORATION STOPS SHALL BE TESTED FOR FULL FLOW WHEN THE SYSTEM IS PRESSURE TESTED.
- ALL NEW WATER MAINS SHALL BE FULLY PURGED.
- ALL 6", 8", 10" & 12" WATER MAINS SHALL BE PVC AWWA C900, DR-18. ALL WATER MAINS USING POLY-WRAPPED DUCTILE IRON PIPE SHALL BE CLASS 51.
- FITTINGS SHALL BE PER THE CITY OF ALBUQUERQUE STANDARDS AND DETAILS.

SANITARY SEWER NOTES

- EXISTING UTILITY DATA IS PROVIDED FOR INFORMATION ONLY. ALTHOUGH THIS DATA IS SHOWN AS ACCURATELY AS POSSIBLE, THE CONTRACTOR IS CAUTIONED THAT THE DEVELOPER AND THE ENGINEER NEITHER ASSUMES NOR IMPLIES ANY RESPONSIBILITY FOR THE ACCURACY OF THIS DATA.
- THE CONTRACTOR IS TO VERIFY LOCATION AND ELEVATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.

- TRENCHES WHICH LIE OUTSIDE EXISTING PAVEMENTS SHALL BE BACKFILLED ABOVE THE TOP OF THE EMBEDMENT WITH TYPE 'C' BACKFILL MATERIAL. WHEN TYPE 'C' BACKFILL MATERIAL IS NOT SUITABLE AND AT THE DIRECTION OF THE ENGINEER, TYPE 'B' MATERIAL SHALL BE USED. ALL BACKFILL MATERIAL SHALL BE COMPACTED TO A MINIMUM OF 90% OF THE MAXIMUM DRY DENSITY BY MEANS OF TAMPING ONLY. TRENCHES THAT CROSS UNDER EXISTING OR FUTURE PAVEMENT SHALL BE BACKFILLED AND COMPACTED TO A MINIMUM OF 95% OF THE MAXIMUM DRY DENSITY WITH MOISTURE CONTENT-2 AND +4% OF OPTIMUM MOISTURE CONTENT.
- TYPICAL LOCATION OF SANITARY SEWER PIPE SHALL BE A MINIMUM OF 4'-0" BELOW TOP OF CURB EXCEPT WHERE SHOWN OTHERWISE IN THESE PLANS.
- ALL FLEXIBLE SANITARY SEWER MAINS SHALL BE TESTED WITH STANDARD 5% DEFLECTION MANDREL.
- ALL SANITARY SEWER LINES SHALL BE CAPPED WITH AN APPROPRIATE CAP AT THE END OF EACH WORKDAY.
- WHEN EXISTING GRADES ARE LOWER THAN PROPOSED MAINS, THE FILL AREA OVER THE PIPE SHALL BE FILLED AND COMPACTED TO A MINIMUM OF 95% OF THE MAXIMUM DRY DENSITY TO THE PROPOSED FINISHED GRADE PRIOR TO INSTALLING ANY MAIN.
- ALL SEWER SERVICES SHALL BE CONSTRUCTED OF SDR-35 PIPE.

TRAFFIC CONTROL NOTES

- CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL PLANS TO THE OWNER AND CITY, AT LEAST 48 HOURS PRIOR TO CONSTRUCTION ACTIVITY.
- ALL TRAFFIC CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (TMUTCD), LATEST VERSION.
- THE CONTRACTOR SHALL COVER EXISTING SIGNS AND OBLITERATE EXISTING PAVEMENT MARKINGS THAT CONFLICT WITH THE INTENT OF THESE TRAFFIC CONTROL PLANS TO AVOID CONFUSION TO THE TRAVELING PUBLIC.
- THE CONTRACTOR SHALL UNCOVER EXISTING SIGNS AND REPLACE PAVEMENT MARKINGS IN-KIND AS ORIGINALLY CONFIGURED AT THE END OF CONSTRUCTION OPERATIONS AND PRIOR TO FINAL ACCEPTANCE BY THE OWNER.
- ALL TEMPORARY SIGNS, BARRICADES, WARNING LIGHTS AND OTHER MISCELLANEOUS TRAFFIC CONTROL MEASURES SHALL BE REMOVED AND ORIGINAL TRAFFIC CONTROL MEASURES REPLACED AT THE END OF THE CONTRACTOR'S CONSTRUCTION OPERATIONS.

EROSION CONTROL NOTES

- THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE, AND LOCAL EROSION, CONSERVATION, AND SILTATION ORDINANCES. THE CONTRACTOR SHALL USE SEDIMENT FILTERS OR OTHER MEASURES APPROVED BY THE ENGINEER AND CONSTRUCTION MANAGER TO PREVENT SILT AND CONSTRUCTION DEBRIS FROM CLOGGING STORM SEWER PIPES OR PROPOSED OR EXISTING INLETS, OR FROM BEING TRANSPORTED TO ADJACENT PROPERTIES AND STREET RIGHT-OF-WAYS. ALL EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO SITE DISTURBANCE AND SHALL REMAIN IN PLACE UNTIL FINAL GRADING AND PAVING IS COMPLETE AND PERMANENT SOIL STABILIZATION IS ACHIEVED.
- CONSTRUCTION OPERATIONS SHALL BE MANAGED SO THAT AS MUCH OF THE SITE AS POSSIBLE IS LEFT COVERED WITH EXISTING TOPSOIL AND VEGETATION.
- ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH. THE AREAS SHALL THEN BE SEEDED (OR SODDED), IRRIGATED, AND MAINTAINED UNTIL PERMANENT STAND OF GRASS IS ACHIEVED WITH A MINIMUM OF 100% COVERAGE AND 70% DENSITY. UNLESS OTHERWISE NOTED, PRIVATE LAWN AREAS AND PARKWAYS IN FRONT OF PRIVATE LAWN AREAS DISTURBED BY CONSTRUCTION SHALL BE REPLACED WITH BLOCK SOD SIMILAR TO THAT EXISTING.
- CONTRACTOR SHALL CONSTRUCT A STABILIZED CONSTRUCTION ENTRANCE AT ALL PRIMARY POINTS OF ACCESS. CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION TRAFFIC UTILIZES THE STABILIZED ENTRANCE AT ALL TIMES FOR INGRESS/EGRESS TO THE SITE.
- CONSTRUCTION ENTRANCE:
 - MINIMUM SIZE STONE: 5-INCHES DIAMETER
 - THICKNESS: NOT LESS THAN 8-INCHES
 - LENGTH: AS SHOWN ON PLAN
 - WIDTH: NOT LESS THAN FULL WIDTH OF ALL POINTS OF INGRESS AND EGRESS.
 - MAINTENANCE REQUIREMENTS: AS NECESSARY TO PREVENT TRACKING OR FLOWING MUD INTO PUBLIC RIGHT-OF-WAY OR PARKING AREAS.
- SITE ENTRY AND EXIT LOCATIONS SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADWAYS. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ON A PUBLIC ROADWAY SHALL BE REMOVED IMMEDIATELY. WHEN WASHING IS REQUIRED TO REMOVE SEDIMENT PRIOR TO ENTRANCE TO A PUBLIC ROADWAY, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT BASIN. ALL FINES IMPOSED FOR TRACKING ONTO PUBLIC ROADS SHALL BE PAID BY THE CONTRACTOR.
- CONTRACTOR IS RESPONSIBLE FOR PROPER MAINTENANCE OF THE REQUIRED EROSION CONTROL DEVICES THROUGHOUT THE ENTIRE CONSTRUCTION PROCESS. EROSION CONTROLS SHALL BE REPAIRED OR REPLACED AS INSPECTION DEMS NECESSARY, OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE. ACCUMULATED SILT IN ANY EROSION CONTROL DEVICE SHALL BE REMOVED AND SHALL BE DISTRIBUTED ON SITE IN A MANNER NOT CONTRIBUTING TO ADDITIONAL SILTATION. THE CONTRACTOR IS RESPONSIBLE FOR RE-ESTABLISHING ANY EROSION CONTROL DEVICE WHICH IS DISTURBED.
- THE CONTRACTOR SHALL MAINTAIN ADEQUATE SITE DRAINAGE DURING ALL PHASES OF CONSTRUCTION. THE CONTRACTOR SHALL USE FILTER BARRIER (OR OTHER METHOD APPROVED BY THE ENGINEER AND CITY) AS REQUIRED TO PREVENT ADVERSE OFF SITE IMPACTS OR STORM WATER QUALITY FROM SILT AND CONSTRUCTION DEBRIS FLOWING ONTO ADJACENT PROPERTIES AS REQUIRED BY THE CITY.
- BEFORE ANY EARTHWORK IS DONE, THE CONTRACTOR SHALL STAKE OUT AND MARK THE LIMITS OF CONSTRUCTION AND OTHER ITEMS ESTABLISHED BY THE PLANS. THE CONTRACTOR SHALL PROTECT AND PRESERVE CONTROL POINTS AT ALL TIMES DURING THE COURSE OF THE PROJECT. THE GRADING CONTRACTOR SHALL PROVIDE ALL NECESSARY ENGINEERING AND SURVEYING FOR LINE AND GRADE CONTROL POINTS RELATED TO EARTHWORK.
- CONTRACTOR STAGING AREA TO BE AGREED UPON BY OWNER PRIOR TO BEGINNING CONSTRUCTION.
- THE CONTRACTOR MUST REVIEW AND MAINTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN WITH ALL CONDITIONS, ATTACHMENTS, EXHIBITS, AND PERMIT MODIFICATIONS IN GOOD CONDITION AT THE CONSTRUCTION SITE. THE COMPLETE PERMIT MUST BE AVAILABLE FOR REVIEW UPON REQUEST BY THE T.C.E.Q. OR THE GOVERNING CITY.

GRADING NOTES

- IF A GRADING PERMIT IS REQUIRED FROM THE CITY PRIOR TO STARTING CONSTRUCTION, CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMIT AND PAYING ALL ASSOCIATED FEES.
- CONTRACTOR SHALL FIELD VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING UTILITIES (SHOWN OR NOT SHOWN) WITHIN SCOPE OF CONSTRUCTION. IF ANY EXISTING UTILITIES ARE DAMAGED, THE CONTRACTOR SHALL REPLACE THEM AT HIS OWN EXPENSE.
- ALL SPOT ELEVATIONS SHOWN ARE TO TOP OF PAVING SURFACE OR FINISHED EARTH GRADE UNLESS NOTED OTHERWISE.

- CONTRACTOR TO ENSURE POSITIVE DRAINAGE FROM THE EXISTING AND PROPOSED BUILDINGS AND NO PONDING IN PAVED AREAS. CONTRACTOR ADJUSTMENTS TO SPOT GRADES TO MAINTAIN POSITIVE DRAINAGE IS ALLOWED WITH THE PRIOR APPROVAL OF THE ENGINEER. CONTRACTOR SHALL CONTACT THE ENGINEER PRIOR TO PAVING IF ANY AREAS OF POOR DRAINAGE ARE ENCOUNTERED.
- THE CONTRACTOR SHALL PROTECT ALL MANHOLE COVERS, VALVE COVERS, VAULT LIDS, FIRE HYDRANTS, POWER POLES, GUY WIRES, AND TELEPHONE BOXES WHICH ARE TO REMAIN IN PLACE AND UNDISTURBED DURING CONSTRUCTION.
- ALL EXISTING CONCRETE PAVING, CHANNEL IMPROVEMENTS, SIDEWALK, STRUCTURES AND CURB DEMOLITION SHALL BE REMOVED IN THEIR ENTIRETY AND DISPOSED OF BY THE CONTRACTOR, OFFSITE UNLESS OTHERWISE DIRECTED BY THE OWNER OR ENGINEER.
- ALL CLEARING, GRADING, COMPACTION AND SUBGRADE PREPARATION SHALL BE IN ACCORDANCE TO THE GEOTECHNICAL REPORT.
- GRADING CONTRACTOR TO COORDINATE WITH THE FRANCHISE UTILITY COMPANIES FOR ANY REQUIRED UTILITY ADJUSTMENTS AND/OR RELOCATIONS.
- THE CONTRACTOR SHALL CALCULATE HIS OWN EARTHWORK QUANTITIES AND USE TO DETERMINE HIS BID ACCORDINGLY.

REV	DATE	DESCRIPTION	ISSUE REF

1105 CHEEK SPARGER RD.
SUITE #1
PHONE: 817.281.0572
COLLEEVILLE, TX 76034
WWW.CLAYMOOREENG.COM



CLAY MOORE
ENGINEERING

GREATHER SOUTHWEST REGION

OFFICE ADDRESS 511 E JOHN CARPENTER FRWY SUITE 375, IRVING, TX 75062

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ALBUQUERQUE, NM 87104

McDONALD'S L/C: 030-0018
CLAYMOORE ENG. NO. 2013-0072

PLAN APPROVALS		DATE	BY
SIGNATURE (2 REQUIRED)			
REGIONAL MGR.			
CONST. MGR.			
OPERATIONS DEPT.			
REAL ESTATE DEPT.			
CONTRACTOR			
OWNER			

STATUS	DATE	BY
DATE DRAWN	5/27/14	ASD
PLAN CHECKED	5/27/14	MAM
ASBUILT		

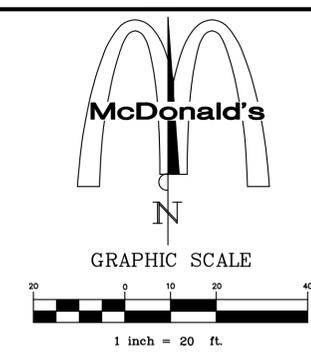
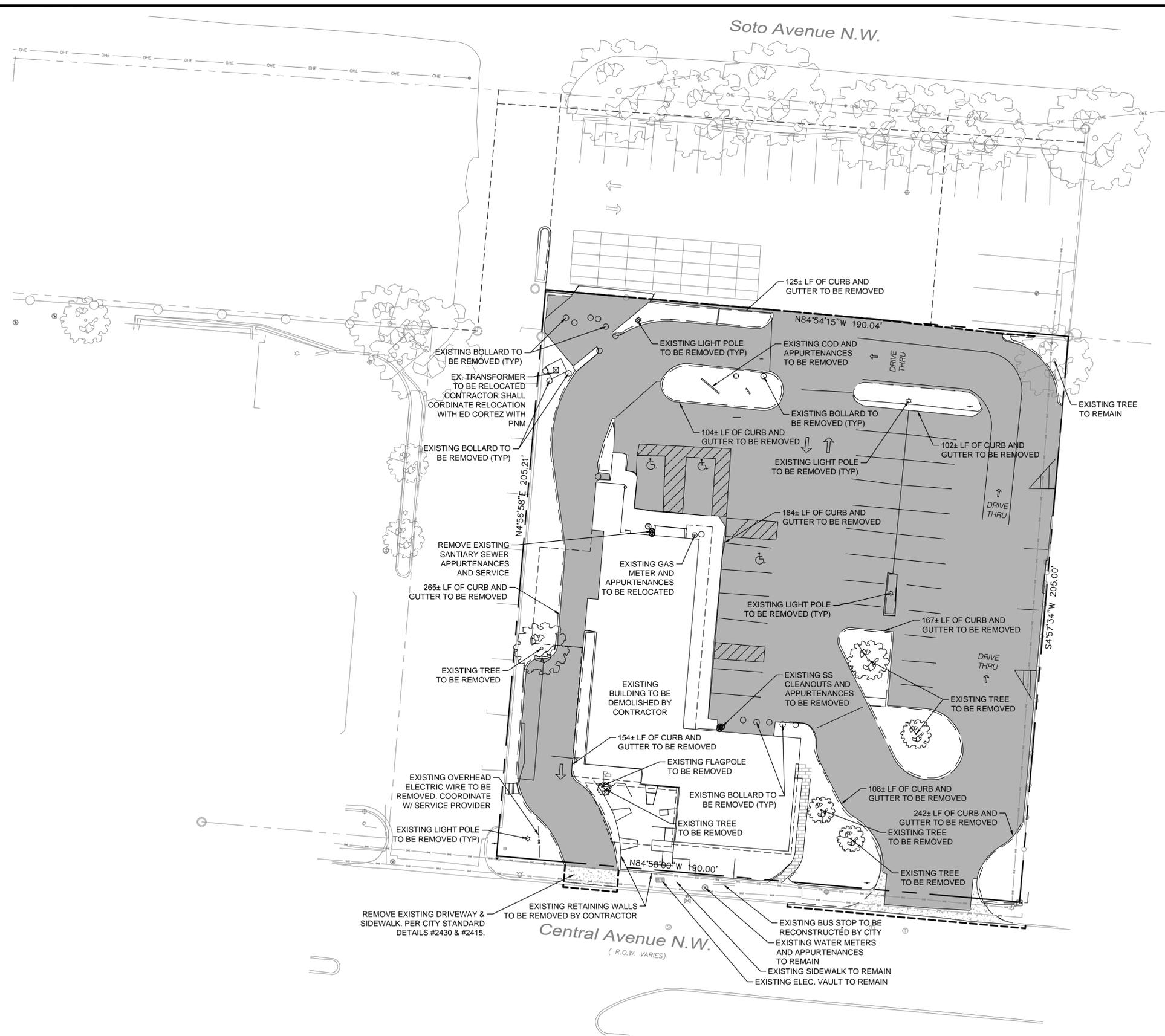
BENCHMARK DESCRIPTION

A.G.R.S. MONUMENT "12_112"
STANDARD A.G.R.S. BRASS TABLET
(FOUND IN PLACE)
NEW MEXICO STATE PLANE COORDINATES
(CENTRAL ZONE-N.A.D. 1983)
N=1,490,348.740
E=1,513,276.047
PUBLISHED EL=4955.235 (NAVD 1988)
GROUND TO GRID FACTOR=0.999685396
DELTA ALPHA ANGLE=0°14'39.76"

SURVEY INFORMATION:	
PREPARED BY: PRECISION SURVEYS INC.	LEGAL DESCRIPTION: LOT 5-B OF THE REPLAT OF LOTS 5, 6, 7, 8, 9, 10, 11 AND THE EAST 40 FEET OF LOTS 12 AND 26, LOTS 27, 28, 29, 30, 31, 32 AND 33 OF BLOCK 2 OF THE REPLAT OF BLOCKS 1 AND 2, TRACTION PARK ADDITION
ADDITION:	
NEW CONSTRUCTION	
ADDRESS: 2305 CENTRAL AVE	
CITY: ALBUQUERQUE	STATE: NEW MEXICO
COUNTY BERNALILLO	SURVEY: ABSTRACT NO.
L/C NUMBER: 030-0018	SHEET NAME GENERAL NOTES
SHEET NO. C-1	

PLOTTED BY: Drew PLOT DATE: May 28, 2014 - 6:47am
 LOCATION: \\CLAYMOORE\Projects\Projects\0315-072_McDonald's Albuquerque Old Town\CADD\SHEET\TSC-1_GENERAL NOTES.dwg
 LAST SAVED: 27/2014 5:15 PM

PLOTTED BY: Draw PLOT DATE: May 28, 2014 - 6:47pm
 LOCATION: \CLAYMOORE\AS\Projects\0313-072 McDonald's Albuquerque Old Town\CADD\SHEET\SC-2 DEMOLITION PLAN.dwg
 LAST SAVED: 5/27/2014 10:34 AM



LEGEND	
	EXISTING ASPHALT PAVEMENT TO BE REMOVED
	EXISTING CONCRETE PAVEMENT TO BE REMOVED
	EXISTING SIDEWALK TO BE REMOVED
	FULL-DEPTH SAWCUT

BENCHMARK DESCRIPTION

A.G.R.S. MONUMENT "12_112"
 STANDARD A.G.R.S. BRASS TABLET
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ADDRESS: 2305 CENTRAL AVE	
CITY: ALBUQUERQUE	STATE: NEW MEXICO
COUNTY: BERNALILLO	SURVEY: ABSTRACT NO.
L/C NUMBER: 030-0018	SHEET NAME: DEMOLITION PLAN

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Wm. A. Moore
NEW MEXICO
21165
PROFESSIONAL ENGINEER

