

- NOTICE TO CONTRACTOR**
1. An excavation/construction permit will be required before beginning any work within City right of way. An approved copy of these plans must be submitted at the time of application for this permit.
 2. All work detailed on these plans to be performed, except as otherwise stated or provided herein, shall be constructed in accordance with "City of Albuquerque Standard Specifications for Public Works Construction" (1986 Edition).
 3. Two working days prior to any excavation, Contractor must contact the Line Locating Service, 765-1234, for location of existing utilities.
 4. Prior to construction, the Contractor shall excavate and verify the horizontal and vertical locations of all obstructions. Should a conflict exist, the Contractor shall notify the Engineer so that the conflict can be resolved with a minimum of delay.
 5. Backfill compaction shall be according to residential street use.
 6. Maintenance of these facilities shall be the responsibility of the Owner of the property served.
 7. Contractor is responsible for obtaining excavation permit for the S.O. 19 and providing proof of acceptance by the City prior to Hydrology sign-off for Certificate of Occupancy.

DRAINAGE FACILITIES WITHIN CITY RIGHT OF WAY

Design Approval	HYDROLOGY SECTION	DATE
Inspection Approval	CONSTRUCTION SECTION	DATE
Acceptance	CONSTRUCTION/SECTION/PERMITS	DATE

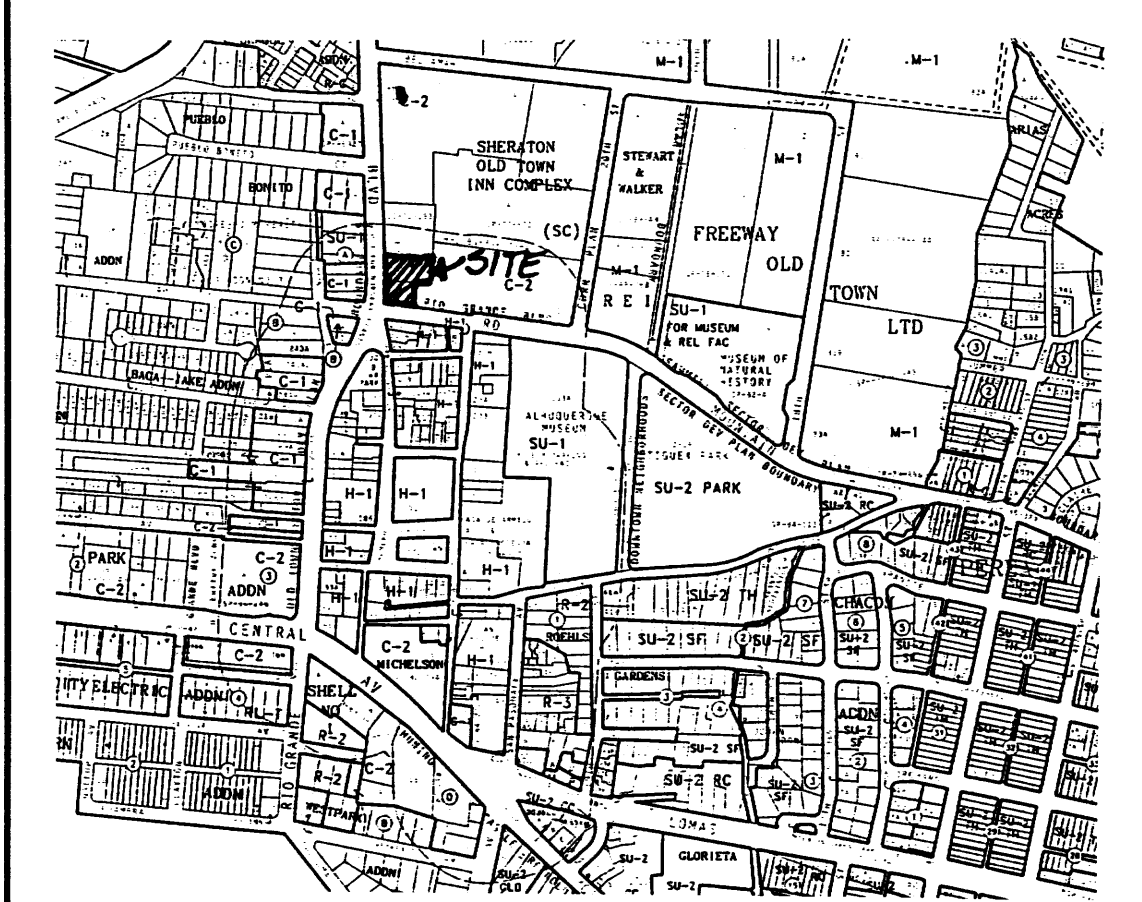
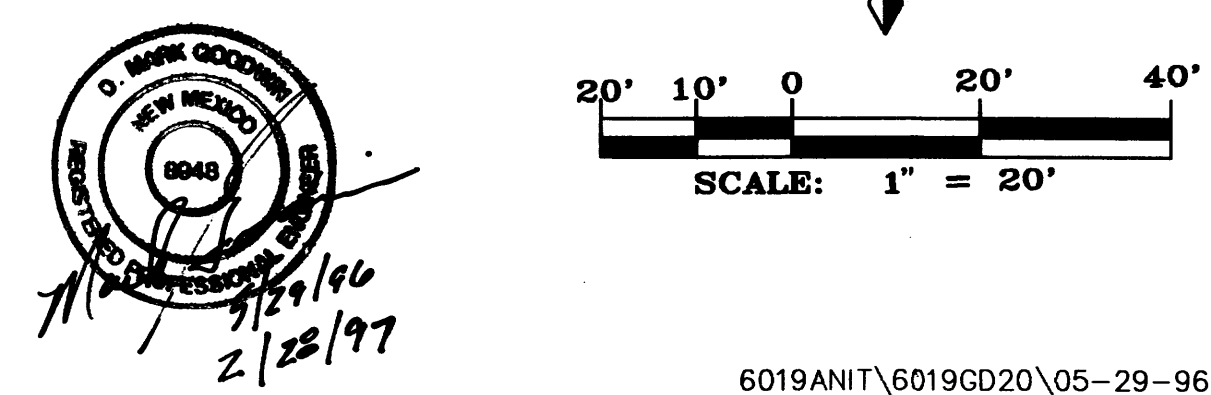
Not USED - PARKING LOT WAS GRADED TO DRAIN OUT W. DRIVEWAY