OFFICE	GREATER SOUTHWEST REGION
ADDRESS	511 E JOHN CARPENTER FRWY SUITE 375, IRVING, TX 75062

MCDONALD'S

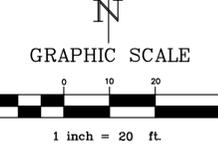
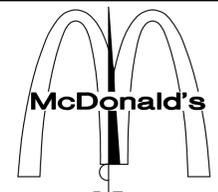
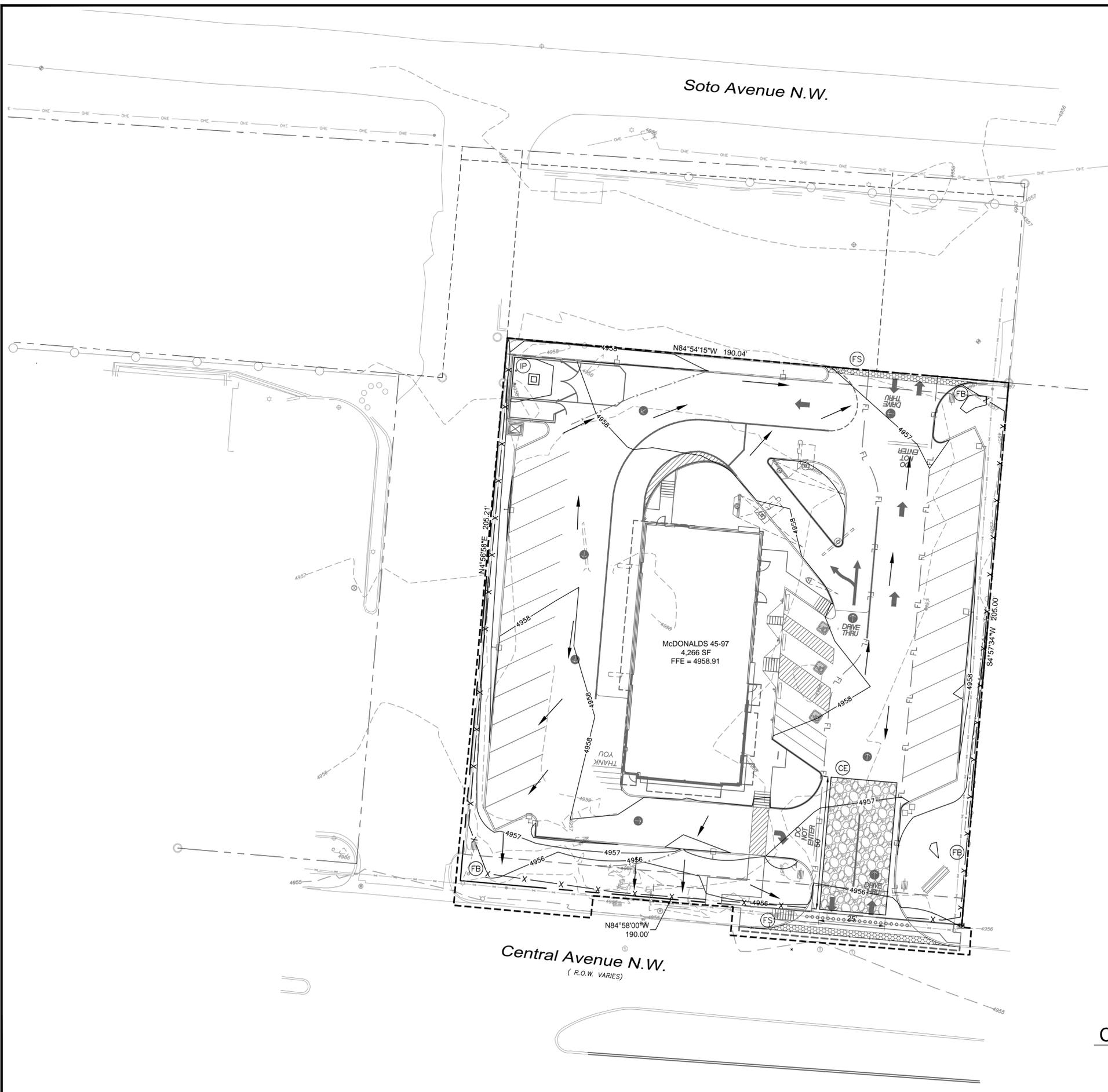
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PLAN APPROVALS		DATE
SIGNATURE (2 REQUIRED)		DATE
REGIONAL MGR.	CONST. MGR.	
OPERATIONS DEPT.	REAL ESTATE DEPT.	
CO-SIGN SIGNATURE		
CONTRACTOR	OWNER	

STATUS	DATE	BY	
DATE DRAWN	5/27/14	ASD	
PLAN CHECKED	5/27/14	MAM	
ASBUILT			

SHEET NO.	
C-2	

PLOTTED BY: Drew PLOT DATE: May 28, 2014 - 6:48pm
 LOCATION: V:\CLAYMOORE\AS\Projects\0313-072 McDonald's Albuquerque Old Town\CADD\SHEET\SC-3 EROSION CONTROL PLAN.dwg
 LAST SAVED: 5/27/2014 10:41 AM



LEGEND

	DIRECTION OF FLOW
	EXISTING CONTOUR
	PROPOSED CONTOUR
	FILTER BARRIER
	CONSTRUCTION ENTRANCE
	LIMITS OF CONSTRUCTION
	FILTER SOCK
	INLET PROTECTION

ACREAGE SUMMARY

ON-SITE DISTURBED AREA	0.89 AC
OFF-SITE DISTURBED AREA	0.04 AC
TOTAL DISTURBED AREA	0.93 AC

BENCHMARK DESCRIPTION

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ADDITION: NEW CONSTRUCTION	
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CITY: ALBUQUERQUE	STATE: NEW MEXICO
COUNTY: BERNALILLO	SURVEY: ABSTRACT NO.
L/C NUMBER: 030-0018	SHEET NAME: EROSION CONTROL PLAN

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CLAYMOORE ENGINEERING

MTY A. MOORE
 NEW MEXICO
 21165
 PROFESSIONAL ENGINEER
date 5/27/14

OFFICE: GREATER SOUTHWEST REGION
 ADDRESS: 511 E JOHN CARPENTER FRWY SUITE 375, IRVING, TX 75062

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McDONALD'S L/C: 030-0018
 CLAYMOORE ENG. NO. 2013-072

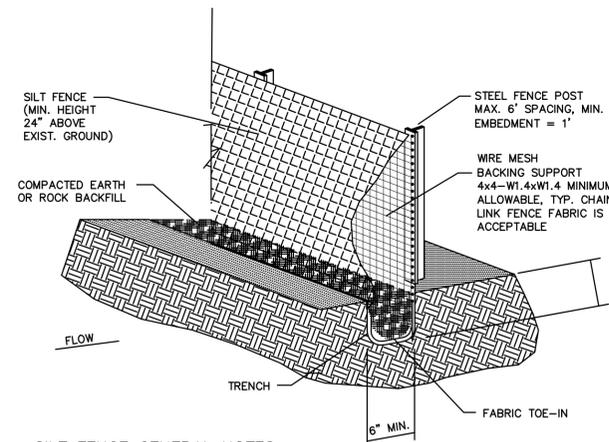
PLAN APPROVALS	SIGNATURE (2 REQUIRED)	DATE
REGIONAL MGR.		
CONST. MGR.		
OPERATIONS DEPT.		
REAL ESTATE DEPT.		
CONTRACTOR	CO-SIGN SIGNATURE	
OWNER		

STATUS	DATE	BY
DATE DRAWN	5/27/14	ASD
PLAN CHECKED	5/27/14	MAM
ASBUILT		

SHEET NO. C-3

STANDARD EROSION CONTROL GENERAL NOTES

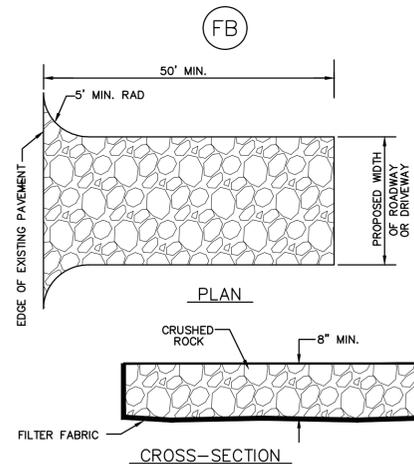
1. EROSION CONTROL DEVICES AS SHOWN ON THE EROSION CONTROL PLAN FOR THE PROJECT SHALL BE INSTALLED PRIOR TO THE START OF LAND DISTURBING ACTIVITIES ON THE PROJECT.
2. ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS FOR THE PROJECT. CHANGES ARE TO BE APPROVED BEFORE CONSTRUCTION BY THE DESIGN ENGINEER AND THE CITY OF ALBUQUERQUE.
3. IF THE EROSION CONTROL PLAN AS APPROVED CANNOT CONTROL EROSION AND OFF-SITE SEDIMENTATION FROM THE PROJECT THE EROSION CONTROL PLAN WILL BE REQUIRED TO BE REVISED AND/OR ADDITIONAL EROSION CONTROL DEVICES WILL BE REQUIRED ON SITE.
4. IF OFF-SITE BORROW OR SPOILS SITES ARE USED IN CONJUNCTION WITH THIS PROJECT, THIS INFORMATION SHALL BE DISCLOSED AND SHOWN ON THE EROSION CONTROL PLAN. OFF-SITE BORROW AND SPOILS AREAS ARE CONSIDERED PART OF EROSION CONTROL REQUIREMENTS. THESE AREAS SHALL BE STABILIZED WITH GROUND COVER PRIOR TO FINAL APPROVAL OF THE PROJECT.
5. INSPECTIONS SHALL BE MADE WEEKLY AND AFTER RAIN STORM EVENTS TO INSURE THAT THE DEVICES ARE FUNCTIONING PROPERLY. WHEN SEDIMENT OR MUD HAS CLOGGED THE VOID SPACES BETWEEN STONES OR MUD IS BEING TRACKED ONTO A PUBLIC ROADWAY THE AGGREGATE PAD MUST BE WASHED DOWN OR REPLACED. RUNOFF FROM THE WASH DOWN OPERATION HALL SHALL NOT BE ALLOWED TO DRAIN DIRECTLY OFF SITE WITHOUT FIRST FLOWING THROUGH ANOTHER BMP TO CONTROL OFF SITE SEDIMENTATION. PERIODIC RE-GRADING OR THE ADDITION OF NEW STONE MAY BE REQUIRED TO MAINTAIN THE EFFICIENCY OF THE INSTALLATION.
6. CONTRACTOR SHALL HAVE A COPY THE SWPPP ON SITE AT ALL TIMES.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTAL OF N.O.I., N.O.T. AND ANY ADDITIONAL INFORMATION REQUIRED BY THE E.P.A. CONTRACTOR SHALL COMPLY WITH ALL E.P.A. STORM WATER POLLUTION PREVENTION REQUIREMENTS.



SILT FENCE GENERAL NOTES

1. STEEL POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. POST MUST BE EMBEDDED A MINIMUM OF ONE FOOT.
2. THE TOE OF THE SILT FENCE SHALL BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER, SO THAT THE DOWN SLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW. WHERE FENCE CANNOT BE TRENCHED IN (E.G. PAVEMENT), WEIGHT FABRIC FLAP WITH ROCK ON UPHILL SIDE TO PREVENT FLOW FROM SEEPING UNDER FENCE.
3. THE TRENCH MUST BE A MINIMUM OF 6 INCHES DEEP AND 6 INCHES WIDE TO ALLOW FOR THE SILT FENCE FABRIC TO BE LAID IN THE GROUND AND BACKFILLED WITH COMPACTED MATERIAL.
4. SILT FENCE SHOULD BE SECURELY FASTENED TO EACH STEEL SUPPORT POST OR TO WOVEN WIRE, WHICH IN TURN IS ATTACHED TO THE STEEL FENCE POST. THERE SHALL BE A 3 FOOT OVERLAP, SECURELY FASTENED WHERE ENDS OF FABRIC MEET.
5. INSPECTION SHALL BE MADE EVERY WEEK AND AFTER EACH 1/2" RAINFALL. REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
6. SILT FENCE SHALL BE REMOVED WHEN THE SITE IS COMPLETELY STABILIZED SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.
7. ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF HALF THE HEIGHT OF THE FENCE. THE SILT SHALL BE DISPOSED OF AT AN APPROVED SITE AND IN SUCH A MANNER AS TO NOT CONTRIBUTE TO ADDITIONAL SILTATION.

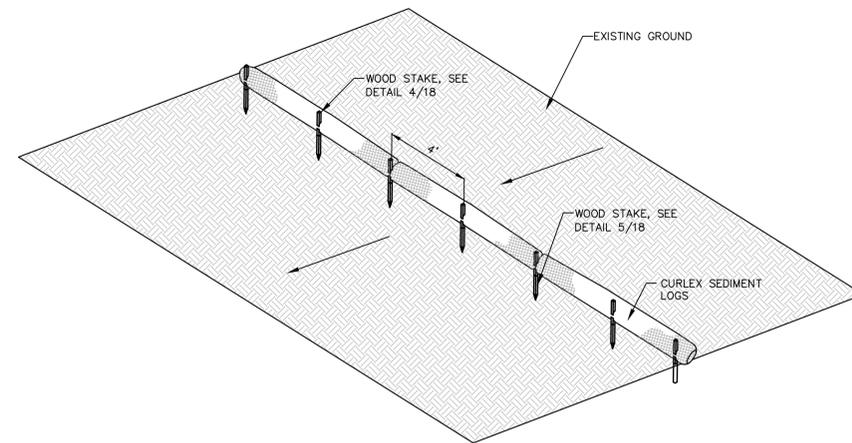
CONSTRUCTION OF A FILTER BARRIER
N.T.S.



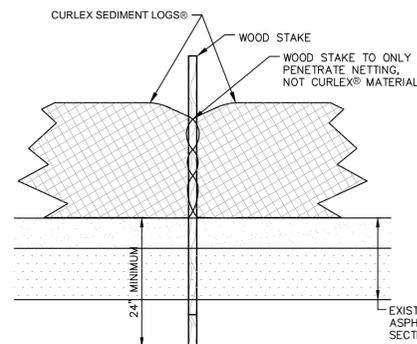
CONSTRUCTION ENTRANCE NOTES:

1. STONE SIZE - 5 INCHES (MIN) ROCK.
2. LENGTH - AS EFFECTIVE, BUT NOT LESS THAN 50 FEET.
3. THICKNESS - NOT LESS THAN 8 INCHES.
4. WIDTH - NOT LESS THAN 25 FEET OF ALL POINTS OF INGRESS OR EGRESS.
5. WASHING - WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC ROADWAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED TRAP OR SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH OR WATERCOURSE USING APPROVED METHODS.
6. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADWAYS. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC ROADWAY, MUST BE REMOVED IMMEDIATELY.
7. DRAINAGE - ENTRANCE MUST BE PROPERLY GRADED OR INCORPORATE A DRAINAGE SWALE TO PREVENT RUNOFF FROM LEAVING THE CONSTRUCTION SITE.
8. CONTRACTOR TO COORDINATE EXACT LOCATION OF THIS DETAIL.

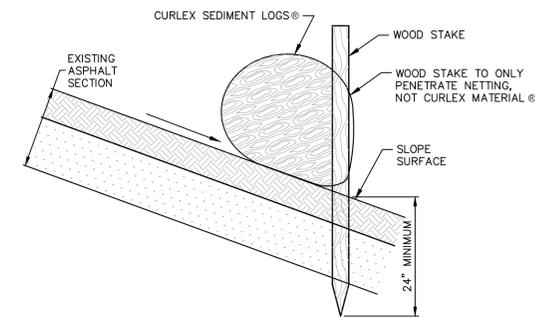
CONSTRUCTION ENTRANCE
N.T.S.



ISOMETRIC PLAN VIEW

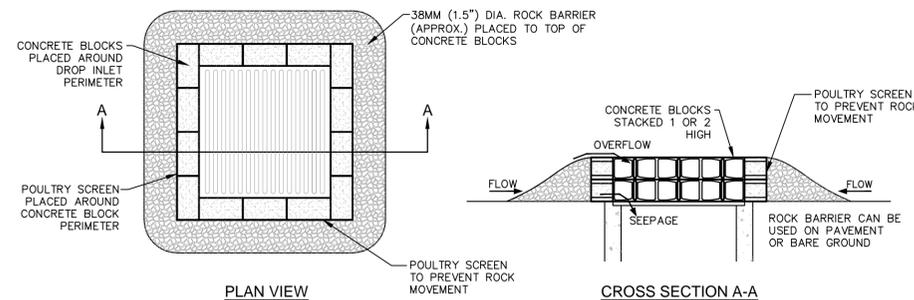


STAKE DETAIL (FRONT VIEW)



STAKE DETAILS (ON BARE SOIL)

FILTER SOCK DETAIL
N.T.S.



GRATE INLET PROTECTION DETAIL
N.T.S.

BENCHMARK DESCRIPTION

A.G.R.S. MONUMENT "12_J12"
STANDARD A.G.R.S. BRASS TABLET
(FOUND IN PLACE)
NEW MEXICO STATE PLANE COORDINATES
(CENTRAL ZONE-N.A.D. 1983)
N=1,490,348.740
E=1,513,276.047
PUBLISHED EL=4955.235 (NAVD 1988)
GROUND TO GRID FACTOR= 0.999685396
DELTA ALPHA ANGLE=-0°14'39.76"

EROSION CONTROL SCHEDULE AND PHASING

THE PROJECT SHALL GENERALLY CONFORM TO THE FOLLOWING:

PHASE 1 - DEMOLITION/GRADING

1. CONSTRUCT TEMPORARY CONSTRUCTION ENTRANCE, SILT FENCE, AND TREE PROTECTION FENCE ACCORDING TO THE APPROXIMATE LOCATION SHOWN ON GRADING AND EROSION CONTROL PLAN, NOTES, AND DETAIL SHEETS.
2. BEGIN CLEARING AND GRADING OF SITE.
3. SEED AND REVEGETATE SLOPES WHERE SHOWN.

PHASE 2 - UTILITIES

1. KEEP ALL STORM WATER POLLUTION PREVENTION MEASURES IN PLACE.
2. INSTALL STORM DRAINS AS SPECIFIED ON PLAN SHEETS.
3. INSTALL INLET PROTECTION.

PHASE 3 - PAVING

1. KEEP ALL STORM WATER POLLUTION PREVENTION MEASURES IN PLACE. REMOVE AS NEEDED TO PAVE.
2. STABILIZE SUBGRADE.
3. PAVE PARKING LOT AND SIDEWALKS AS SPECIFIED ON PLAN SHEETS.
4. REMOVE TEMPORARY CONSTRUCTION ENTRANCE.
5. MAINTAIN INLET PROTECTION.

PHASE 4 - LANDSCAPING AND SOIL STABILIZATION

1. REVEGETATE LOT AND PARKWAYS
2. LANDSCAPE CONTRACTOR SHALL REVEGETATE ALL AREAS RESERVED FOR LANDSCAPE VEGETATIVE COVERS.
3. REMOVE EROSION CONTROL DEVICES WHEN GROUND COVER ESTABLISHED.

B.M.P. MAINTENANCE SCHEDULE

TEMPORARY STONE CONSTRUCTION ENTRANCE/EXIT:

INSPECTIONS SHALL BE MADE WEEKLY AND AFTER RAIN STORM EVENTS TO ENSURE THAT THE FACILITY IS FUNCTIONING PROPERLY. AGGREGATE PAD SHALL BE WASHED DOWN OR REPLACED WHEN SEDIMENT OR MUD HAS CLOGGED THE VOID SPACES BETWEEN THE STONES OR MUD IS BEING TRACKED ONTO THE PUBLIC ROADWAY. RUNOFF FROM WASH DOWN OPERATION SHALL BE FILTERED THROUGH ANOTHER B.M.P. PRIOR TO DRAINING OFF-SITE.

SILT FENCE:

INSPECTIONS SHALL BE MADE WEEKLY AND AFTER RAIN STORM EVENTS. SEDIMENT SHALL BE REMOVED FROM BEHIND THE FENCE WHEN THE DEPTH OF SEDIMENT HAS BUILT UP TO ONE-THIRD THE HEIGHT OF THE FENCE ABOVE GRADE. FENCE SHALL BE INSPECTED FOR GAPS AT BASE. INSPECT SUPPORTING POSTS AND FILTER FABRIC. REPLACE IF REQUIRED.

INLET PROTECTION:

INSPECTIONS SHALL BE MADE WEEKLY AND AFTER RAIN STORM EVENTS TO ENSURE THAT THE DEVICE IS FUNCTIONING PROPERLY. SEDIMENT SHALL BE REMOVED FROM THE STORAGE AREA WHEN SEDIMENT DEPTH HAS BUILT UP TO ONE-HALF THE DESIGN DEPTH. IF DE-WATERING OF THE STORAGE VOLUME IS NOT OCCURRING, CLEAN OR REPLACE THE FILTER STONE SURROUNDING THE INLET. CLEAN THE STONE SURFACE THE FIRST FEW TIMES BY RAKING. REPEATED SEDIMENT BUILD-UP WILL REQUIRE FILTER STONE REPLACEMENT.

ISSUE REF: []
BY: []
DESCRIPTION: []
REV: [] DATE: []

1105 CHEEK SPARGER RD.
SUITE #1
PHONE: 817.281.0572
COLLEYSVILLE, TX 76034
WWW.CLAYMOOREENG.COM

CLAY MOORE ENGINEERING

NEW MEXICO
21165
PROFESSIONAL ENGINEER
dalt dtc 5/27/14

GREATHER SOUTHWEST REGION
OFFICE ADDRESS: 511 E JOHN CARPENTER FRWY SUITE 375, IRVING, TX 75062

MCDONALD'S

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2305 CENTRAL AVE
ALBUQUERQUE, NM 87104

MCDONALD'S L/C: 030-0018
CLAYMOORE ENG. NO. 2013-072

PLAN APPROVALS

DATE	SIGNATURE (2 REQUIRED)	REGIONAL MGR.	CONST. MGR.	OPERATIONS DEPT.	REAL ESTATE DEPT.	CONTRACTOR	OWNER

CO-SIGN SIGNATURE

STATUS: [] DATE: [] BY: []
DATE DRAWN: 5/27/14 ASD
PLAN CHECKED: 5/27/14 MAM
ASBUILT

SHEET NO. []

SURVEY INFORMATION:

PREPARED BY: PRECISION SURVEYS INC.
LEGAL DESCRIPTION: LOT 5-B OF THE REPLAT OF LOTS 5, 6, 7, 8, 9, 10, 11 AND THE EAST 40 FEET OF LOTS 12 AND 26, LOTS 27, 28, 29, 30, 31, 32 AND 33 OF BLOCK 2 OF THE REPLAT OF BLOCKS 1 AND 2, TRACTION PARK ADDITION

ADDITION: []

NEW CONSTRUCTION

ADDRESS: 2305 CENTRAL AVE

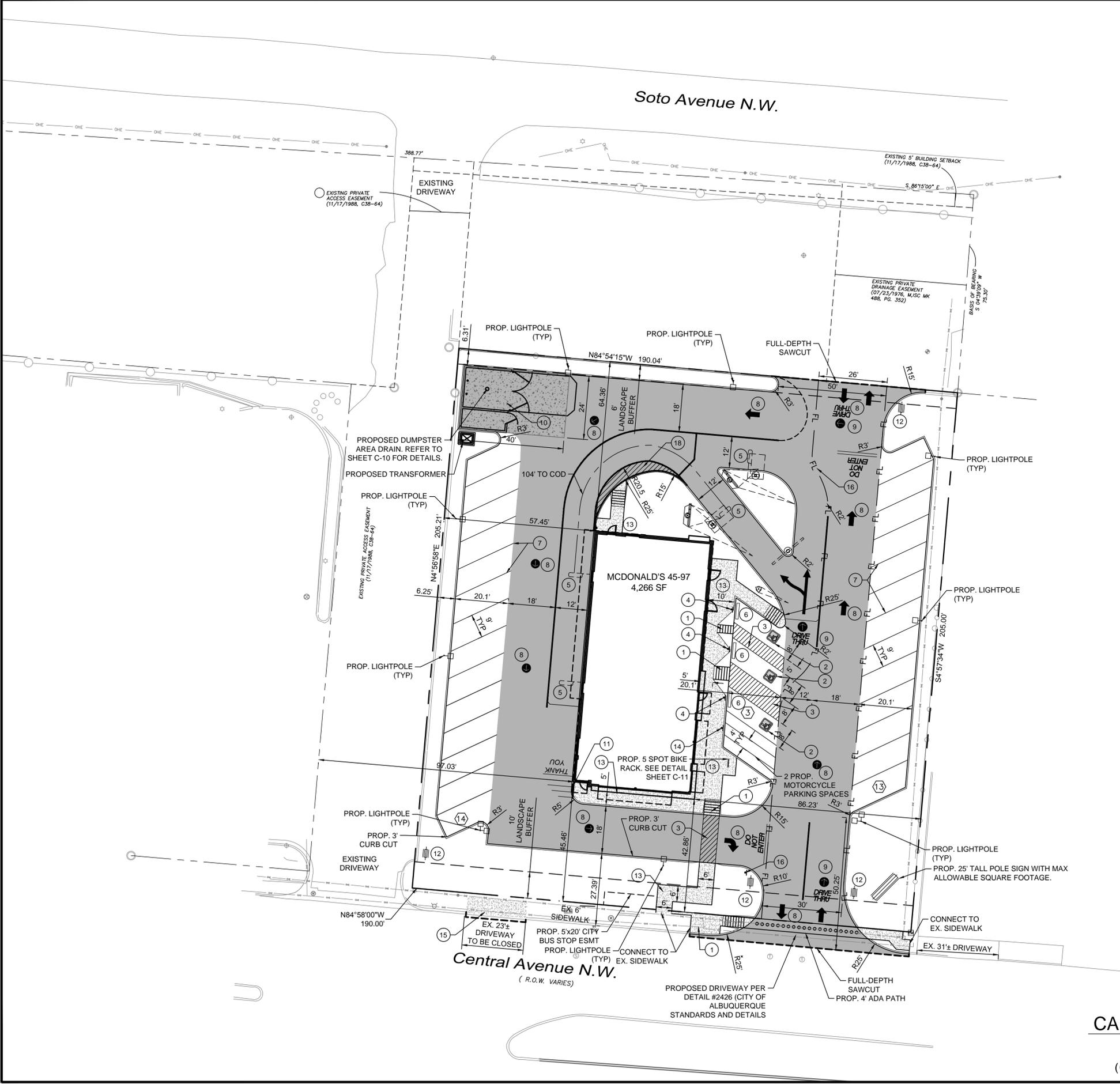
CITY: ALBUQUERQUE STATE: NEW MEXICO

COUNTY: BERNALILLO SURVEY: [] ABSTRACT NO. []

L/C NUMBER: 030-0018 SHEET NAME: EROSION CONTROL DETAILS SHEET NO. C-4

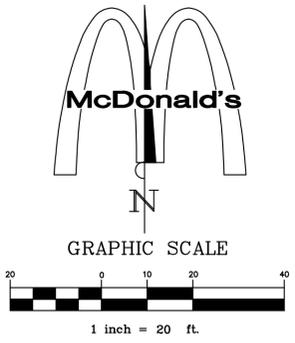
PLOTTED BY: Drew PLOT DATE: May 28, 2014 - 6:48pm
 LOCATION: \\CLAYMOORE\Projects\Projects\0313-072_McDonald's Albuquerque Old Town\CADD\SHEET\SC-4 EROSION CONTROL DETAILS.dwg
 LAST SAVED: 7/28/2014 10:56 PM

PLOTTED BY: Drew PLOT DATE: May 28, 2014 - 6:48pm
 LOCATION: V:\CLAYMOORE\Projects\0313-072 McDonald's Albuquerque Old Town\CADD\SHEET\SC-5 DIMENSIONAL CONTROL AND PAVING PLAN.dwg
 LAST SAVED: 5/28/2014 6:34 PM



LEGEND

	HEAVY DUTY CONCRETE PAVEMENT PER DETAIL C-11
	STANDARD DUTY CONCRETE PAVEMENT PER DETAIL C-11
	CONCRETE PAVEMENT FOR DUMPSTER AREA PER DETAIL C-11
	SIDEWALK PER DETAIL C-11
	FULL-DEPTH SAWCUT CONNECT TO EXISTING PAVEMENT WITH LONGITUDINAL BUTT JOINT
	PROPOSED CONCRETE CURB AND GUTTER
	PARKING COUNT
	TYPICAL LIGHT POLE (REFER TO MEP PLANS FOR DETAILS)
	TYPICAL LIGHT POLE (REFER TO MEP PLANS FOR DETAILS)



PARKING TABLE

4,266 SF REST.	
1 SPACE PER EVERY 4 SEATS	
TOTAL REQUIRED	21 (2 ADA)
STANDARD PARKING PROVIDED	30 (3 ADA)
MOTORCYCLE SPACES REQUIRED	2
MOTORCYCLE SPACES PROVIDED	3
BICYCLE RACKS REQUIRED (1 RACK PER 20 SPACES PROVIDED)	3
BICYCLE RACKS PROVIDED	5

- NOTES:**
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS AND EXACT DOOR LOCATIONS.
 - SIDEWALK SHALL BE DOWELED IN FOUNDATION AT STOOPS.
 - LOCATION OF SIGNS ARE APPROXIMATE. IT IS THE RESPONSIBILITY OF THE SIGN CONTRACTOR TO VERIFY COMPLIANCE WITH SET-BACK, SIZE/HEIGHT, AND RELATED ZONING REQUIREMENTS PRIOR TO SETTING.
 - WHERE GRADES PERMIT, CONTRACTOR SHALL DEPRESS LANDSCAPE AREAS AS A LID MEASURE TO COMPLY WITH THE CITIES MS4 EPA PERMIT.

HERE WE GROW AGAIN
 THE GENERAL CONTRACTOR SHALL DISPLAY A "HERE WE GROW AGAIN" BANNER DURING CONSTRUCTION. THESE BANNERS ARE AVAILABLE THROUGH WORLD WIDE COMPANY, OAKBROOK, IL PH#: 1-800-937-7671

- CONSTRUCTION SCHEDULE**
- HANDICAP RAMPS PER DETAILS SHEET C-11
 - HANDICAP SYMBOL PER DETAILS SHEET C-13
 - PAVEMENT STRIPING PER DETAILS SHEET C-13
 - HANDICAP SIGN DETAILS PER DETAILS C-11
 - DETECTOR LOOP (LOCATION TO BE APPROVED BY McDONALDS)
 - CURB STOP PER DETAILS SHEET C-11
 - 4' PARKING STALL STRIPING COLOR: WHITE (TYP)
 - TYPICAL DIRECTIONAL TRAFFIC ARROW
 - DRIVE THRU WITH ARROW TYPICAL AT ALL ENTRIES COLOR: YELLOW
 - DUMPSTER WITH ENCLOSURE (REFER TO ARCHITECTURAL PLANS FOR DETAILS)
 - PROPOSED HANDRAIL
 - PROPOSED McDONALD'S DIRECTIONAL SIGNAGE
 - SIDEWALK PER DETAILS SHEET C-11
 - PROPOSED MOTORCYCLE PARKING SIGNAGE PER CITY STANDARDS
 - EXISTING DRIVEWAY TO BE CLOSED. SIDEWALK AND CURB TO BE REINSTALLED PER CITY OF ALBUQUERQUE STANDARDS #2430 AND #2415
 - PROPOSED DO NOT ENTER SIGN PER MUTCD STANDARDS AND DETAILS
 - PROPOSED HANDICAP RAMP PER CITY DETAIL #2426
 - McDONALD'S STANDARD DRIVE THRU STRIPING PER SHEET C-13

BENCHMARK DESCRIPTION

A.G.R.S. MONUMENT "12_112"
 STANDARD A.G.R.S. BRASS TABLET (FOUND IN PLACE)
 NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE-N.A.D. 1983)
 N=1,490,348.740
 E=1,513,276.047
 PUBLISHED EL=4955.235 (NAVD 1988)
 GROUND TO GRID FACTOR= 0.999685396
 DELTA ALPHA ANGLE=-0°14'39.76"

STOP!
CALL BEFORE YOU DIG
 NM811
 1-800-321-2537
 (@ least 72 hours prior to digging)

SURVEY INFORMATION:

PREPARED BY: PRECISION SURVEYS INC.	LEGAL DESCRIPTION: LOT 5-B OF THE REPLAT OF LOTS 5, 6, 7, 8, 9, 10, 11 AND THE EAST 40 FEET OF LOTS 12 AND 26, LOTS 27, 28, 29, 30, 31, 32 AND 33 OF BLOCK 2 OF THE REPLAT OF BLOCKS 1 AND 2, TRACTION PARK ADDITION
ADDRESS: 2305 CENTRAL AVE	
CITY: ALBUQUERQUE	STATE: NEW MEXICO
COUNTY: BERNALILLO	SURVEY: ABSTRACT NO.
L/C NUMBER: 030-0018	SHEET NAME: DIMENSIONAL CONTROL AND PAVING PLAN

ISSUE REF	DESCRIPTION	BY	DATE

1105 CHEEK SPARGER RD.
 SUITE #1
 PHONE: 817.281.0572
 COLLEYVILLE, TX 76034
 WWW.CLAYMOOREENG.COM

CLAYMOORE ENGINEERING

WMT A. MOORE
 NEW MEXICO
 21165
 PROFESSIONAL ENGINEER

DATE: 5/27/14

McDONALD'S
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 2305 CENTRAL AVE
 ALBUQUERQUE, NM 87104
 McDONALD'S L/C: 030-0018
 CLAYMOORE ENG. NO. 2013-072

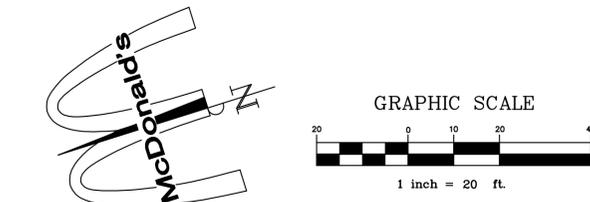
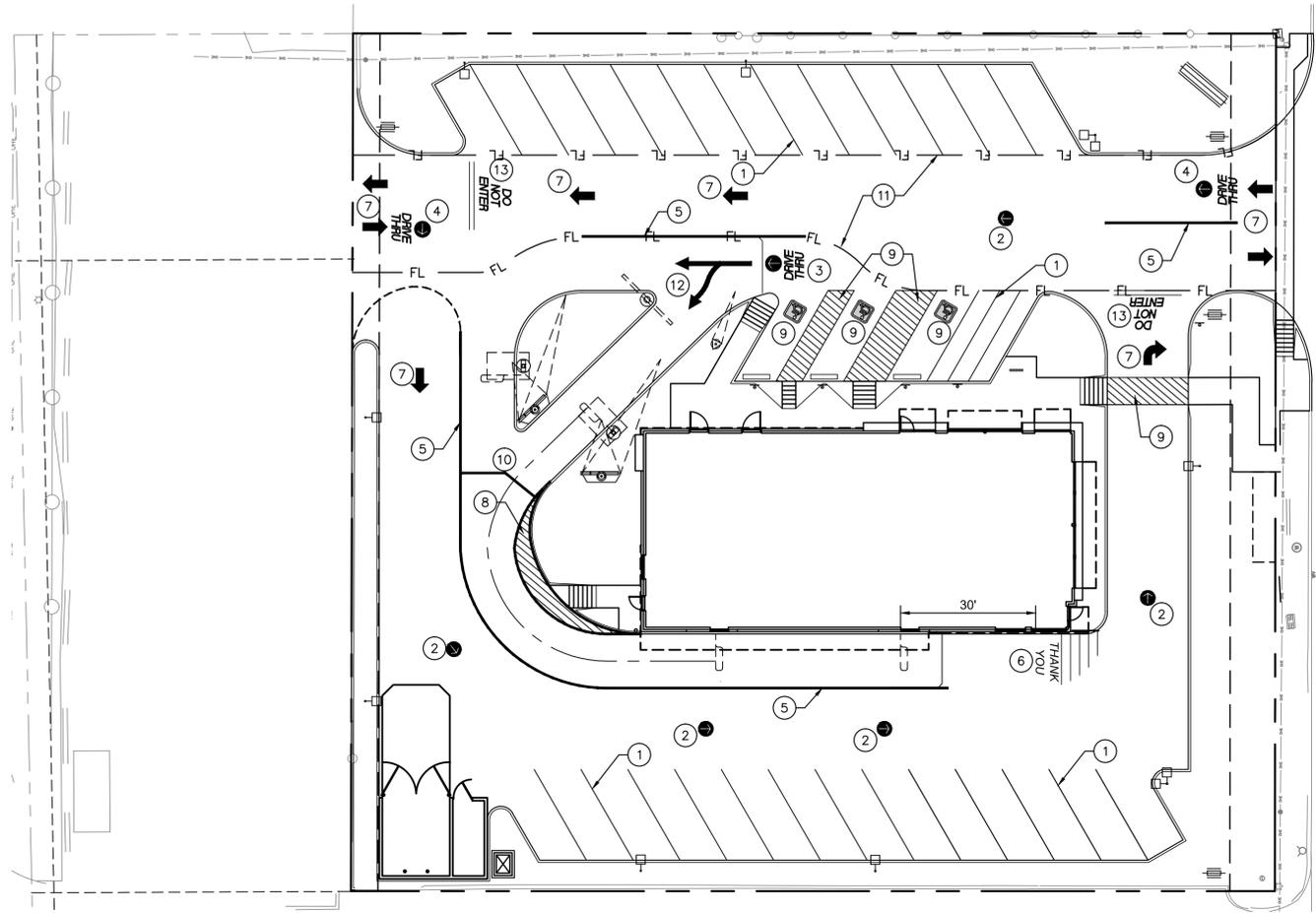
OFFICE: GREATER SOUTHWEST REGION
 ADDRESS: 511 E JOHN CARPENTER FRWY SUITE 375, IRVING, TX 75062

PLAN APPROVALS	DATE
SIGNATURE (2 REQUIRED)	
REGIONAL MGR.	
CONST. MGR.	
OPERATIONS DEPT.	
REAL ESTATE DEPT.	
CO-SIGN SIGNATURE	
CONTRACTOR	
OWNER	

STATUS	DATE	BY
DATE DRAWN	5/27/14	ASD
PLAN CHECKED	5/27/14	MAM
ASBUILT		

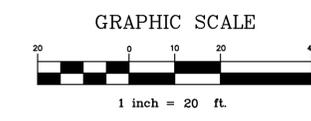
SHEET NO. C-5

PLOTTED BY: Draw PLOT DATE: May 28, 2014 - 6:48pm
 LOCATION: \\CLAYMOORE\AS\Projects\Projects\0313-072 McDonald's Albuquerque Old Town\CADD\SHEET\SC-6 DRIVE-THRU AND STRIPING PLAN.dwg
 LAST SAVED: 5/28/2014 6:38 PM

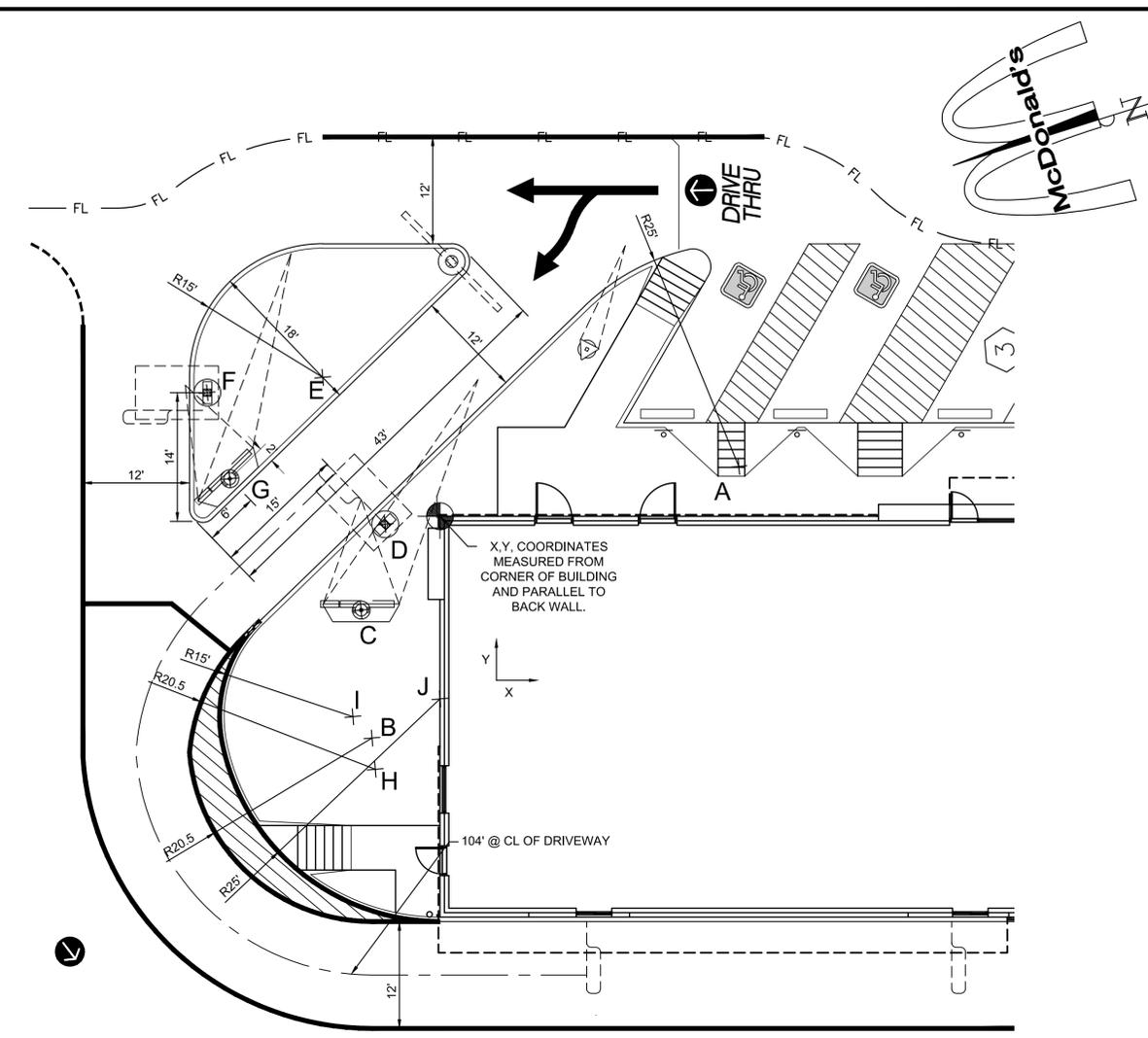


STRIPING LAYOUT

CONSTRUCTION SCHEDULE
① 4" PARKING STALL STRIPING COLOR: WHITE (TYP)
② CIRCLE/ARROW COLOR: YELLOW
③ DRIVE THRU LEADING TO PATH ENTRANCE COLOR: YELLOW
④ DRIVE THRU WITH ARROW TYPICAL AT ALL ENTRIES COLOR: YELLOW
⑤ 6" DRIVE THRU STRIPING COLOR: YELLOW
⑥ THANK YOU AT END OF PATH COLOR: YELLOW
⑦ ARROW PATH DIRECTION COLOR: WHITE
⑧ 4" DIAGONAL PAINTED ISLANDS AT DRIVE THRU COLOR: YELLOW
⑨ HANDICAP ACCESSIBLE SPACES/SYMBOLS/CROSSWALK COLOR: PER STATE/CITY REQUIREMENTS
⑩ 6" MERGE POINT COLOR: YELLOW
⑪ FIRE LANE STRIPING COLOR: PER DETAIL SHEET C-13
⑫ DOUBLE DRIVE THRU ARROW MARKING COLOR: YELLOW
⑬ DO NOT ENTER STIPING: COLOR: YELLOW