RECORD DRAWING

I hereby certify that the information contained on this drawing has been revised in accordance with information furnished by the contractor, Gearson, and by the surveyor, Hams Surveying, and reflects the construction as actually accomplished. This plan as constructed is in substantial compliance with the Approved Plan.

Mark Goodwin 3/26/97
Mark Goodwin NMPE 8948

REGISTERED PROFESSIONAL ENGINEER
NEW MEXICO
8948



VICINITY MAP ZONE MAP: J-13-Z

TBM (TEMPORARY BENCHMARK)
FINISHED FLOOR OF EXISTING BUILDING. FF= 4956.83

ACS BENCHMARK
THE STATION MARK IS A STANDARD ACS BRASS TABLET STAMPED "7-113A", SET FLUSH WITH CURB.
TO REACH THE STATION FROM THE INTERCHANGE AT I-40 AND RIO GRANDE BLVD., GO SOUTH ON RIO GRANDE 0.4 MILES TO THE STATION ON THE LEFT.
X = 374,413.91 Y = 1,491,407.67 Z = 4956.15

LEGAL DESCRIPTION
LOTS A AND B, FRANCES' SUBDIVISION AND TRACT 238-C-2-A, MIDDLE RIO GRANDE CONSERVANCY DISTRICT MAP NO. 38.

- NOTES**
1. NO OFF-SITE FLOWS ENTER THIS SITE.
 2. PROJECT ENTAILS A BUILDING ADDITION IN AN AREA OF EXISTING ASPHALT PAVEMENT. NO CHANGE IN RUNOFF AMOUNTS OR PATTERNS WILL OCCUR.
 3. SITE DOES NOT LIE WITHIN A 100 YEAR FLOOD ZONE.