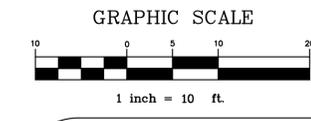
Central Avenue N.W.
(R.O.W. VARIES)



DRIVETHRU LAYOUT

DRIVE THRU COORDINATE SCHEDULE		
POINT	X-COORDINATE	Y-COORDINATE
A	33.62	5.43
B	-7.48	-25.06
C	-8.71	-10.76
D	-6.01	-1.07
E	-13.02	15.43
F	-26.02	13.72
G	-23.48	4.05
H	-7.11	-28.57
I	-9.63	-22.67
J	0.17	-20.67

X AND Y COORDINATES MEASURED FROM THE BACK CORNER OF BUILDING ON DRIVE-THRU ENTRANCE SIDE



BENCHMARK DESCRIPTION

A.G.R.S. MONUMENT "12_112"
STANDARD A.G.R.S. BRASS TABLET
(FOUND IN PLACE)
NEW MEXICO STATE PLANE COORDINATES
(CENTRAL ZONE-N.A.D. 1983)
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PREPARED BY: PRECISION SURVEYS INC.	LEGAL DESCRIPTION: LOT 5-B OF THE REPLAT OF LOTS 5, 6, 7, 8, 9, 10, 11 AND THE EAST 40 FEET OF LOTS 12 AND 26, LOTS 27, 28, 29, 30, 31, 32 AND 33 OF BLOCK 2 OF THE REPLAT OF BLOCKS 1 AND 2, TRACTION PARK ADDITION
NEW CONSTRUCTION	
ADDRESS: 2305 CENTRAL AVE	
CITY: ALBUQUERQUE	STATE: NEW MEXICO
COUNTY: BERNALLILLO	SURVEY: ABSTRACT NO.
L/C NUMBER: 030-0018	SHEET NAME: DRIVE-THRU AND STRIPING PLAN

REV	DATE	DESCRIPTION	BY	ISSUE REF

1105 CHEEK SPARGER RD.
 SUITE #1
 PHONE: 817.281.0572
 COLLEYVILLE, TX 76034
 WWW.CLAYMOOREENG.COM

CLAYMOORE ENGINEERING

WMT A. MOORE
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 5/27/14

GREATER SOUTHWEST REGION
 OFFICE ADDRESS: 511 E JOHN CARPENTER FRWY SUITE 375, IRVING, TX 75062

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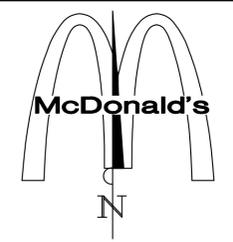
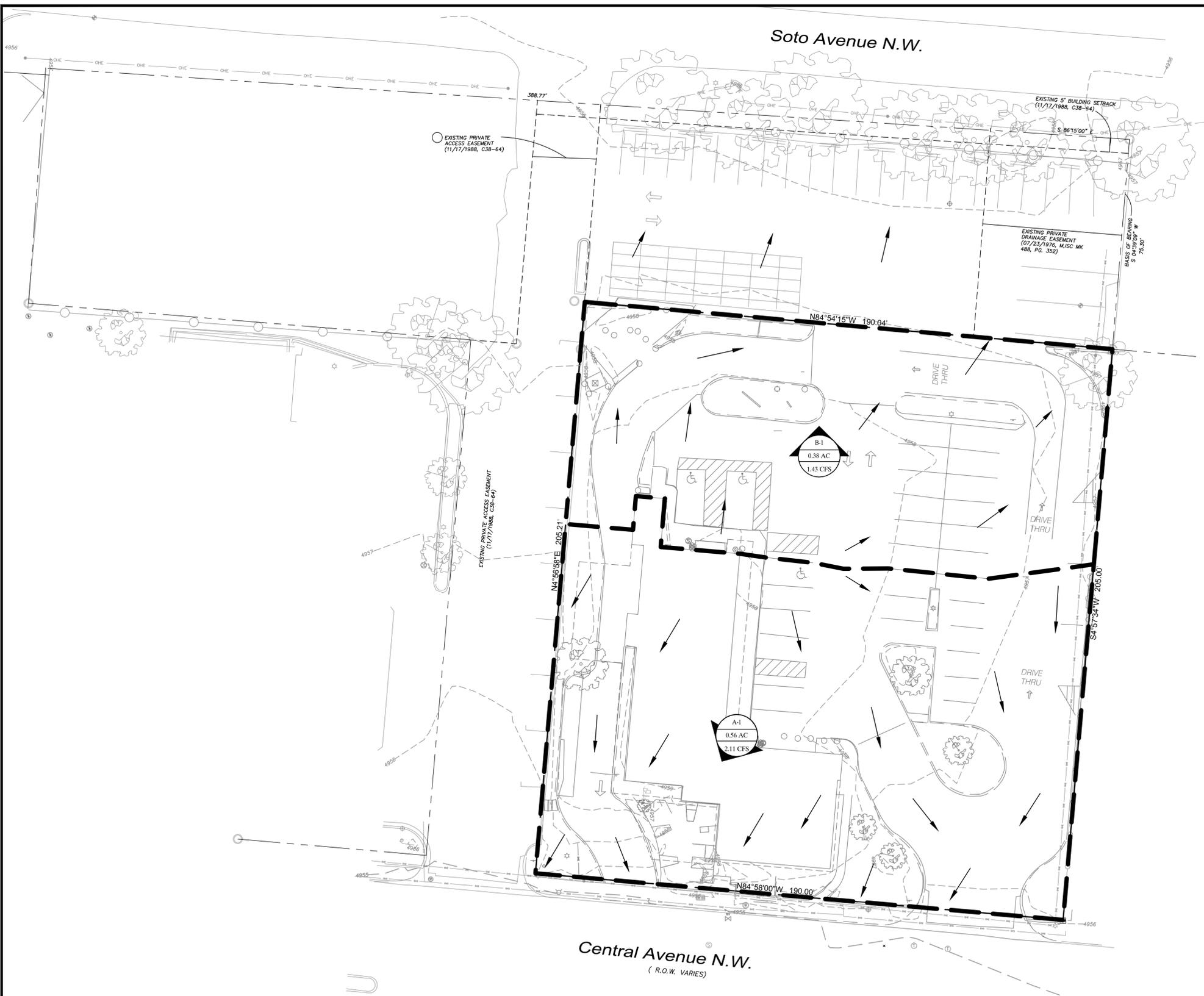
2305 CENTRAL AVE
 ALBUQUERQUE, NM 87104

PLAN APPROVALS	DATE
SIGNATURE (2 REQUIRED)	
REGIONAL MGR.	
CONST. MGR.	
OPERATIONS DEPT.	
REAL ESTATE DEPT.	
CO-SIGN SIGNATURE	
CONTRACTOR	
OWNER	

STATUS	DATE	BY
DATE DRAWN	5/27/14	ASD
PLAN CHECKED	5/27/14	MAM
ASBUILT		

SHEET NO. **C-6**

PLOTTED BY: Draw PLOT DATE: May 28, 2014 - 6:48pm
 LOCATION: V:\CLAYMOORE\AS\Projects\0313-072 McDonald's Albuquerque Old Town\CADD\SHEET\SC-8 EX. DRAINAGE AREA MAP.dwg
 LAST SAVED: 5/27/2014 11:11 AM



LEGEND

	- DRAINAGE AREA
	- DRAINAGE AREA IN ACRES
	- FLOW FOR DRAINAGE AREA IN CFS
	DIRECTION OF FLOW
	DRAINAGE AREA BOUNDARY

PRE DEVELOPMENT AREA CALCULATIONS

ZONE	TREATMENT	AREA (AC)	PEAK DISCHARGE
A-1	1	B	0.09 2.03
	1	D	0.44 4.37
WEIGHTED DISCHARGE =			3.97
B-1	1	B	0.06 2.03
	1	D	0.30 4.37
WEIGHTED DISCHARGE =			3.98

PRE DEVELOPMENT RUNOFF CALCULATIONS

DA #	AREA (AC)	WEIGHTED DISCHARGE	Q ₁₀₀ (cfs)
A-1	0.53	3.97	2.11
B-1	0.36	3.98	1.43
TOTAL ON-SITE RUNOFF =			3.54

FLOODPLAIN NOTE

ACCORDING TO MAP NO. 35011C0331H, DATED SEPTEMBER 26, 2008 OF THE NATIONAL FLOOD INSURANCE PROGRAM MAP, FLOOD INSURANCE RATE MAP OF BERNALILLO COUNTY, NEW MEXICO, FEDERAL EMERGENCY MANAGEMENT AGENCY, FEDERAL INSURANCE ADMINISTRATION, THIS PROPERTY IS WITHIN ZONE "X" (UNSHADED) AND IS NOT WITHIN A SPECIAL FLOOD HAZARD AREA. IF THIS SITE IS NOT WITHIN AN IDENTIFIED SPECIAL FLOOD HAZARD AREA, THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR THE STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.

BENCHMARK DESCRIPTION

A.G.R.S. MONUMENT "12_J12"
 STANDARD A.G.R.S. BRASS TABLET
 (FOUND IN PLACE)
 NEW MEXICO STATE PLANE COORDINATES
 (CENTRAL ZONE-N.A.D. 1983)
 N=1,490,348.740
 E=1,513,276.047
 PUBLISHED EL=4955.235 (NAVD 1988)
 GROUND TO GRID FACTOR= 0.999685396
 DELTA ALPHA ANGLE=-0°14'39.76"

SURVEY INFORMATION:

PREPARED BY: PRECISION SURVEYS INC.	LEGAL DESCRIPTION: LOT 5-B OF THE REPLAT OF LOTS 5, 6, 7, 8, 9, 10, 11 AND THE EAST 40 FEET OF LOTS 12 AND 26, LOTS 27, 28, 29, 30, 31, 32 AND 33 OF BLOCK 2 OF THE REPLAT OF BLOCKS 1 AND 2, TRACTION PARK ADDITION
ADDRESS: 2305 CENTRAL AVE	
CITY: ALBUQUERQUE	STATE: NEW MEXICO
COUNTY: BERNALILLO	SURVEY: ABSTRACT NO.
L/C NUMBER: 030-0018	SHEET NAME: EX. DRAINAGE AREA MAP

STOP!
CALL BEFORE YOU DIG
 NM811
 1-800-321-2537
 (@ least 72 hours prior to digging)

ISSUE REF	BY	DESCRIPTION	REV	DATE

1105 CHEEK SPARGER RD.
 SUITE #1
 PHONE: 817.281.0572
 COLLEYVILLE, TX 76034
 WWW.CLAYMOOREENG.COM

CLAYMOORE ENGINEERING

WMT A. MOORE
 NEW MEXICO
 21165
 PROFESSIONAL ENGINEER

DATE: 5/27/14

GREATER SOUTHWEST REGION
 OFFICE ADDRESS: 511 E JOHN CARPENTER FRWY SUITE 375, IRVING, TX 75062

MCDONALD'S

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2305 CENTRAL AVE
 ALBUQUERQUE, NM 87104

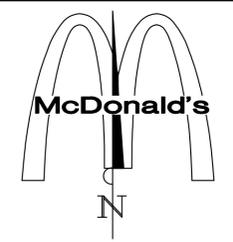
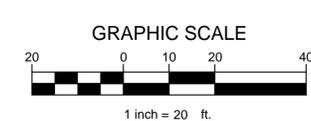
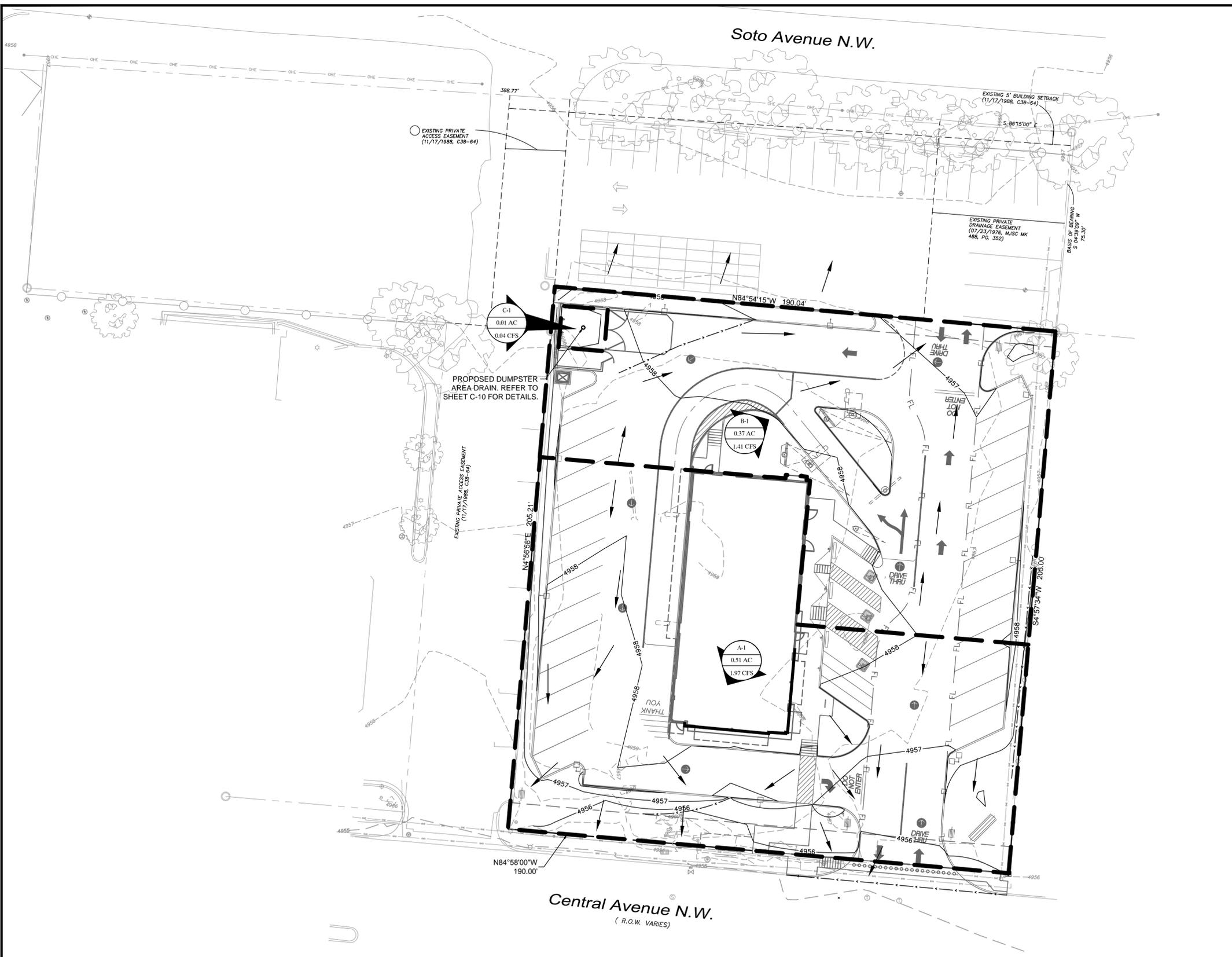
MCDONALD'S L/C: 030-0018
 CLAYMOORE ENG. NO. 2013-072

PLAN APPROVALS	SIGNATURE (2 REQUIRED)	DATE
REGIONAL MGR.		
CONST. MGR.		
OPERATIONS DEPT.		
REAL ESTATE DEPT.		
CONTRACTOR	CO-SIGN SIGNATURE	
OWNER		

STATUS	DATE	BY
DATE DRAWN	5/27/14	ASD
PLAN CHECKED	5/27/14	MAM
ASBUILT		

SHEET NO. C-8

PLOTTED BY: Draw PLOT DATE: May 28, 2014 - 6:48pm
 LOCATION: V:\CLAYMOORE\AS\Projects\0313-072 McDonald's Albuquerque\Abuqueque Old Town\CADD\SHEET\SC-9 PROPOSED DRAINAGE AREA MAP.dwg
 LAST SAVED: 5/27/2014 11:26 AM



LEGEND

	- DRAINAGE AREA
	- DRAINAGE AREA IN ACRES
	- FLOW FOR DRAINAGE AREA IN CFS
	DIRECTION OF FLOW
	DRAINAGE AREA BOUNDARY

POST DEVELOPMENT AREA CALCULATIONS

ZONE	TREATMENT	AREA (AC)	PEAK DISCHARGE
A-1	1 B	0.11	2.03
	1 D	0.4	4.37
WEIGHTED DISCHARGE =			3.87
B-1	1 B	0.09	2.03
	1 D	0.28	4.37
WEIGHTED DISCHARGE =			3.80
C-1	1 B	0.00	2.03
	1 D	0.01	4.37
WEIGHTED DISCHARGE =			4.37

POST DEVELOPMENT RUNOFF CALCULATIONS

DA #	AREA (AC)	WEIGHTED DISCHARGE	Q ₁₀₀ (cfs)
A-1	0.51	3.87	1.97
B-1	0.37	3.80	1.41
C-1	0.01	4.37	0.04
TOTAL ON-SITE RUNOFF =			3.42

FLOODPLAIN NOTE

ACCORDING TO MAP NO. 35011C0331H, DATED SEPTEMBER 26, 2008 OF THE NATIONAL FLOOD INSURANCE PROGRAM MAP, FLOOD INSURANCE RATE MAP OF BERNALILLO COUNTY, NEW MEXICO, FEDERAL EMERGENCY MANAGEMENT AGENCY, FEDERAL INSURANCE ADMINISTRATION, THIS PROPERTY IS WITHIN ZONE 'X' (UNSHADED) AND IS NOT WITHIN A SPECIAL FLOOD HAZARD AREA. IF THIS SITE IS NOT WITHIN AN IDENTIFIED SPECIAL FLOOD HAZARD AREA, THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR THE STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.