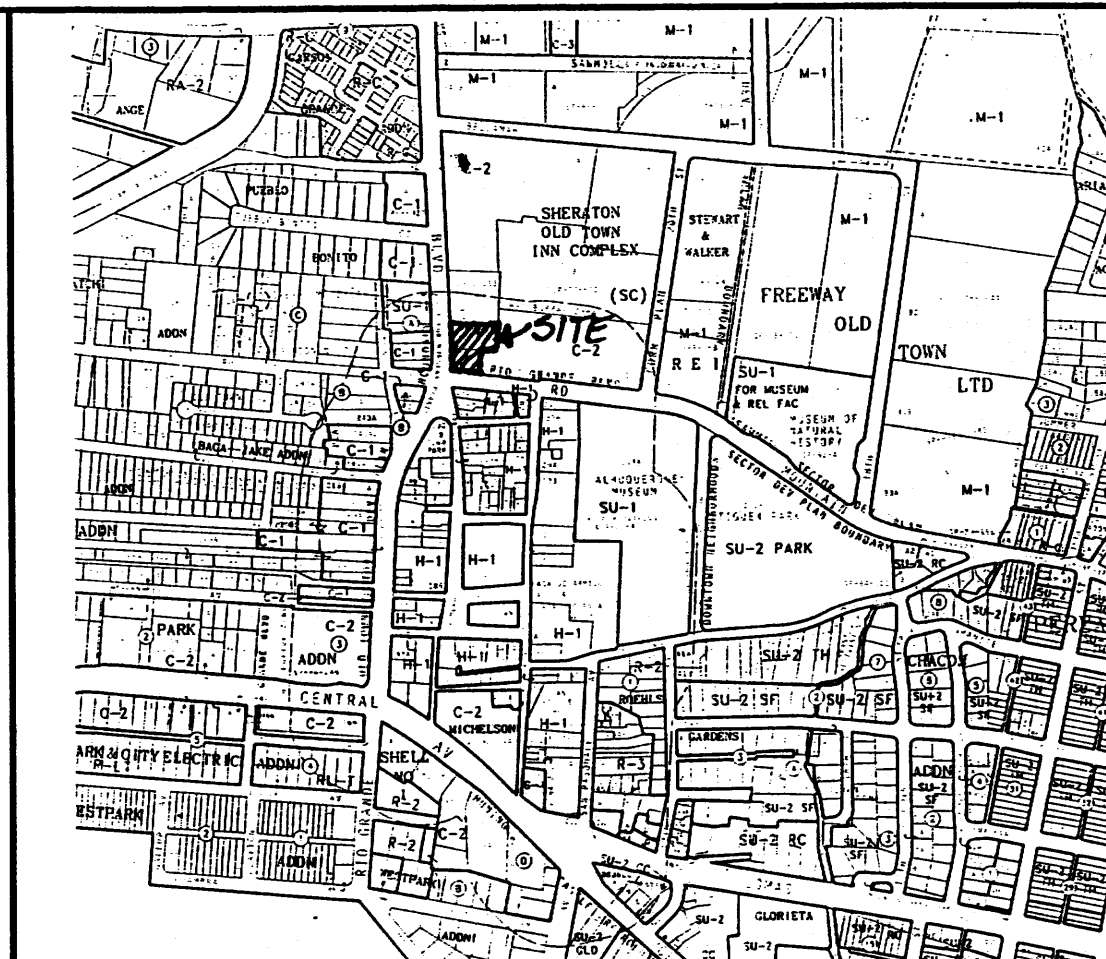
LEGEND

---	PROPERTY LINE
00	EXISTING CONTOUR
+2050	EXISTING SPOT ELEVATION
-----	BASIN BOUNDARY
55.50 55.00	PROPOSED SPOT ELEVATION
→	ROOF DRAIN (TYP)
→	FLOW DIRECTION (TYP)
⊕	EXISTING LIGHT POLE
⊗	EXISTING WATER METER
○	EXISTING POWER POLE W/O.H. ELEC. LINE
•	EXISTING SAN. SEW. CLEAN-OUT

**LITTLE ANITAS ADDITION
GRADING & DRAINAGE PLAN**

dmg D. MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS & SURVEYORS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 345-2010

Designed: DMG	Drawn: MCG	Checked: DMG	Sheet 1 of 1
Scale: 1" = 20'	Date: 04/96	Job: 96019	



VICINITY MAP ZONE MAP: J-13-Z

TBM (TEMPORARY BENCHMARK)

FINISHED FLOOR OF EXISTING BUILDING. FF= 4956.83

ACS BENCHMARK

THE STATION MARK IS A STANDARD ACS BRASS TABLET STAMPED "7-J3A", SET FLUSH WITH CURB.

TO REACH THE STATION FROM THE INTERCHANGE AT I-40 AND RIO GRANDE BLVD., GO SOUTH ON RIO GRANDE 0.4 MILES TO THE STATION ON THE LEFT.

X = 374,413.91 Y = 1,491,407.67 Z = 4956.15

LEGAL DESCRIPTION

LOTS A AND B, FRANCES' SUBDIVISION AND TRACT 238-C-2-A, MIDDLE RIO GRANDE CONSERVANCY DISTRICT MAP NO. 38.

NOTES

1. NO OFF-SITE FLOWS ENTER THIS SITE.
2. PROJECT ENTAILS A BUILDING ADDITION IN AN AREA OF EXISTING ASPHALT PAVEMENT. NO CHANGE IN RUNOFF AMOUNTS OR PATTERNS WILL OCCUR.
3. SITE DOES NOT LIE WITHIN A 100 YEAR FLOOD ZONE.