BENCHMARK DESCRIPTION

A.G.R.S. MONUMENT "12_112"
 STANDARD A.G.R.S. BRASS TABLET
 (FOUND IN PLACE)
 NEW MEXICO STATE PLANE COORDINATES
 (CENTRAL ZONE-N.A.D. 1983)
 N=1,490,348.740
 E=1,513,276.047
 PUBLISHED EL=4955.235 (NAVD 1988)
 GROUND TO GRID FACTOR= 0.999685396
 DELTA ALPHA ANGLE=-0°14'39.76"

SURVEY INFORMATION:

PREPARED BY: PRECISION SURVEYS INC.	LEGAL DESCRIPTION: LOT 5-B OF THE REPLAT OF LOTS 5, 6, 7, 8, 9, 10, 11 AND THE EAST 40 FEET OF LOTS 12 AND 26, LOTS 27, 28, 29, 30, 31, 32 AND 33 OF BLOCK 2 OF THE REPLAT OF BLOCKS 1 AND 2, TRACTION PARK ADDITION
ADDRESS: 2305 CENTRAL AVE	
CITY: ALBUQUERQUE	STATE: NEW MEXICO
COUNTY: BERNALILLO	SURVEY: ABSTRACT NO.
L/C NUMBER: 030-0018	SHEET NAME: PROPOSED DRAINAGE AREA MAP

STOP!
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 1-800-321-2537
 (@ least 72 hours prior to digging)

ISSUE REF	BY	DESCRIPTION	REV	DATE

1105 CHEEK SPARGER RD.
 SUITE #1
 PHONE: 817.281.0572
 COLLEYVILLE, TX 76034
 WWW.CLAYMOOREENG.COM

CLAYMOORE ENGINEERING

WMT A. MOORE
 NEW MEXICO
 21165
 PROFESSIONAL ENGINEER
 5/27/14

GREATER SOUTHWEST REGION
 OFFICE ADDRESS: 511 E JOHN CARPENTER FRWY SUITE 375, IRVING, TX 75062

MCDONALD'S

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2305 CENTRAL AVE
 ALBUQUERQUE, NM 87104

MCDONALD'S L/C: 030-0018
 CLAYMOORE ENG. NO. 2013-072

PLAN APPROVALS	SIGNATURE (2 REQUIRED)	DATE
REGIONAL MGR.		
CONST. MGR.		
OPERATIONS DEPT.		
REAL ESTATE DEPT.		
CONTRACTOR	CO-SIGN SIGNATURE	
OWNER		

STATUS	DATE	BY
DATE DRAWN	5/27/14	ASD
PLAN CHECKED	5/27/14	MAM
ASBUILT		

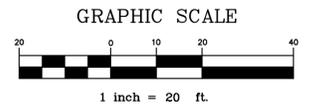
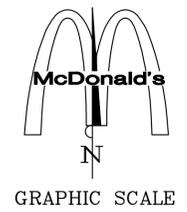
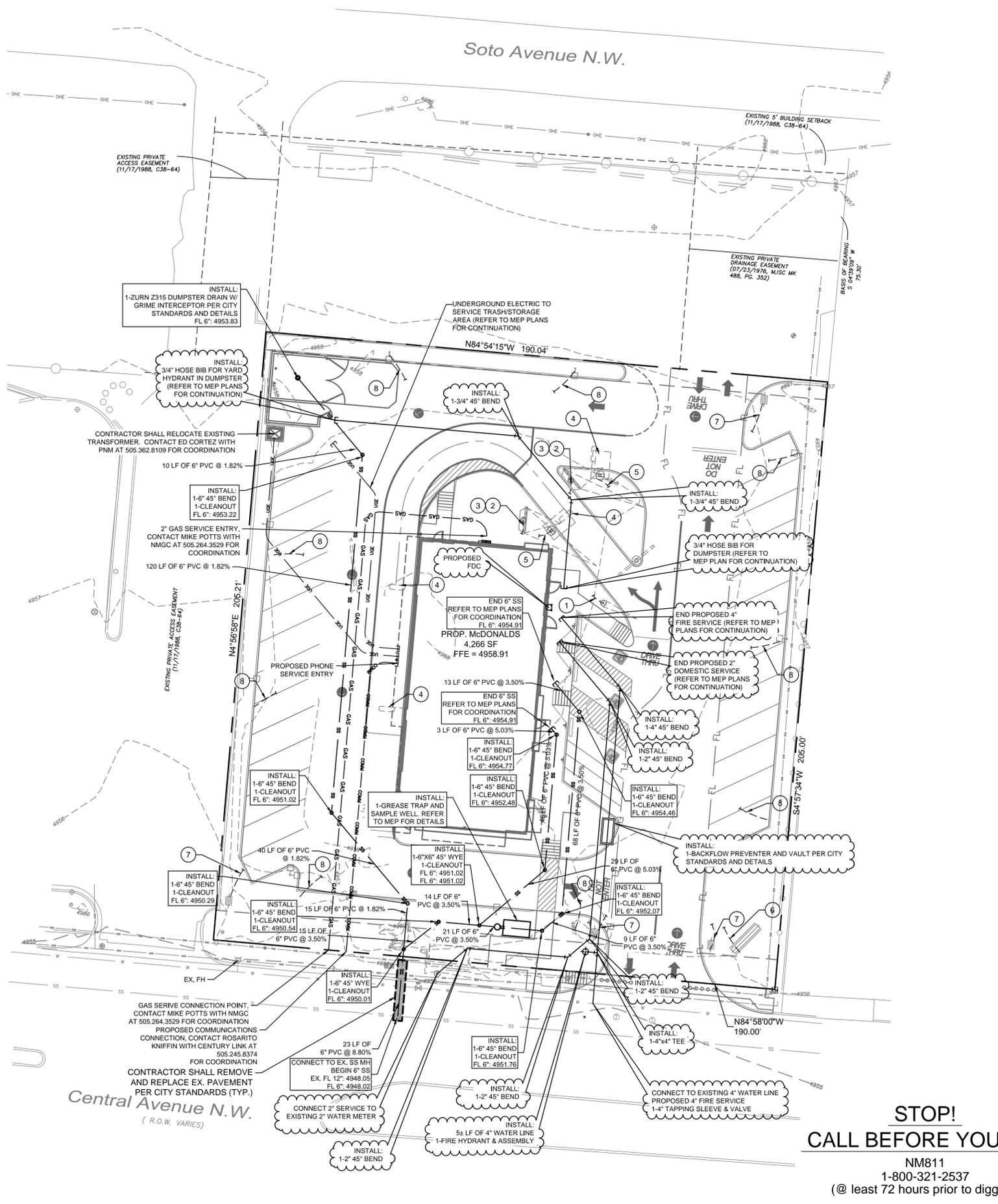
SHEET NO.
C-9

NOTES

- CONTRACTOR SHALL COORDINATE WITH FRANCHISE UTILITY COMPANIES AND IRRIGATION PLANS TO DETERMINE QUANTITY, SIZE, AND LOCATION FOR ALL CONDUIT AND SLEEVING REQUIRED TO SERVE BUILDING AND SITE. ALL CONDUIT AND SLEEVES SHALL BE INSTALLED PRIOR TO SUBGRADE PREPARATION AND PAVING.
- ALL PROPOSED UTILITIES DESIGNED TO WITHIN 5 FEET OF THE BUILDING. REFER TO MEP PLANS FOR CONTINUATION.

FRANCHISE UTILITY NOTES:

- THE GAS, ELECTRIC AND TELEPHONE INFORMATION SHOWN ON THIS PLAN IS BASED UPON THE LATEST INFORMATION AVAILABLE FROM THE RESPECTIVE FRANCHISE UTILITY COMPANIES. IT IS INTENDED FOR PURPOSES OF GENERAL BIDDING AND BASIC CLARITY. SPECIFIC JOB SITE CONDITIONS SHALL BE FIELD VERIFIED PER NOTES 2 THROUGH 4 BELOW. THE FRANCHISE UTILITY CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR SAID FIELD CONDITIONS AND ASSOCIATED REVISIONS REQUIRED BY THE RESPECTIVE UTILITY COMPANIES INVOLVED.
- THE FRANCHISE UTILITY CONTRACTOR SHALL CONTACT THE RESPECTIVE FRANCHISE UTILITY COMPANIES, VERIFY ALL REQUIREMENTS AND EQUIPMENT, AND FURNISH AND INSTALL, INCLUDING BUT NOT LIMITED TO, ALL METERS, TRANSFORMERS, CONDUIT, CONCRETE PADS, TRENCHING, AND BACKFILL NECESSARY FOR PROPER INSTALLATION. FRANCHISE UTILITY CONTRACTOR SHALL ALSO PAY ALL FEES AND CHARGES INCURRED AND COORDINATE WITH OTHER FRANCHISE UTILITY COMPANIES.
- THE FRANCHISE UTILITY CONTRACTOR SHALL FIELD VERIFY, IN THE PRESENCE OF THE RESPECTIVE UTILITY COMPANY REPRESENTATIVES, THE LOCATION OF ALL EXISTING AND PROPOSED UTILITY SERVICES AND EQUIPMENT. THE FRANCHISE UTILITY CONTRACTOR SHALL INCLUDE IN HIS BID SUFFICIENT FUNDS TO COVER ALL COSTS REQUIRED BY UTILITY COMPANIES TO PROVIDE NEW SERVICES AND/OR UPGRADE EXISTING SERVICES. NO ALLOWANCES WILL BE MADE FOR FRANCHISE UTILITY CONTRACTOR'S UNFAMILIARITY WITH THE EXISTING CONDITION, REQUIREMENTS OF THE NEW CONDITIONS, AND/OR FAILURE TO COORDINATE INSTALLATION.
- CONTRACTOR SHALL VERIFY THAT METER AND TRANSFORMER LOCATIONS SHOWN MEET DESIGN CRITERIA BY FRANCHISE UTILITY COMPANIES FOR, BUT NOT LIMITED TO, THE OFFSET DISTANCE FROM FACE OF BUILDING.
- SHOP DRAWINGS FOR SPRINKLER AND FIRE ALARM AND HOOD/ANSUL SYSTEMS SHALL BE SUBMITTED TO THIS OFFICE FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.



LEGEND

	EXISTING FIRE HYDRANT ASSEMBLY
	EXISTING WATER MAIN
	PROPOSED WATER LINE AND GATE VALVE
	EXISTING SANITARY SEWER AND MANHOLE
	PROPOSED SANITARY SEWER LINE

UTILITY NOTE SCHEDULE

1	1-1/2" CONDUIT TO PRESELL BOARD FOR CONTROLS
2	1-1/2" CONDUIT TO MENU BOARD FOR CONTROLS
3	1" CONDUIT FROM BUILDING ELECTRIC PANEL TO MENU BOARD
4	3/4" CONDUIT W/LOW VOLTAGE WIRE FROM PRE-WARNING VEHICLE LOOP DETECTION
5	1-1/2" CONDUIT TO CUSTOMER ORDER DISPLAY FOR CONTROLS 1" CONDUIT TO CUSTOMER ORDER DISPLAY FOR POWER
6	1-1/2" CONDUIT WITH WIRE TO ROAD SIGN
7	1/2" CONDUIT WITH WIRE TO DIRECTIONAL SIGNAGE
8	3/4" CONDUIT WITH WIRE (SITE LIGHTING)

BENCHMARK DESCRIPTION

A.G.R.S. MONUMENT "12_J12"
STANDARD A.G.R.S. BRASS TABLET
(FOUND IN PLACE)
NEW MEXICO STATE PLANE COORDINATES
(CENTRAL ZONE-N.A.D. 1983)
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PUBLISHED EL=4955.235 (NAVD 1988)
GROUND TO GRID FACTOR=0.999685396
DELTA ALPHA ANGLE=-0°14'39.76"

SURVEY INFORMATION:

PREPARED BY: PRECISION SURVEYS INC.	LEGAL DESCRIPTION: LOT 5-B OF THE REPLAT OF LOTS 5, 6, 7, 8, 9, 10, 11 AND THE EAST 40 FEET OF LOTS 12 AND 26, LOTS 27, 28, 29, 30, 31, 32 AND 33 OF BLOCK 2 OF THE REPLAT OF BLOCKS 1 AND 2, TRACTION PARK ADDITION
ADDRESS: 2305 CENTRAL AVE	
CITY: ALBUQUERQUE	STATE: NEW MEXICO
COUNTY: BERNALILLO	SURVEY: ABSTRACT NO.
L/C NUMBER: 030-0018	SHEET NAME: UTILITY PLAN

ISSUE REF	BY	DESCRIPTION	REV	DATE

1105 CHEEK SPARGER RD.
SUITE #1
PHONE: 817.281.0572
COLLEYVILLE, TX 76034
WWW.CLAYMOOREENG.COM

CLAYMOORE ENGINEERING

WMT A. MOORE
NEW MEXICO
21165
PROFESSIONAL ENGINEER

511 E JOHN CARPENTER FRWY SUITE 375, IRVING, TX 75062

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2305 CENTRAL AVE
ALBUQUERQUE, NM 87104

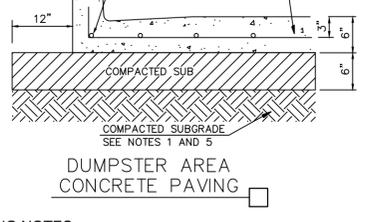
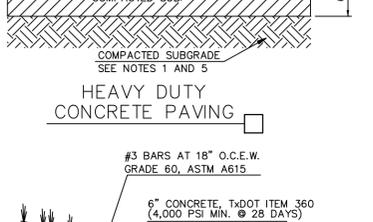
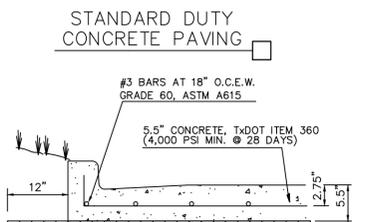
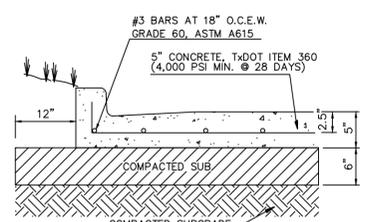
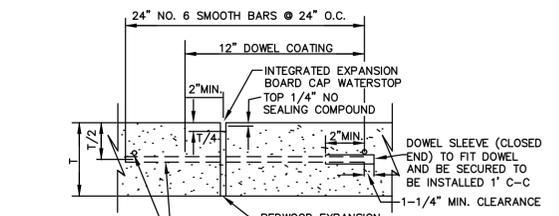
McDONALD'S L/C: 030-0018
CLAYMOORE ENG. NO. 2013-072

PLAN APPROVALS	DATE
SIGNATURE (2 REQUIRED)	
REGIONAL MGR.	
CONST. MGR.	
OPERATIONS DEPT.	
REAL ESTATE DEPT.	
CONTRACTOR	
OWNER	

STATUS	DATE	BY
DATE DRAWN	5/27/14	ASD
PLAN CHECKED	5/27/14	MAM
ASBUILT		

SHEET NO.
C-10

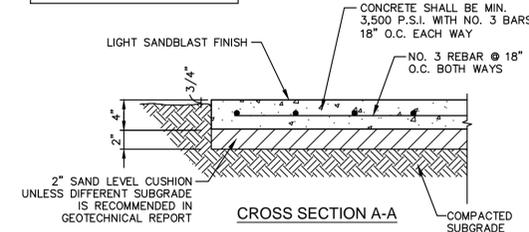
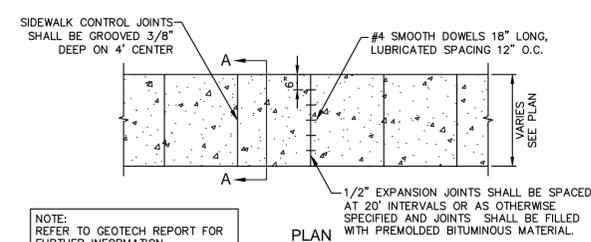
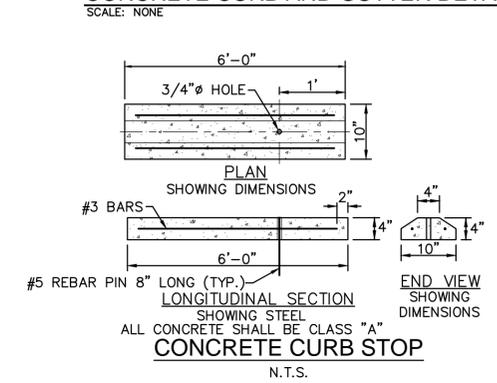
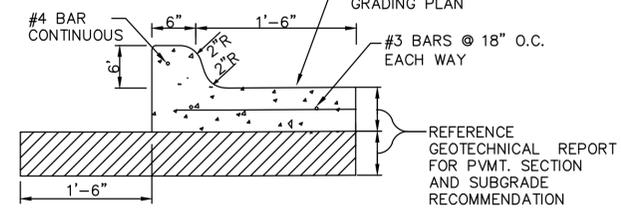
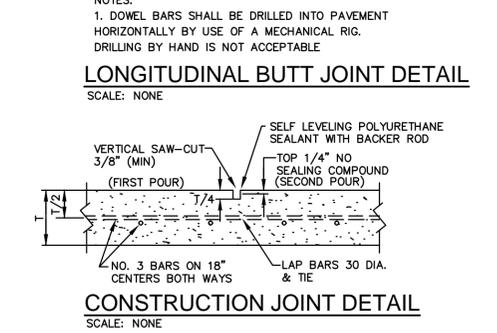
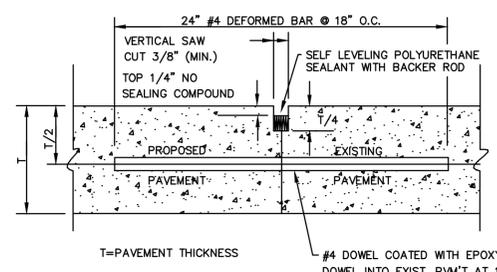
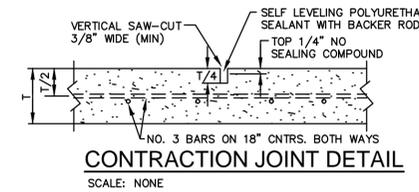
PLOTTED BY: Drew
PLOT DATE: May 28, 2014 - 6:48pm
LOCATION: V:\CLAYMOORE\Projects\0313-072 McDonald's Albuquerque Old Town\CADD\SHEET\SC-10 UTILITY PLAN.dwg
LAST SAVED: 5/27/2014 11:26 AM



- GENERAL PAVING NOTES**
- FOR PREPARATION OF PAVEMENT SUBGRADE, COHESIVE (CLAY) SUBGRADE SOILS SHOULD BE COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DRY DENSITY DEFINED BY THE STANDARD PROCTOR (ASTM D 698).
 - CONCRETE SHALL HAVE A MINIMUM 4,000 PSI COMPRESSIVE STRENGTH AT 28 DAYS. JOINTS IN CONCRETE PAVING SHALL BE FORMED AT A MAXIMUM OF 15 FEET.
 - JOINTS IN CONCRETE PAVEMENT SHALL NOT EXCEED 15 FOOT SPACING.
 - REFER TO GEOTECHNICAL REPORT FOR ALL SUBGRADE RECOMMENDATIONS

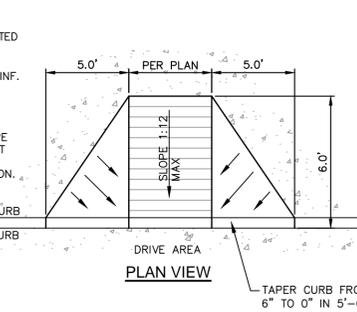
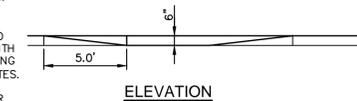
PAVING DETAILS
SCALE: NONE

TRANSVERSE EXPANSION/ISOLATION JOINT DETAIL
SCALE: NONE

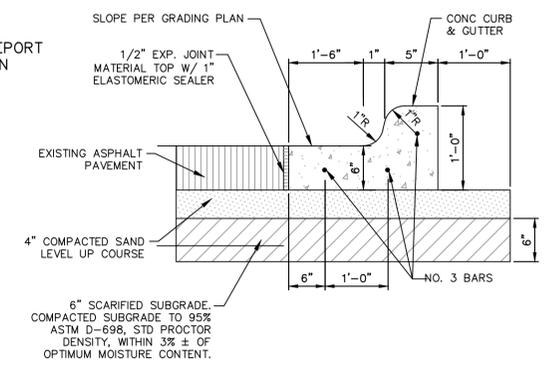


PRIVATE CONCRETE SIDEWALK DETAIL
N.T.S.

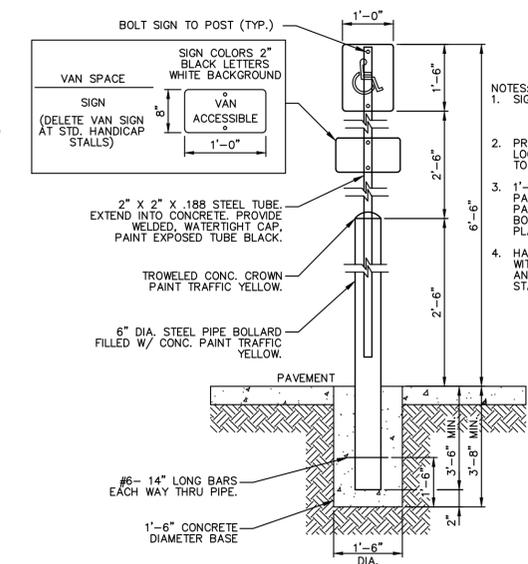
- NOTES:**
- RAMP SCORE JOINTS 2" O.C. (MIN. 1/8" DEEP GROOVE, 1/4" WIDE.) RAMP SURFACE COLORED AS NECESSARY TO SIGNIFICANTLY CONTRAST WITH THE COLOR OF THE ADJOINING SIDEWALK/ACCESSIBLE ROUTES.
 - TAPERED CURB AND GUTTER SECTION. MAINTAIN GUTTER FLOWLINE AS REQUIRED.
 - RAMP SHALL BE CONSTRUCTED OF 4" THICK, 3000 PSI CONCRETE WITH 6"x6" W2.9xW2.9 WELDED WIRE REINF.
 - MAXIMUM SLOPE FOR HANDICAPPED ACCESSIBLE PATHS ARE 5% WITH A MAXIMUM CROSS FALL SLOPE OF 2%. THE FIRST FIVE FEET FROM THE DOOR IS NOT TO EXCEED 2% IN ANY DIRECTION.



PRIVATE HANDICAPPED RAMPS
N.T.S.

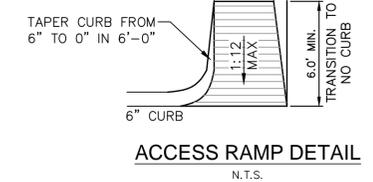


SEPARATE CURB AND ASPHALT PAVING DETAIL
N.T.S.

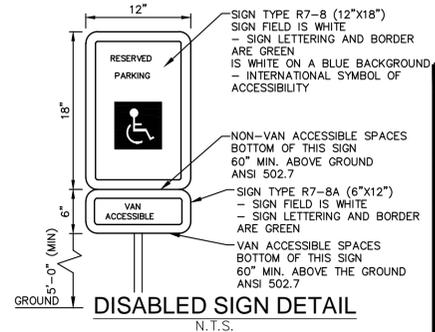
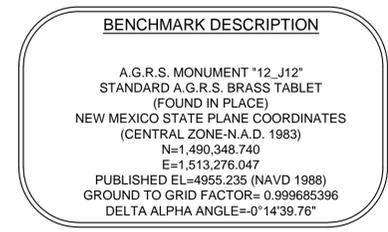


"HANDICAPPED PARKING" SIGN POST DETAIL
N.T.S.