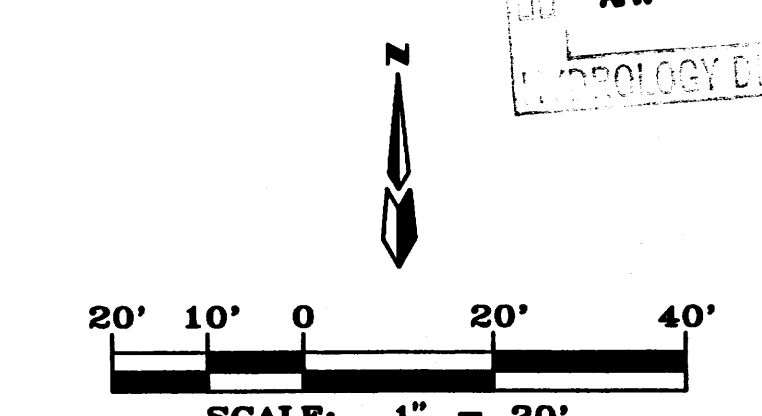
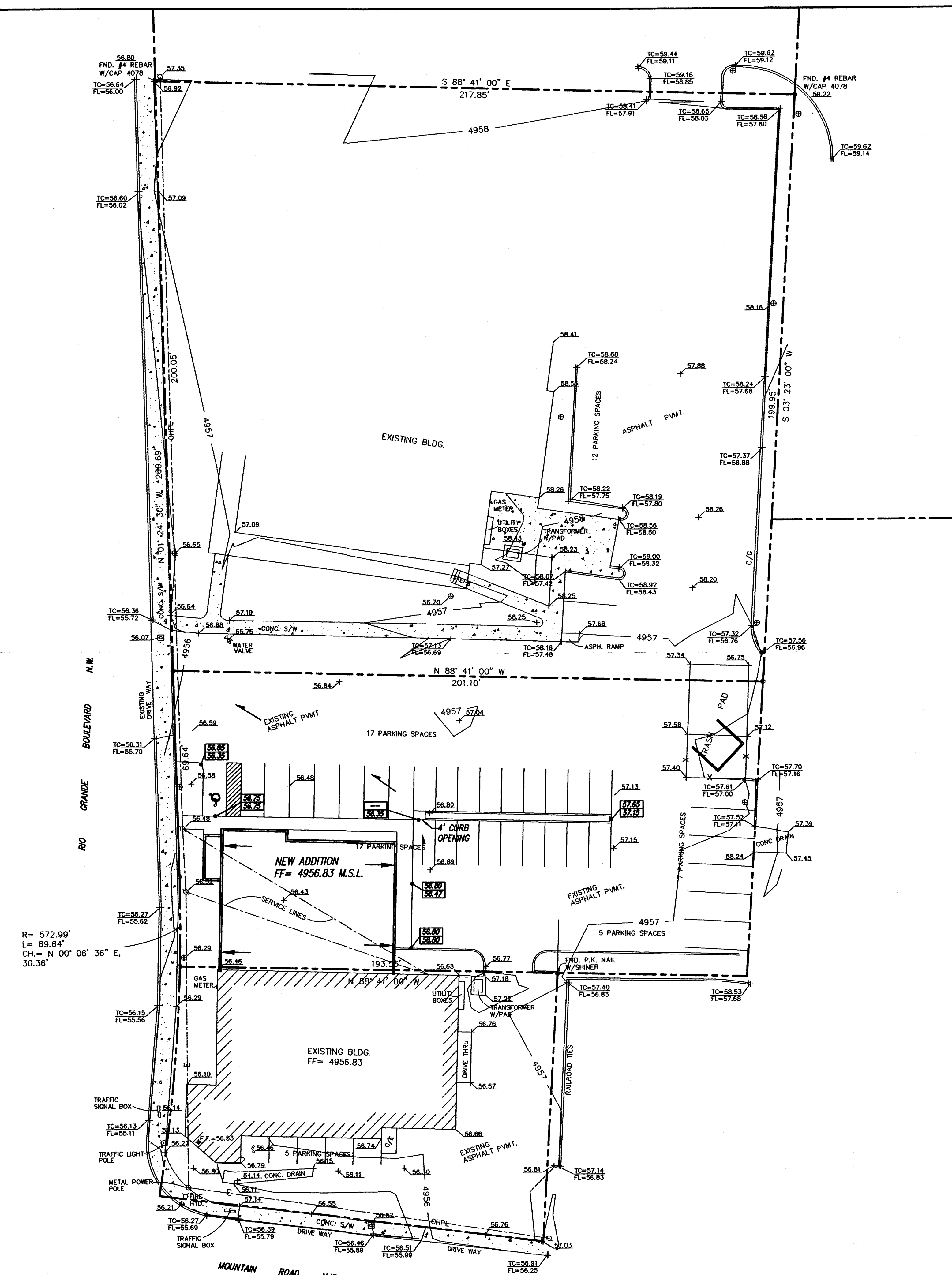
LEGEND

- PROPERTY LINE
- 00--- EXISTING CONTOUR
- +2050 EXISTING SPOT ELEVATION
- BASIN BOUNDARY
- PROPOSED SPOT ELEVATION
- ROOF DRAIN (TYP)
- FLOW DIRECTION (TYP)
- EXISTING LIGHT POLE
- EXISTING WATER METER
- EXISTING POWER POLE W/O.H. ELEC. LINE
- EXISTING SAN. SEW. CLEAN-OUT

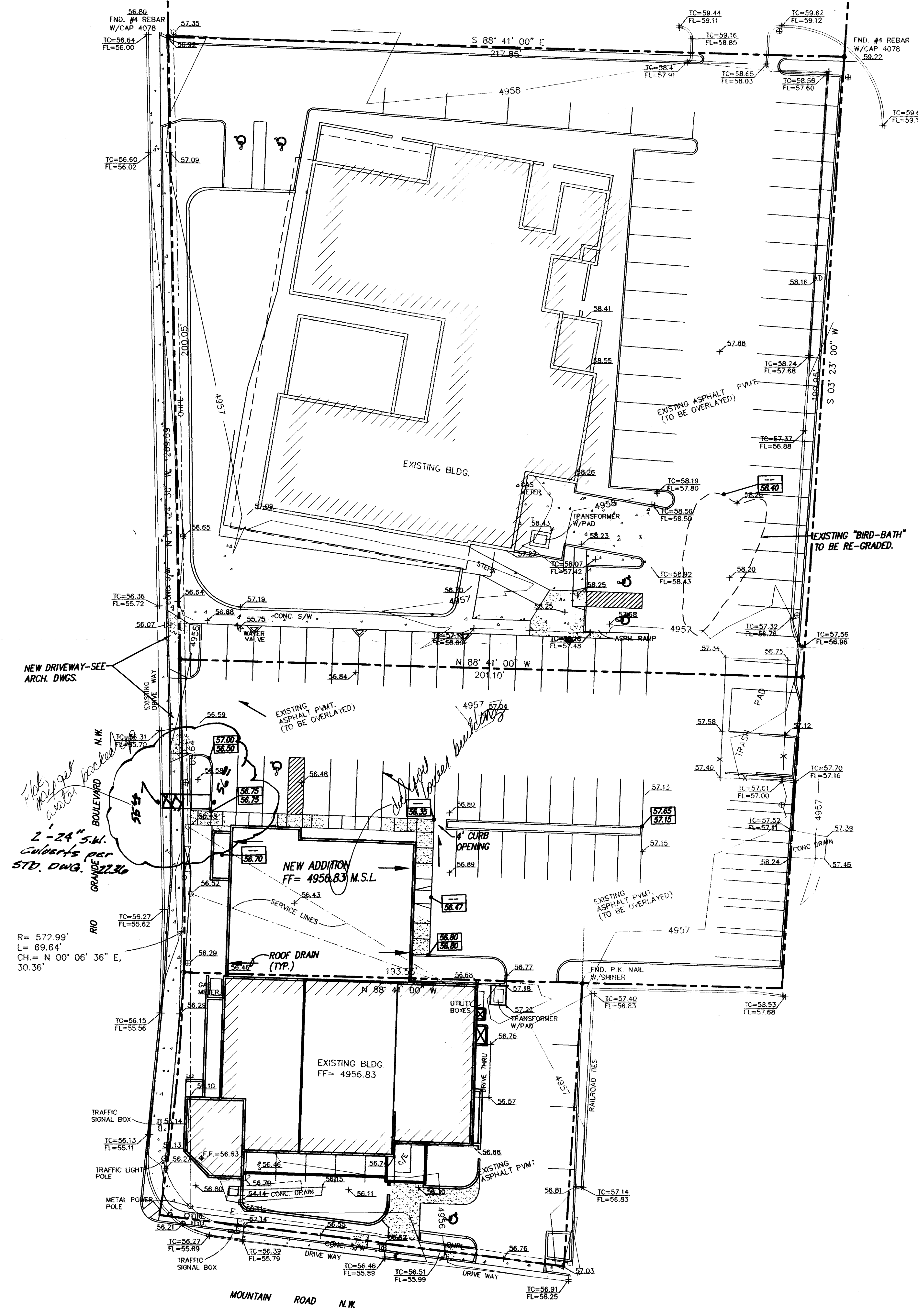
LITTLE ANITAS ADDITION GRADING & DRAINAGE PLAN

dmg D. MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS & SURVEYORS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 345-2010

Designed: DMG Drawn: MCG Checked: DMG Sheet 1 of 1
Scale: 1" = 20' Date: 04/96 Job: 96019