- NOTES:**
- ALL HANDICAPPED SIGNAGE AND MARKINGS TO BE IN ACCORDANCE WITH FEDERAL STATE AND LOCAL REGULATIONS.
 - MAXIMUM SLOPE FOR HANDICAPPED ACCESSIBLE PATHS ARE 5% WITH A MAXIMUM CROSS FALL SLOPE OF 2%. THE FIRST FIVE FEET FROM THE DOOR IS NOT TO EXCEED 2% IN ANY DIRECTION.
 - TAPERED CURB AND GUTTER SECTION. MAINTAIN GUTTER FLOWLINE AS REQUIRED.
 - RAMP SHALL BE CONSTRUCTED OF 4" THICK, 3000 PSI CONCRETE WITH 6"x6" W2.9xW2.9 WELDED WIRE REINF.



ACCESS RAMP DETAIL
N.T.S.



DISABLED SIGN DETAIL
N.T.S.

SURVEY INFORMATION:	
PREPARED BY: PRECISION SURVEYS INC.	LEGAL DESCRIPTION: LOT 5-B OF THE REPLAT OF LOTS 5, 6, 7, 8, 9, 10, 11 AND THE EAST 40 FEET OF LOTS 12 AND 26, LOTS 27, 28, 29, 30, 31, 32 AND 33 OF BLOCK 2 OF THE REPLAT OF BLOCKS 1 AND 2, TRACTION PARK ADDITION
ADDITION: NEW CONSTRUCTION	
ADDRESS: 2305 CENTRAL AVE	
CITY: ALBUQUERQUE	STATE: NEW MEXICO
COUNTY: BERNALILLO	SURVEY: ABSTRACT NO.
L/C NUMBER: 030-0018	SHEET NAME: CONSTRUCTION DETAILS

CONSTRUCTION DETAILS

ISSUE REF. BY DESCRIPTION REV DATE

1105 CHEEK SPARGER RD. SUITE #1 COLLEYSVILLE, TX 76034
PHONE: 817.281.0572
WWW.CLAYMOOREENGINEERING.COM

CLAYMOORE ENGINEERING

MTY A. MOORE
NEW MEXICO
21165
PROFESSIONAL ENGINEER

duhll dl 5/27/14

McDONALD'S

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McDONALD'S L/C: 030-0018
CLAYMOORE ENG. NO. 2013-072

2305 CENTRAL AVE
ALBUQUERQUE, NM 87104

OFFICE ADDRESS: 511 E JOHN CARPENTER FRWY SUITE 375, IRVING, TX 75062

GREATER SOUTHWEST REGION

PLAN APPROVALS		DATE
SIGNATURE (2 REQUIRED)	DATE	
REGIONAL MGR.	DATE	
CONST. MGR.	DATE	
OPERATIONS DEPT.	DATE	
REAL ESTATE DEPT.	DATE	
CONTRACTOR	DATE	
OWNER	DATE	

STATUS: ASBUILT
DATE DRAWN: 5/27/14
DATE CHECKED: 5/27/14
BY: ASD
MAM

SHEET NO. C-11

PLOTTED BY: Drew PLOT DATE: May 28, 2014 - 6:48pm
LOCATION: \\CLAYMOORE\AS\Projects\Projects\0315-072 McDonald's Albuquerque Old Town\CADD\Sheet\C-11 CONSTRUCTION DETAILS.dwg
LAST SAVED: 27/2014 5:58 PM

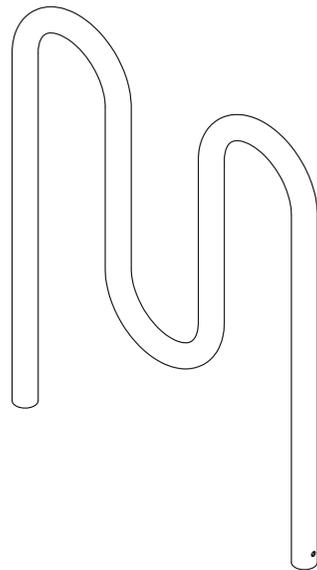


P.O. Box 22326
Lincoln, NE 68542

PF: 402/421-9464 WEBSITE: www.sitescapesonline.com
FX: 402/421-9479 E-MAIL: info@sitescapesonline.com

TITLE ECHO BIKE RACK	PRODUCT NO. EC2-05-EM	INCH TOLERANCES U.O.S. FRACTION--±1/16" ANG-----±1°	THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE PROPERTY OF SITESCAPES, INC. ANY REPRODUCTION IN PART OR AS A WHOLE WITHOUT THE WRITTEN PERMISSION OF SITESCAPES, INC. IS PROHIBITED.
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*Available in powder coat and DuraCoat finishes

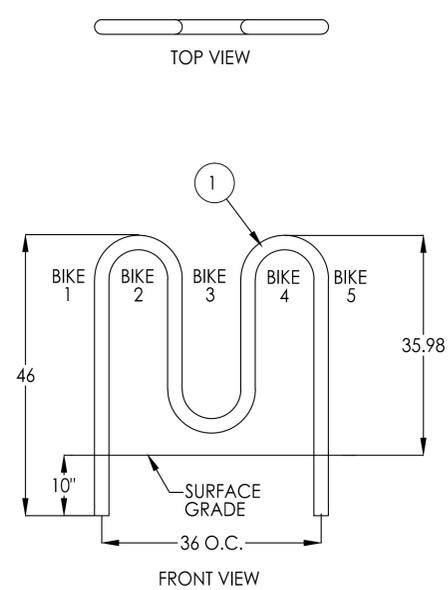


P.O. Box 22326
Lincoln, NE 68542

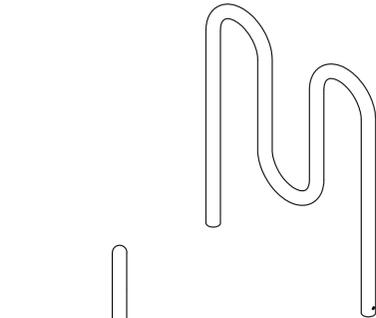
PF: 402/421-9464 WEBSITE: www.sitescapesonline.com
FX: 402/421-9479 E-MAIL: info@sitescapesonline.com

TITLE ECHO BIKE RACK	PRODUCT NO. EC2-05-EM	INCH TOLERANCES U.O.S. FRACTION--±1/16" ANG-----±1°	THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE PROPERTY OF SITESCAPES, INC. ANY REPRODUCTION IN PART OR AS A WHOLE WITHOUT THE WRITTEN PERMISSION OF SITESCAPES, INC. IS PROHIBITED.
------------------------------------	---------------------------------	---	---

*Available in powder coat and DuraCoat finishes



MATERIALS LIST
(1) Tubing - Ø 2 3/8" x .154" Wall Steel Tubing



RIGHT SIDE VIEW

BENCHMARK DESCRIPTION

A.G.R.S. MONUMENT "12_J12"
STANDARD A.G.R.S. BRASS TABLET
(FOUND IN PLACE)
NEW MEXICO STATE PLANE COORDINATES
(CENTRAL ZONE-N.A.D. 1983)
N=1,490,348.740
E=1,513,276.047
PUBLISHED EL=4955.235 (NAVD 1988)
GROUND TO GRID FACTOR= 0.999685396
DELTA ALPHA ANGLE=-0°14'39.76"

SURVEY INFORMATION:	
PREPARED BY: PRECISION SURVEYS INC.	LEGAL DESCRIPTION: LOT 5-B OF THE REPLAT OF LOTS 5, 6, 7, 8, 9, 10, 11 AND THE EAST 40 FEET OF LOTS 12 AND 26, LOTS 27, 28, 29, 30, 31, 32 AND 33 OF BLOCK 2 OF THE REPLAT OF BLOCKS 1 AND 2, TRACTION PARK ADDITION
NEW CONSTRUCTION	
ADDRESS: 2305 CENTRAL AVE	
CITY: ALBUQUERQUE	STATE: NEW MEXICO
COUNTY: BERNALILLO	SURVEY: ABSTRACT NO.
L/C NUMBER: 030-0018	SHEET NAME: BIKE RACK DETAILS

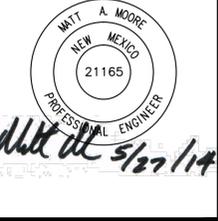
STOP!
CALL BEFORE YOU DIG

NM811
1-800-321-2537
(@ least 72 hours prior to digging)

REV	DATE	DESCRIPTION	BY	ISSUE REF.



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SUITE #1
PHONE: 817.281.0572
COLLEYSVILLE, TX 76034
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OFFICE: GREATER SOUTHWEST REGION
ADDRESS: 511 E JOHN CARPENTER FRWY SUITE 375, IRVING, TX 75062

MCDONALD'S

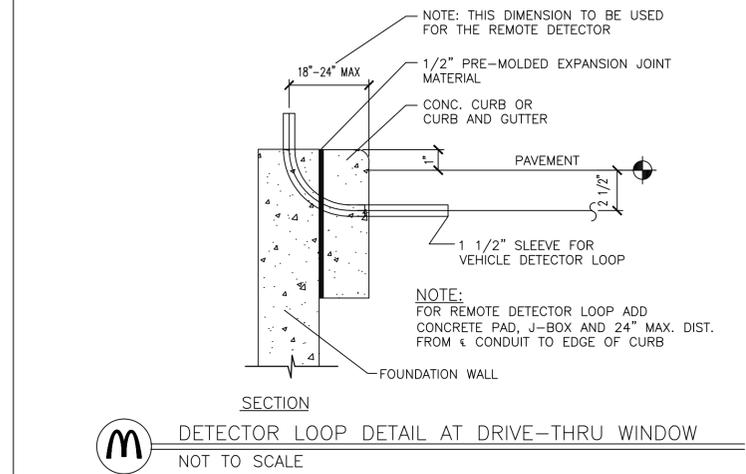
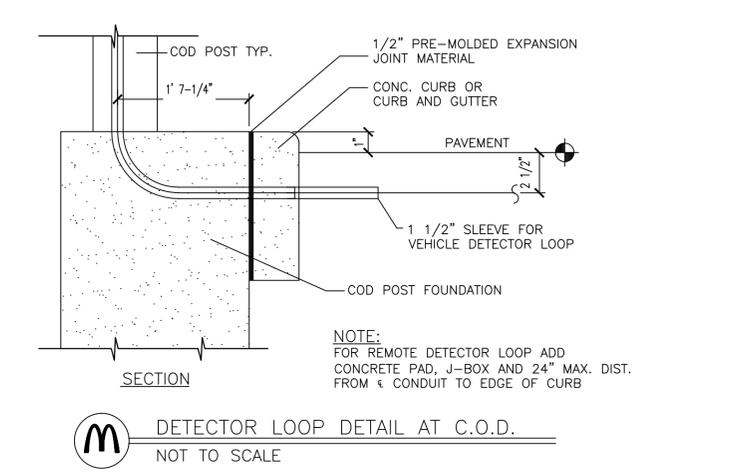
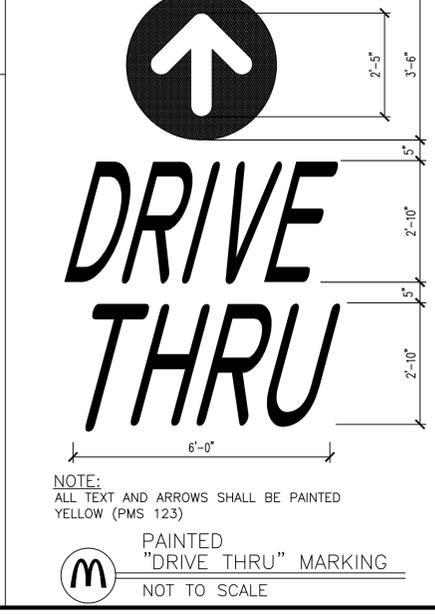
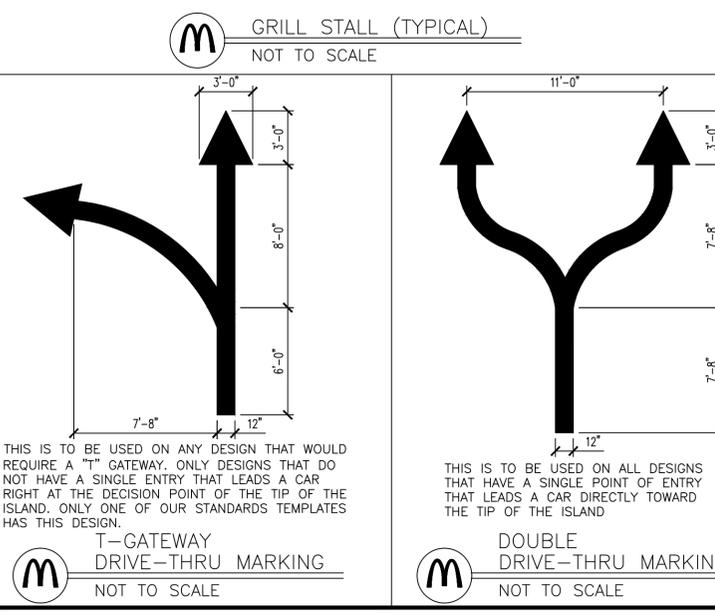
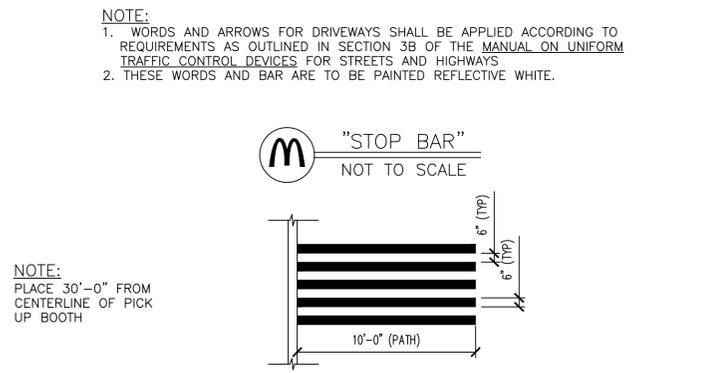
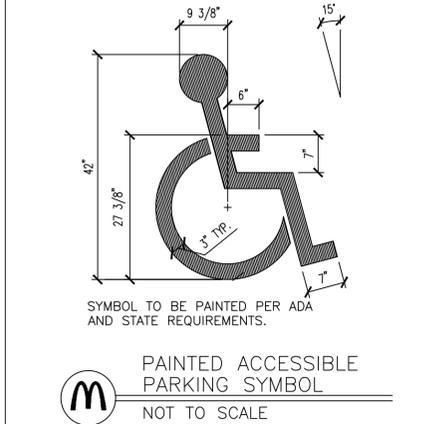
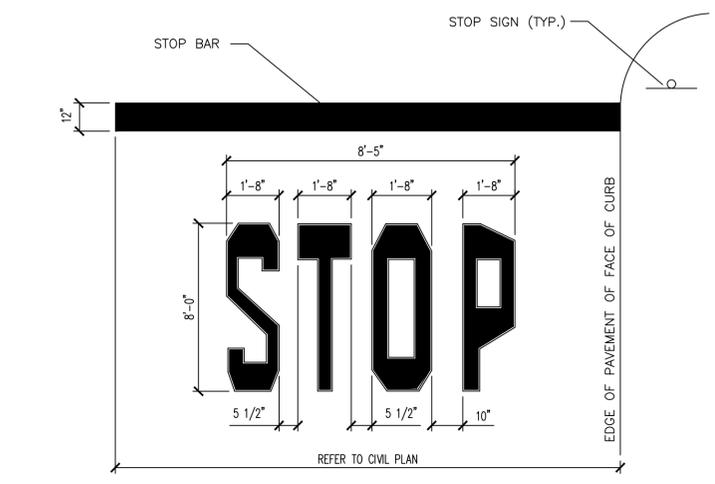
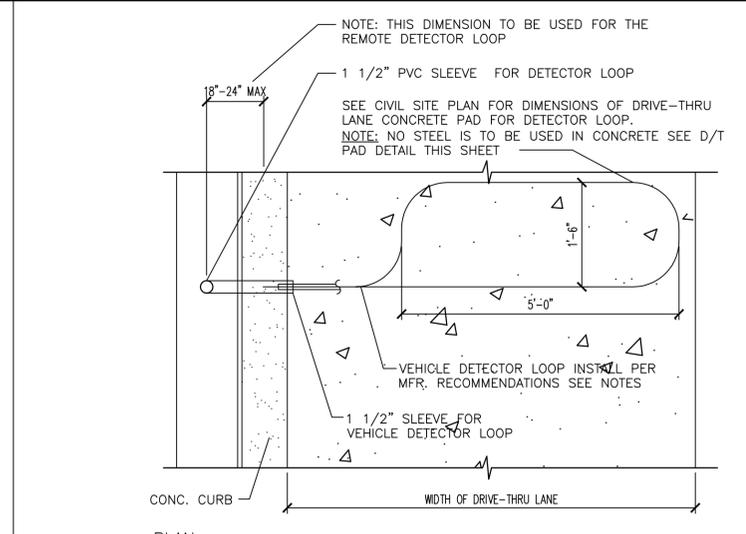
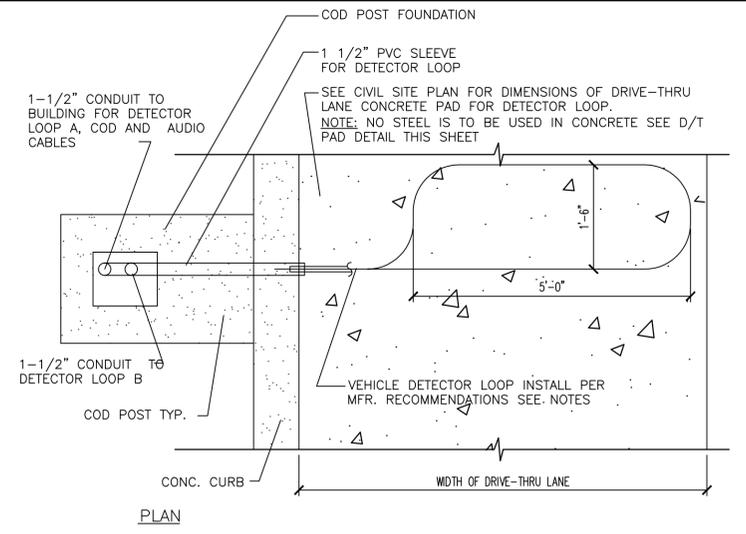
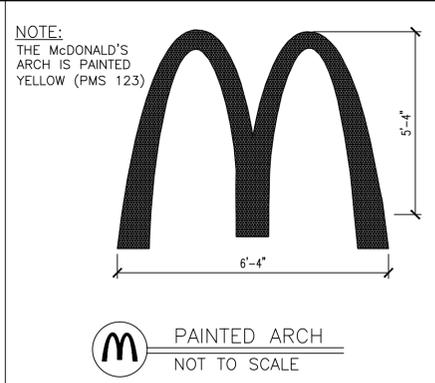
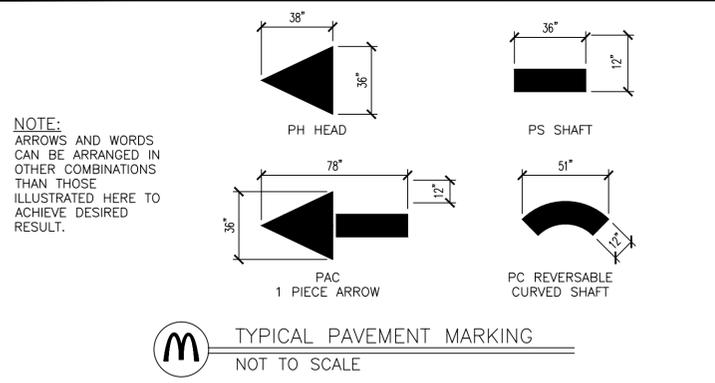
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McDONALD'S L/C: 030-0018
CLAYMOORE ENG. NO. 2013-072

2305 CENTRAL AVE
ALBUQUERQUE, NM 87104

PLAN APPROVALS		DATE	BY
SIGNATURE (2 REQUIRED)			
REGIONAL MGR.	CONST. MGR.	OPERATIONS DEPT.	REAL ESTATE DEPT.
CO-SIGN SIGNATURE		DATE	BY
CONTRACTOR	OWNER	DATE DRAWN	DATE
		5/27/14	ASD
		PLAN CHECKED	5/27/14
		ASBUILT	MAM
SHEET NO.		SHEET NO.	
030-0018		C-12	

PLOTTED BY: Drew PLOT DATE: May 28, 2014 - 6:48pm
LOCATION: V:\CLAYMOORE\AS\Projects\0313-072 McDonald's Albuquerque Old Town\CADD\SHEET\SC-12 BIKE RACK DETAILS.dwg
LAST SAVED: 7/28/2014 5:48 PM



OBJECTIVE OF STANDARDIZATION:
OUR OBJECTIVE IS TO STANDARDIZE OUR MARKINGS IN THE UNITED STATES TO ASSIST OUR CUSTOMERS IN EASILY FINDING THE DRIVE-THRU LANES. THE MARKING POSITIONS ARE TO GUIDE THEM FROM ANY ENTRANCE ON THE PARKING LOT TO THE DRIVE-THRU LANE USING THE BEST ROUTE WE WANT THEM TO USE. THIS IS TYPICALLY AWAY FROM YOUR PRIMARY DRIVE AISLE, MOST COMMON ENTRANCE OR AROUND THE BUILDING TO INCREASE STACKING IN THE LANE. THE STANDARDIZATION FROM REGION TO REGION ASSISTS OUR GUESTS WITH CONVENIENTLY FINDING OUR DRIVE-THRU'S.