6019ANIT\6019GD20\04-08-96

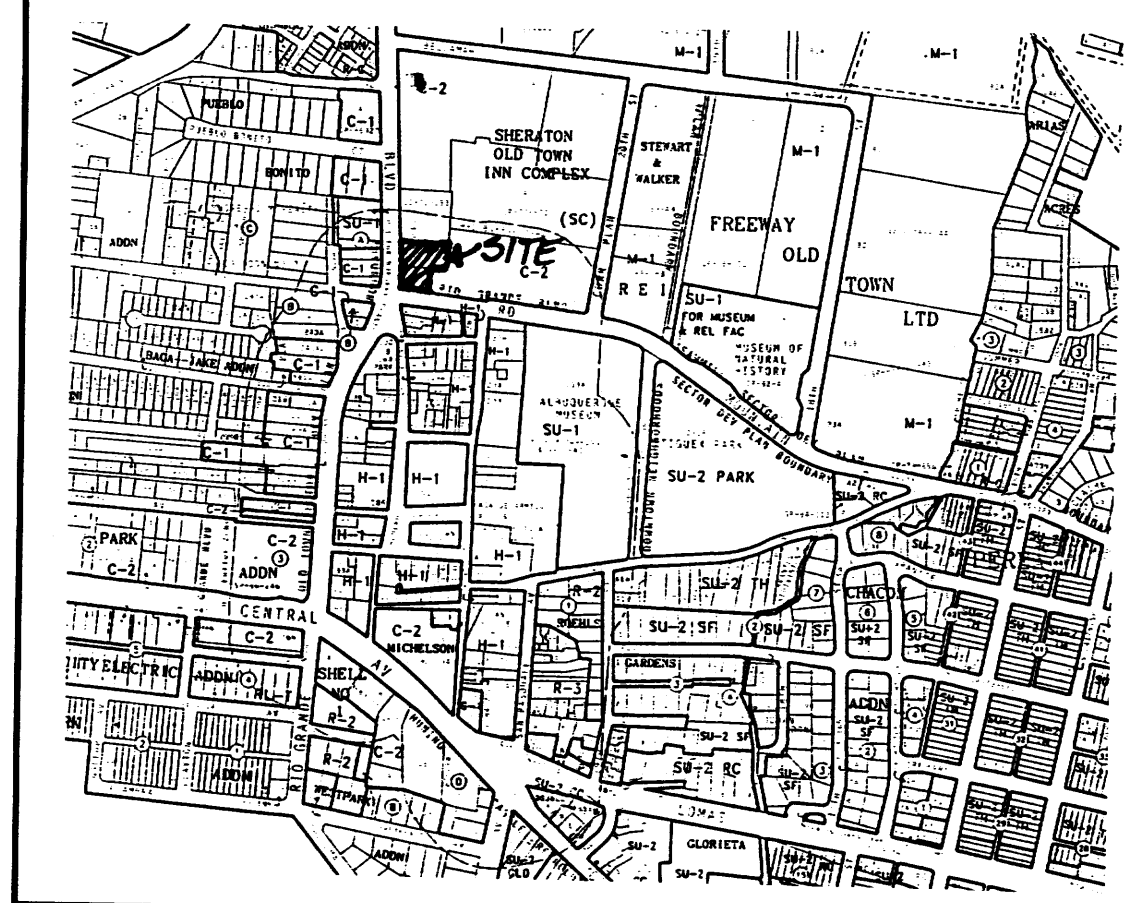


NOTICE TO CONTRACTOR

1. An excavation/construction permit will be required before beginning any work within City right of way. An approved copy of these plans must be submitted at the time of application for this permit.
2. All work detailed on these plans to be performed, except as otherwise stated or provided hereon, shall be constructed in accordance with "City of Albuquerque Standard Specifications for Public Works Construction" (1986 Edition).
3. Two working days prior to any excavation, Contractor must contact the Line Locating Service, 765-1234, for location of existing utilities.
4. Prior to construction, the Contractor shall excavate and verify the horizontal and vertical locations of all obstructions. Should a conflict exist, the Contractor shall notify the Engineer so that the conflict can be resolved with a minimum of delay.
5. Backfill compaction shall be according to residential street use.
6. Maintenance of these facilities shall be the responsibility of the Owner of the property served.
7. Contractor is responsible for obtaining excavation permit for the S.O. 19 and providing proof of acceptance by the City prior to Hydrology sign-off for Certificate of Occupancy.

DRAINAGE FACILITIES WITHIN CITY RIGHT OF WAY

Design Approval	HYDROLOGY SECTION	DATE
Inspection Approval	CONSTRUCTION SECTION	DATE
Acceptance	CONSTRUCTION/SECTION/PERMITS	DATE



VICINITY MAP ZONE MAP: J-13-Z

TBM (TEMPORARY BENCHMARK)
FINISHED FLOOR OF EXISTING BUILDING. FF= 4956.83

ACS BENCHMARK
THE STATION MARK IS A STANDARD ACS BRASS TABLET STAMPED "7-J13A", SET FLUSH WITH CURB.
TO REACH THE STATION FROM THE INTERCHANGE AT I-40 AND RIO GRANDE BLVD., GO SOUTH ON RIO GRANDE 0.4 MILES TO THE STATION ON THE LEFT.
X = 374,413.91 Y = 1,491,407.67 Z = 4956.15

LEGAL DESCRIPTION
LOTS A AND B, FRANCES' SUBDIVISION AND TRACT 238-C-2-A, MIDDLE RIO GRANDE CONSERVANCY DISTRICT MAP NO. 38.

- NOTES
1. NO OFF-SITE FLOWS ENTER THIS SITE.
 2. PROJECT ENTAILS A BUILDING ADDITION IN AN AREA OF EXISTING ASPHALT PAVEMENT. NO CHANGE IN RUNOFF AMOUNTS OR PATTERNS WILL OCCUR.
 3. SITE DOES NOT LIE WITHIN A 100 YEAR FLOOD ZONE.

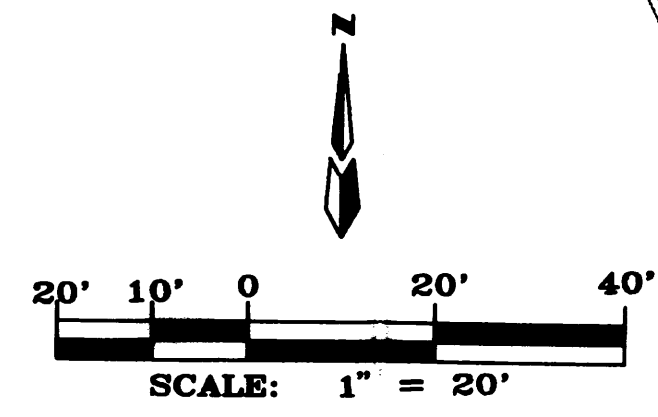
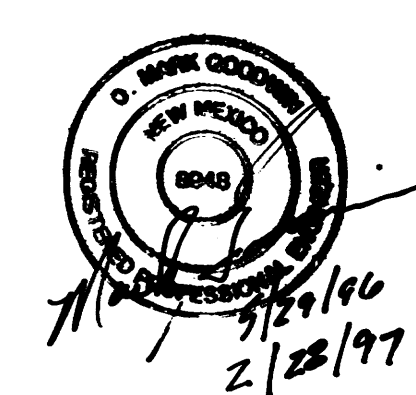
LEGEND

---	PROPERTY LINE
00	EXISTING CONTOUR
2050	EXISTING SPOT ELEVATION
-----	BASIN BOUNDARY
56.50	PROPOSED SPOT ELEVATION
→	ROOF DRAIN (TYP)
→	FLOW DIRECTION (TYP)
⊙	EXISTING LIGHT POLE
⊠	EXISTING WATER METER
○	EXISTING POWER POLE W/O.H. ELEC. LINE
•	EXISTING SAN. SEW. CLEAN-OUT

LITTLE ANITAS ADDITION
GRADING & DRAINAGE PLAN

dmg D. MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS & SURVEYORS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 345-2010

Designed: DMG	Drawn: MCG	Checked: DMG	Sheet 1 of 1
Scale: 1" = 20'	Date: 04/96	Job: 96019	

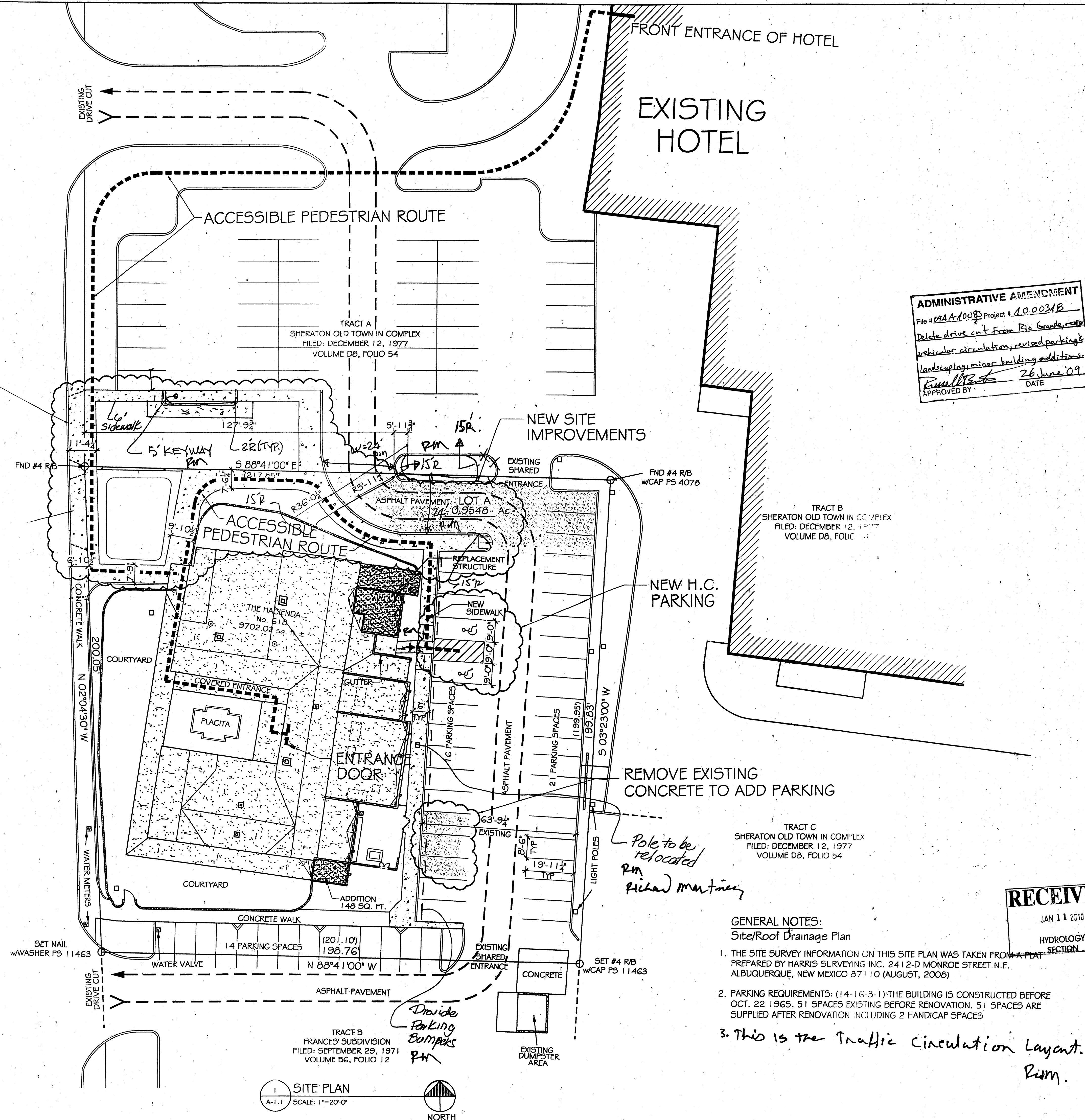


M: HACIENDA - 0901 CURRENT DRAWINGS HACIENDA SITE PLAN HACIENDA-0901-A-1-1 SITE PLAN DWG. 6/22/2009 9:01:30 AM KIP 3000.PCS

DRIVE CUT TO BE ELIMINATED, THE
SIDEWALK AND CURB AND GUTTER
THAT WILL BE CONSTRUCTED
ACROSS THE FORMER DRIVE CUT
WILL BE BUILT TO STANDARDS:
COA STD DWG 2430 FOR THE SIDEWALK
COA STD DWG 2418A/S FOR THE CURB
AND GUTTER

DRIVE CUT TO BE ELIMINATED, THE
SIDEWALK AND CURB AND GUTTER
THAT WILL BE CONSTRUCTED
ACROSS THE FORMER DRIVE CUT
WILL BE BUILT TO STANDARDS:
COA STD DWG 2430 FOR THE SIDEWALK
COA STD DWG 2418A/S FOR THE CURB
AND GUTTER

RIO GRANDE BOULEVARD N.W.