STANDARD LOT STRIPING STENCILS AND PAINT COLOR:
THESE ARE AVAILABLE FROM PAUL WOODS AT PAVEMENT STENCIL COMPANY 1-800-250-5547. THE FOLLOWING DESCRIPTION IS WHAT YOU WOULD SAY AS YOU ORDER. HE HAS NO PART NUMBERS ASSOCIATED WITH THESE.

LOT DIRECTIONAL MARKINGS:

- ROUND CIRCLE (DIRECTIONAL ARROW): THE ARROWS SHOULD BE SPACED EVERY 40 TO 60 FEET. THIS ALLOWS YOU TO EVENLY POSITION THE ARROWS THROUGHOUT THE LOT. RATIONALE: THE STRATEGIC POSITIONING ALLOWS THE CAR TO REACH AN ARROW AND OFF IN THE DISTANCE SEE THE NEXT DIRECTIONAL ARROW. THIS LEADS THEM IN THE DIRECTION YOU WANT THEM TO TRAVEL.
- IF YOU HAVE 5 OR MORE ARROWS ROUTING SOMEONE TO THE DRIVE-THRU YOU SHOULD PLAN THE CORRECT PLACEMENT TO ADD THE WORD DRIVE-THRU AND POSITION THE ARROW CENTERED ABOVE THE WORD "DRIVE" AS THE ENTRANCE WAS DONE. THIS IS TO BE CENTERED BETWEEN THE ARROWS ON THE PARKING LOT. AN EXAMPLE IS IT TAKES EIGHT ARROWS TO GUIDE SOMEONE FROM THE ENTRANCE TO THE DRIVE-THRU ENTRANCE. YOU MIGHT DECIDE TO PLACE THE WORD DRIVE-THRU AT THE 4TH ARROW POSITION. RATIONALE: THE LONGER THE RUN TO THE DRIVE-THRU THIS REAFFIRMS THE COLOR AND DIRECTIONAL ARROWS ARE STEERING THEM IN THE RIGHT DIRECTION FOR THE DRIVE-THRU ENTRANCE.

LOT STRIPING STENCILS DESCRIPTION

DRIVE THRU
ROUND CIRCLE (DIRECTIONAL ARROW)
THANK YOU
DOUBLE HEADED ARROW FOR A DOUBLE DRIVE-THRU IS MADE UP OF THREE COMPONENTS A LOT STRIPING COMPANY HAS.
PC SHAFT 12"W X 36"L, A PC REVERSIBLE CURVED SHAFT 12"W X 51"L
PH ARROW HEAD 38"L X 36"W
LANE STRIPE IS A 6" WIDE STRIPE DONE BY THE LOT STRIPING COMPANY.
39" ADA HANDICAP TEMPLATE
PAINT COLOR: THIS IS FOR ALL DRIVE-THRU DIRECTIONAL STRIPING INCLUDING THE PAINTED STRIPE FOR THE LANE. THE PAINT COLOR SHOULD MATCH PMS 123 YELLOW.
1. YELLOW PAINT ON ALL DRIVE-THRU MARKINGS UNLESS NOTED OTHERWISE.

DRIVE-THRU ENTRANCE:

- THE DOUBLE HEADED ARROW FOR DOUBLE DRIVE-THRU SHOULD BE POSITIONED TO DIRECT TRAFFIC APPROPRIATELY TO EITHER LANE AS THEY APPROACH TO THE ISLAND. EACH ARROW MUST BE CUSTOMIZED TO FIT THE LANE CONFIGURATION. RATIONALE: EACH CUSTOMER READS FROM DIFFERENT LEVELS SOME BY LOT MARKINGS, SOME AT EYE LEVEL AND OTHERS LOOK ABOVE THE VEHICLES. BY ADDRESSING ALL OF THESE METHODS IN OUR BRANDING, WE SIMPLIFY THE USE FOR THE MAJORITY OF OUR GUESTS. THE DOUBLE ARROW INCREASES THE USAGE OF THE OUTSIDE LANE IN OFF PEAK TIMES HELPING THE RESTAURANT MAXIMIZE THE CAPACITY.

GUIDING PRINCIPLES

ALL ENTRANCES TO THE LOT

- THE WORD DRIVE THRU IS PLACED AT ALL ENTRANCES TO OUR LOT APPROXIMATELY 25'-30' FROM THE CURB OR SIDEWALK. THEY SHOULD BE CENTERED IN THE DRIVEWAY (ON THE INGRESS SIDE OF THE DRIVE AISLE IF THERE IS TWO WAY TRAFFIC). RATIONALE: THIS ALLOWS THE CUSTOMER TO MOVE SAFELY ONTO THE LOT AND SEE THE DRIVE-THRU DIRECTIONAL ARROW WHEN THEY ARE SAFELY OFF THE STREET.
- ROUND CIRCLE (DIRECTIONAL ARROW): THE CIRCLE ARROW SHOULD BE CENTERED ABOVE THE WORD "DRIVE" APPROXIMATELY 5 FEET FURTHER INTO THE PARKING LOT. RATIONALE: THE STANDARD YELLOW COLOR WITH THE WORD DRIVE-THRU SEEN FIRST AND THE ROUND ARROW BEGINS TO BRAND THE MARKINGS.

PARKING LOT STRIPING NOT IN THE DRIVE-THRU:

- ANY LOT STRIPING OTHER THAN THE DRIVE-THRU SHOULD BE WHITE. IF YOUR CITY CODE REQUIRES BLUE WITH THE HANDICAP PARKING STALLS THAT IS AN ACCEPTABLE DEVIATION. RATIONALE: THIS HELPS SUBTLY IDENTIFY WHAT IS A DRIVE-THRU MARKING FROM THE PARKING LOT MARKING AND CREATE A RUNWAY PATH TO THE LANE ENTRANCE.
- THE ENTRANCES WILL ALL HAVE A WHITE INGRESS EGRESS ARROW FOR THE CUSTOMER TO EASILY IDENTIFY IF IT IS A ONE WAY OR TWO-WAY ENTRANCE. THESE ARE WITHIN 10FT FROM INGRESS POINT AND IS DESIGNED TO BE SEEN CLEARLY BEFORE A CAR MAKES A TURNING COMMITMENT. RATIONALE: THE CONSISTENCY HERE WILL HELP OUR CUSTOMERS IDENTIFY THE FLOW OF TRAFFIC ON ALL ENTRANCES FOR THE CONSUMER WHEN THEY ARE AT A DECISION POINT.
- ANY ADDITIONAL WHITE ARROWS NEEDED SHOULD BE POSITIONED IN BETWEEN THE DRIVE-THRU DIRECTIONAL MARKINGS.
- ANY WORDING NEEDED OTHER THAN FOR THE DRIVE-THRU AREA SHOULD BE IN WHITE AND POSITIONED SO IT DOES NOT INTERFERE WITH THE DRIVE-THRU MARKINGS.

SHOULD YOU HAVE ADDITIONAL QUESTIONS FEEL FREE TO CONTACT THE RESTAURANT DESIGN GROUP AT HOME OFFICE FOR FURTHER CLARIFICATIONS.



SURVEY INFORMATION:	
PREPARED BY: PRECISION SURVEYS INC.	LEGAL DESCRIPTION: LOT 5-B OF THE REPLAT OF LOTS 5, 6, 7, 8, 9, 10, 11 AND THE EAST 40 FEET OF LOTS 12 AND 26, LOTS 27, 28, 29, 30, 31, 32 AND 33 OF BLOCK 2 OF THE REPLAT OF BLOCKS 1 AND 2, TRACTION PARK ADDITION
ADDITION: NEW CONSTRUCTION	
ADDRESS: 2305 CENTRAL AVE	
CITY: ALBUQUERQUE	STATE: NEW MEXICO
COUNTY: BERNALILLO	SURVEY: ABSTRACT NO.
L/C NUMBER: 030-0018	SHEET NAME: MCDONALD'S STANDARD DETAILS

ISSUE REF	BY	DESCRIPTION	REV	DATE

1105 CHEEK SPARGER RD.
SUITE #1
PHONE: 817.281.0572
COLLEYSVILLE, TX 76034
WWW.CLAYMOOREENG.COM

CLAYMOORE ENGINEERING

WMT A. MOORE
NEW MEXICO
21165
PROFESSIONAL ENGINEER

511 E JOHN CARPENTER FRWY SUITE 375, IRVING, TX 75062

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ALBUQUERQUE, NM 87104

MCDONALD'S L/C: 030-0018
CLAYMOORE ENG. NO. 2013-072

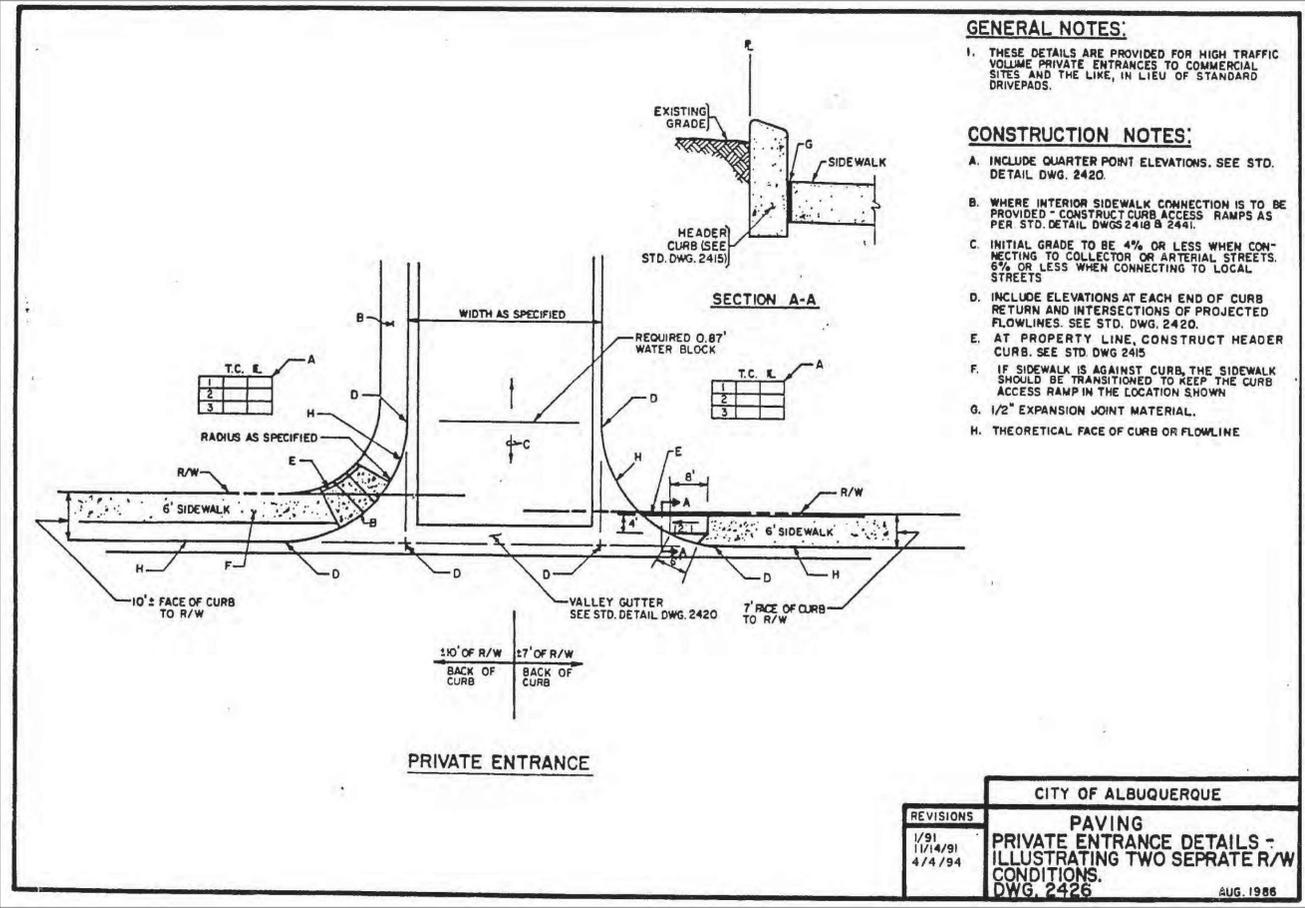
PLAN APPROVALS	
SIGNATURE (2 REQUIRED)	DATE
REGIONAL MGR.	
CONST. MGR.	
OPERATIONS DEPT.	
REAL ESTATE DEPT.	
CO-SIGN SIGNATURE	
CONTRACTOR	OWNER

STATUS	DATE	BY
DATE DRAWN	5/27/14	ASD
PLAN CHECKED	5/27/14	MAM
ASBUILT		

SHEET NO.
C-13

PLOTTED BY: Drew PLOT DATE: May 28, 2014 - 6:48pm
LOCATION: \\CLAYMOORE\Projects\Projects\0313-072 McDonald's Albuquerque Old Town\CADD\SHEET\C-13 McDonald's STANDARD DETAILS.dwg
LAST SAVED: 1/28/2014 5:45 PM

PLOTTED BY: Drew PLOT DATE: May 28, 2014 - 6:48pm
 LOCATION: \\CLAYMOORE\ASSETS\Projects\0313-072 McDonald's Albuquerque Old Town\CADD\SHEET\SC-12 BIKE RACK DETAILS.dwg
 LAST SAVED: 1/20/2014 5:48 PM



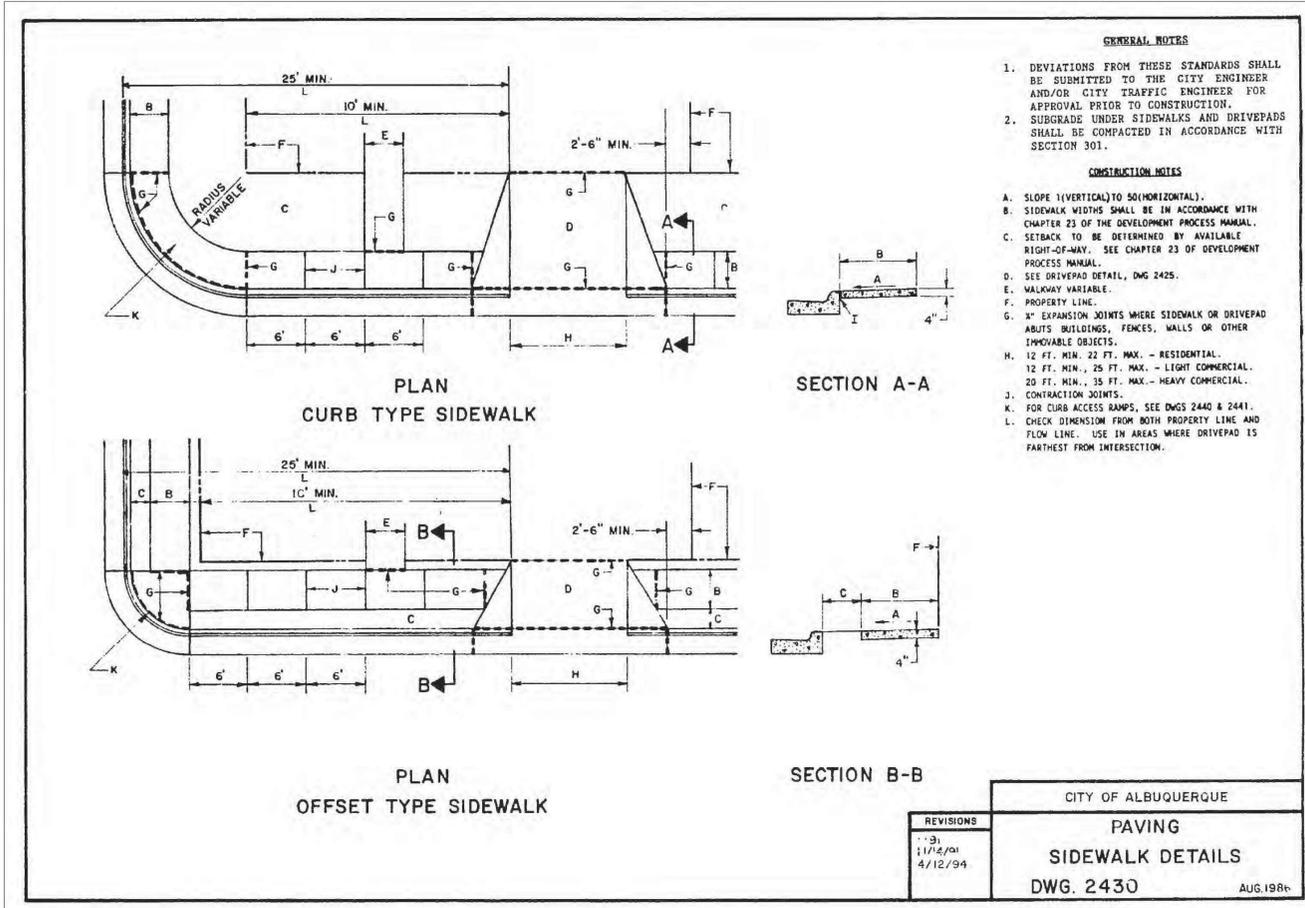
- GENERAL NOTES:**
- THESE DETAILS ARE PROVIDED FOR HIGH TRAFFIC VOLUME PRIVATE ENTRANCES TO COMMERCIAL SITES AND THE LIKE, IN LIEU OF STANDARD DRIVEPADS.
- CONSTRUCTION NOTES:**
- INCLUDE QUARTER POINT ELEVATIONS. SEE STD. DETAIL DWG. 2420.
 - WHERE INTERIOR SIDEWALK CONNECTION IS TO BE PROVIDED - CONSTRUCT CURB ACCESS RAMPS AS PER STD. DETAIL DWGS 2418 & 2441.
 - INITIAL GRADE TO BE 4% OR LESS WHEN CONNECTING TO COLLECTOR OR ARTERIAL STREETS. 6% OR LESS WHEN CONNECTING TO LOCAL STREETS.
 - INCLUDE ELEVATIONS AT EACH END OF CURB RETURN AND INTERSECTIONS OF PROJECTED FLOWLINES. SEE STD. DWG. 2420.
 - AT PROPERTY LINE, CONSTRUCT HEADER CURB. SEE STD DWG 2415
 - IF SIDEWALK IS AGAINST CURB, THE SIDEWALK SHOULD BE TRANSITIONED TO KEEP THE CURB ACCESS RAMP IN THE LOCATION SHOWN
 - 1/2" EXPANSION JOINT MATERIAL.
 - THEORETICAL FACE OF CURB OR FLOWLINE

CITY OF ALBUQUERQUE

PAVING PRIVATE ENTRANCE DETAILS - ILLUSTRATING TWO SEPARATE R/W CONDITIONS. DWG. 2426 AUG. 1986

REVISIONS

1	1/91
2	1/14/91
3	4/4/94



BENCHMARK DESCRIPTION

A.G.R.S. MONUMENT "12_112" STANDARD A.G.R.S. BRASS TABLET (FOUND IN PLACE)
 NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE-N.A.D. 1983)
 N=1,490,348.740
 E=1,513,276.047
 PUBLISHED EL=4955.235 (NAVD 1988)
 GROUND TO GRID FACTOR=0.999685396
 DELTA ALPHA ANGLE=-0°14'39.76"

SURVEY INFORMATION:

PREPARED BY: PRECISION SURVEYS INC.

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ADDRESS: 2305 CENTRAL AVE

CITY: ALBUQUERQUE STATE: NEW MEXICO

COUNTY: BERNALILLO SURVEY: ABSTRACT NO.

L/C NUMBER: 030-0018 SHEET NAME: CITY STANDARD DETAILS

STATUS: DATE DRAWN: 5/27/14 BY: ASD

PLAN CHECKED: 5/27/14 MAM

ASBUILT

SHEET NO. C-14

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 1-800-321-2537
 (@ least 72 hours prior to digging)

ISSUE REF

DESCRIPTION

REV DATE

BY

1105 CHEEK SPARGER RD. SUITE #1 COLLEEVILLE, TX 76034 WWW.CLAYMOOREENG.COM

CLAYMOORE ENGINEERING

WMT A. MOORE
 NEW MEXICO
 21165
 PROFESSIONAL ENGINEER

DATE: 5/27/14

OFFICE: GREATER SOUTHWEST REGION ADDRESS: 511 E JOHN CARPENTER FRWY SUITE 375, IRVING, TX 75062

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MCDONALD'S L/C: 030-0018 CLAYMOORE ENG. NO. 2013-072

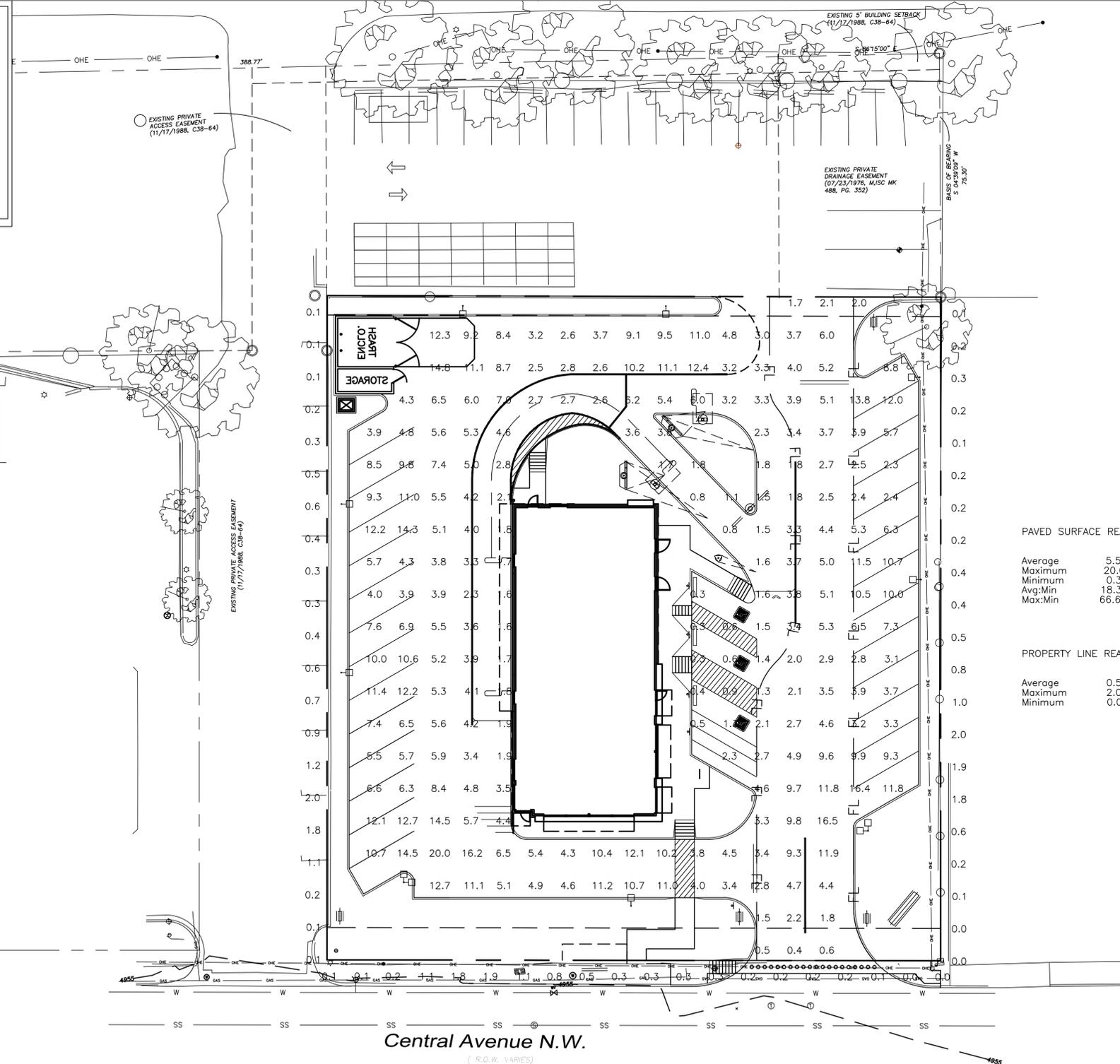
PLAN APPROVALS

SIGNATURE (2 REQUIRED)	DATE

REGIONAL MGR. CONST. MGR. OPERATIONS DEPT. REAL ESTATE DEPT.

CO-SIGN SIGNATURE CONTRACTOR OWNER

- NOTES:
1. THE FOOTCANDLE LEVELS AS SHOWN ARE BASED ON THE FOLLOWING CRITERIA. ANY SUBSTITUTIONS IN SPECIFIED FIXTURES OR CHANGES TO LAYOUT WILL AFFECT LIGHTING LEVELS SHOWN AND WILL NOT BE THE RESPONSIBILITY OF SECURITY LIGHTING.
 2. THE CONTRIBUTION OF THE SOFFIT / BUILDING LIGHTING IS NOT REFLECTED ON THE DRAWING UNLESS SOFFIT / BUILDING LIGHTING IS SPECIFIED IN THE FIXTURE SCHEDULE BELOW.
 3. DISTANCE BETWEEN READINGS 10'
 4. FINAL ADJUSTMENTS TO AIMING ANGLE/DIRECTION OF FIXTURES MAY BE REQUIRED TO ELIMINATE LIGHT TRESPASS OR GLARE ONTO ADJOINING PROPERTIES OR ROADWAYS.
 5. ALL EXTERIOR LIGHTS SHALL BE SHIELDED IN ACCORDANCE WITH THE NEW MEXICO NIGHT SKY STATUTE



PAVED SURFACE READINGS

Average	5.5
Maximum	20.0
Minimum	0.3
Avg:Min	18.33
Max:Min	66.67

PROPERTY LINE READINGS

Average	0.5
Maximum	2.0
Minimum	0.0

** - SPECIFY COLOR

NOTE: ALL POLES ARE DRILLED

FIXTURE TYPE:	SYMBOL	FIXTURE QUANTITY	CONFIG	QUANTITY	EPA	MOUNTING HEIGHT	LLF	POLE TYPE:	QUANTITY	WIND LOAD	ALLOWED EPA
RSB/RCS-320PSMH-**-4-MT	☐	11	SGL	7	2.10	16'	0.75	SSP-4113-GL-**(4")	9	90mph	13.8
			DBL90	2	3.10						

* PROJECT WIND LOAD CRITERIA BASED ON:
ASCE 7-10 WIND SPEEDS (3-SEC PEAK GUST MPH)
50 YEAR MEAN RECURRENCE INTERVAL

THIS LIGHTING PATTERN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRES MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS.

UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS ARE IN INCHES

NOTES:

SCALE	1" = 20' 0"	DATE	05/28/14	NEXT ASSEMBLY		REF. DRWGS.	
DRAWN BY	MJW						
CHECKED BY							
APPROVED BY							
APPROVED BY				FINISH			
APPROVED BY							
SHOP ORDER				MATERIAL			
PROJECT NO.							

POINT-BY-POINT FOOTCANDLE PLOT FOR
McDONALD'S
CENTRAL AVENUE N.W.
ALBUQUERQUE, NM

DRAWING NUMBER
1PCP28547D



site integration studio
Landscape Architecture - Sustainable Site Planning - Natural Resource Design

John F. Murphy, ASLA

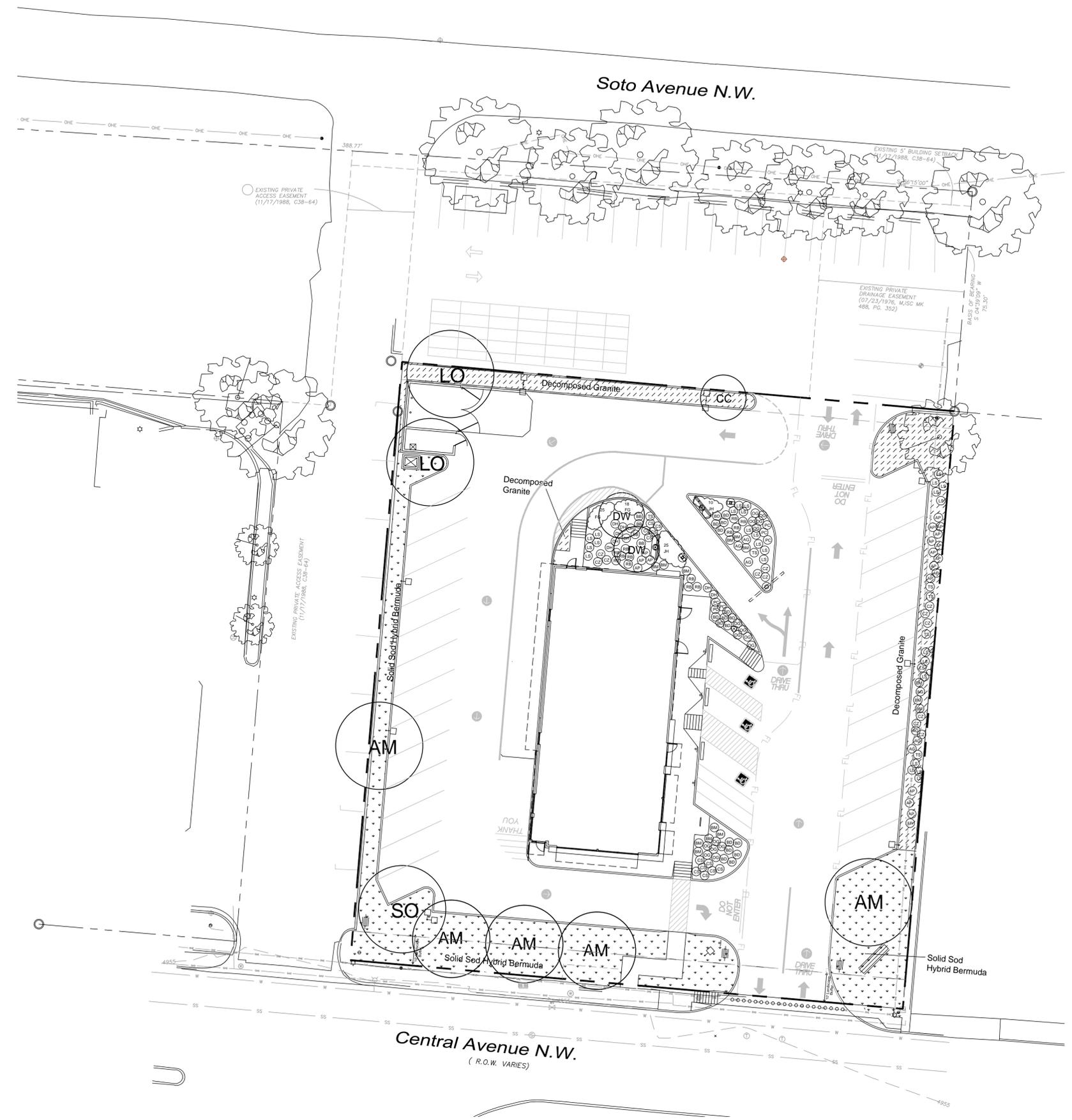
1524 S. Beckham Ave.
Suite 244
Tyler, TX 75701
512.632.3822 cell
903.533.8898 tel / fax
john@siteint.com

2709 S. Lemar Blvd.
Suite 110
Austin, TX 78704
512.443.3512 tel
512.443.3589 fax
www.siteint.com

1105 CHEEK SPARGER RD.
SUITE #1
COLLEYSVILLE, TX 76034
WWW.CLAYMOOREENGINEERING.COM



REV	DATE	DESCRIPTION	BY	ISSUE REF



TREE LEGEND

- Canopy Trees
- LO Live Oak
 - AM Amur Maple
 - SO Shumard Oak
- Ornamental Trees
- CC Choke Cherry
 - DW Desert Willow

HATCH LEGEND

- Solid Sod Hybrid Bermuda
- Decomposed Granite

SHRUB LEGEND

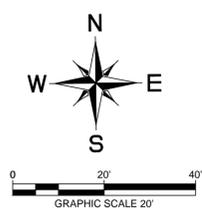
- LS Lavender Sage
- OG Compact Oregon Grape
- AG Havard Agave
- TS Texas Sotol
- PC Purple Coneflower
- BB Butterfly Bush
- RB Redleaf Barberry
- CS Cherry Sage
- AP Apache Plume
- BM Big Muhly
- BD Black Dalea
- CZ Compact Cenizo
- DH Dwarf Ind. Hawthorne
- FG Germander
- JH Blue Rug Juniper

LANDSCAPE NOTES

- The project will have an underground automatic irrigation system to water all new plantings.
- Install 4" layer of shredded hardwood mulch to all planting beds.
- Install 4" Benda Board edging between all shrub beds and grass areas.
- Shrub beds to have 12 inches of prepared planting mix (75% import topsoil, 15% composted amendment, 10% washed sand).
- Shredded hardwood mulch must contain long strands along with double shred finer material obtained from a local source.

BENCHMARK DESCRIPTION

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STANDARD A.G.R.S. BRASS TABLET
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DELTA ALPHA ANGLE=-0°14'39.76"



STOP!
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DIG TESS
1-800-DIG-TESS
(@ least 72 hours prior to digging)

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CITY: ALBUQUERQUE	STATE: NEW MEXICO
COUNTY: BERNALLILLO	SURVEY: ABSTRACT NO.
L/C NUMBER: 030-0018	SHEET NAME: LANDSCAPE PLAN

PLAN APPROVALS		STATUS	DATE	BY
SIGNATURE (2 REQUIRED)	REGIONAL MGR.	DATE DRAWN	5/27/14	JFM
	CONST. MGR.	PLAN CHECKED	5/27/14	MAM
	OPERATIONS DEPT.	ASBUILT		
	REAL ESTATE DEPT.			
CO-SIGN SIGNATURE	CONTRACTOR	SHEET NO.	L-1	
	OWNER			

OFFICE: GREATER SOUTHWEST REGION
ADDRESS: 511 E JOHN CARPENTER FRM Y SUITE 375, IRVING, TX 75062

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CLAYMOORE ENG. NO. 2013-072



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COLLEYSVILLE, TX 76034
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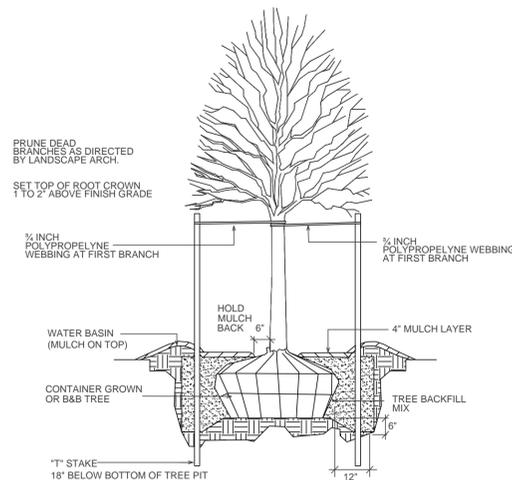
PLANT LIST

Quantity	Symbol	Common Name	Scientific Name	Size / Spacing
CANOPY TREES				
2	LO	Live Oak	Quercus virginiana	3" cal. 65 gal. 10' ht.
1	SO	Shumard Oak	Quercus shumardii	3" cal. 65 gal. 10' ht. 5' spread
5	AM	Amur Maple	Acer ginnala	2" cal. 45 gal. multi-trunk
ORNAMENTAL TREES				
1	CC	Chokecherry	Prunus virginiana 'Canada Red'	45 gal. 2 1/2" cal. 10' ht.
2	DW	Desert Willow	Chilopsis linearis	30 gal. 8' ht. fully branched
SHRUBS & GROUNDCOVERS				
27	LS	Lavender Sage	Salvia lavendulifolia	5 gal. 36" oc
16	OG	Compact Oregon Grape	Mahonia aquifolium 'compacta'	5 gal. 36" oc
7	AG	Havard Agave	Agave havardiana	5 gal. 36" oc
6	TS	Texas Sotol	Dasyliiron texanum	5 gal. 36" oc
6	PC	Purple Coneflower	Echinacea purpurea	1 gal. 18" oc
5	BB	Butterfly Bush	Buddleia marubifolia	5 gal. 36" oc
13	RB	Redleaf Barberry	Berberis thunbergii 'Atropurpurea'	5 gal. 36" oc
12	CS	Cherry Sage	Salvia greggii 'Red Autumn Sage'	5 gal. 36" oc
19	AP	Apache Plume	Fallugia paradoxa	5 gal. 36" oc
14	BM	Big Muhly	Muhlenbergia lindheimeri	5 gal. 36" oc
17	BD	Black Dalea	Dalea frutescens	5 gal. 36" oc
12	CZ	Compact Cenizo	Leucophyllum frutescens 'compactum'	5 gal. 36" oc
9	DH	Dwarf Indian Hawthorne	Rhaphiolepis indica 'clara'	5 gal. 36" oc
43	FG	Germander	Teucrium cossoni majorcan	5 gal. 36" oc
35	JH	Blue Rug Juniper	Juniperus horizontalis 'wiltonii'	5 gal. 36" oc

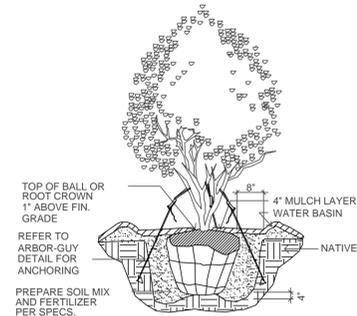
Albuquerque, NM LANDSCAPE CALCULATIONS

Total Lot Area	38,973 SF		
Net Lot Area	34,674 SF	req.	provided
Required Landscape Area 15%		5,201 SF	10,877 SF

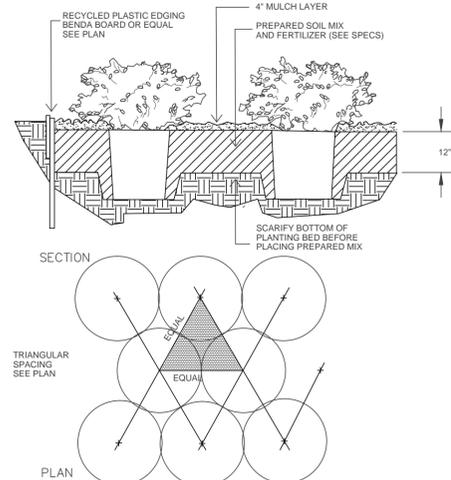
PARKING LOT LANDSCAPE			
Parking Spaces	37	req.	prov.
		4 trees	4 canopy trees
1 tree per 10 spaces			1 existing tree
			1 orn. trees



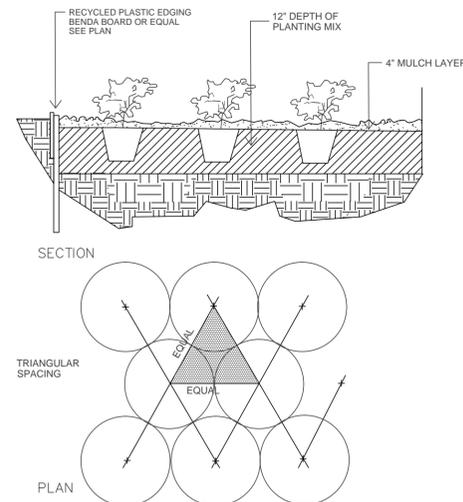
1 CANOPY TREE PLANTING
SCALE: NONE



2 MULTI-TRUNK PLANTING
SCALE: NONE



3 SHRUB PLANTING
SCALE: NONE



4 GROUNDCOVER PLANTING
SCALE: NONE

BENCHMARK DESCRIPTION
A.G.R.S. MONUMENT "12_112"
STANDARD A.G.R.S. BRASS TABLET
(FOUND IN PLACE)
NEW MEXICO STATE PLANE COORDINATES
(CENTRAL ZONE-N.A.D. 1983)
N=1,490,348.740
E=1,513,276.047
PUBLISHED EL=4955.235 (NAVD 1988)
GROUND TO GRID FACTOR= 0.999685396
DELTA ALPHA ANGLE=-0°14'39.76"

SURVEY INFORMATION:	
PREPARED BY: PRECISION SURVEYS INC.	LEGAL DESCRIPTION: LOT 5-B OF THE REPLAT OF LOTS 5, 6, 7, 8, 9, 10, 11 AND THE EAST 40 FEET OF LOTS 12 AND 26, LOTS 27, 28, 29, 30, 31, 32 AND 33 OF BLOCK 2 OF THE REPLAT OF BLOCKS 1 AND 2, TRACTION PARK ADDITION
ADDITION: NEW CONSTRUCTION	
ADDRESS: 2305 CENTRAL AVE	
CITY: ALBUQUERQUE	STATE: NEW MEXICO
COUNTY: BERNAILLO	SURVEY: ABSTRACT NO.
L/C NUMBER: 030-0018	SHEET NAME: LANDSCAPE DETAILS

PLAN APPROVALS	
SIGNATURE (2 REQUIRED)	CO-SIGN SIGNATURE
REGIONAL MGR.	OWNER
CONST. MGR.	
OPERATIONS DEPT.	
REAL ESTATE DEPT.	
CONTRACTOR	
STATUS	DATE
DATE DRAWN	5/27/14
PLAN CHECKED	5/27/14
ASBUILT	
SHEET NO. L-2	

STOP!
CALL BEFORE YOU DIG
DIG TESS
1-800-DIG-TESS
(@ least 72 hours prior to digging)

OFFICE: GREATER SOUTHWEST REGION
ADDRESS: 511 E JOHN CARPENTER FRM Y SUITE 375, IRVING, TX 75062

MCDONALD'S

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF MCDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN CONSENT.

2305 CENTRAL AVE
ALBUQUERQUE, NM 87104

MCDONALD'S L/C: 030-0018
CLAYMOORE ENG. NO. 2013-072