ADMINISTRATIVE AMENDMENT
File # 09AA-10003 Project # 1000318
Delete drive cut from Rio Grande, revise
vehicular circulation, revised parking
landscaping, minor building additions
APPROVED BY *[Signature]* DATE 26 June 09

GENERAL NOTES:
Site/Roof Drainage Plan

1. THE SITE SURVEY INFORMATION ON THIS SITE PLAN WAS TAKEN FROM A PLAT PREPARED BY HARRIS SURVEYING INC. 2412-D MONROE STREET N.E. ALBUQUERQUE, NEW MEXICO 87110 (AUGUST, 2008)
2. PARKING REQUIREMENTS: (14-16-3-1) THE BUILDING IS CONSTRUCTED BEFORE OCT. 22 1965. 51 SPACES EXISTING BEFORE RENOVATION. 51 SPACES ARE SUPPLIED AFTER RENOVATION INCLUDING 2 HANDICAP SPACES
3. This is the Traffic Circulation Layout.
Rm.

RECEIVED
JAN 11 2010
HYDROLOGY SECTION

SITE PLAN
A-1.1 SCALE: 1"=20'-0"



MARTINEZ
ARCHITECTURE
STUDIO PC

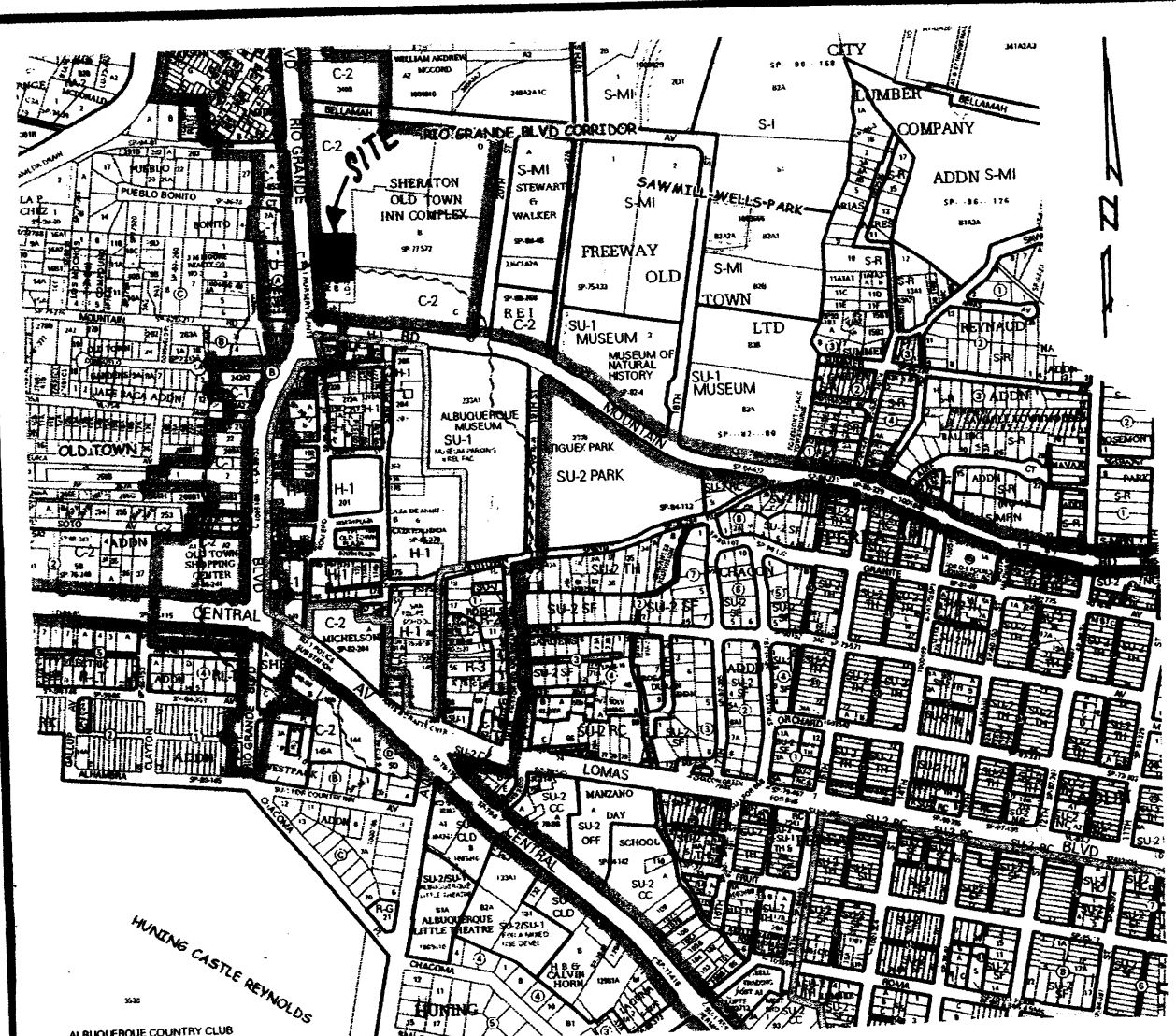
HACIENDA
618 RIO GRANDE BLVD NW
ALBUQUERQUE, NEW MEXICO

MAY 12, 2009

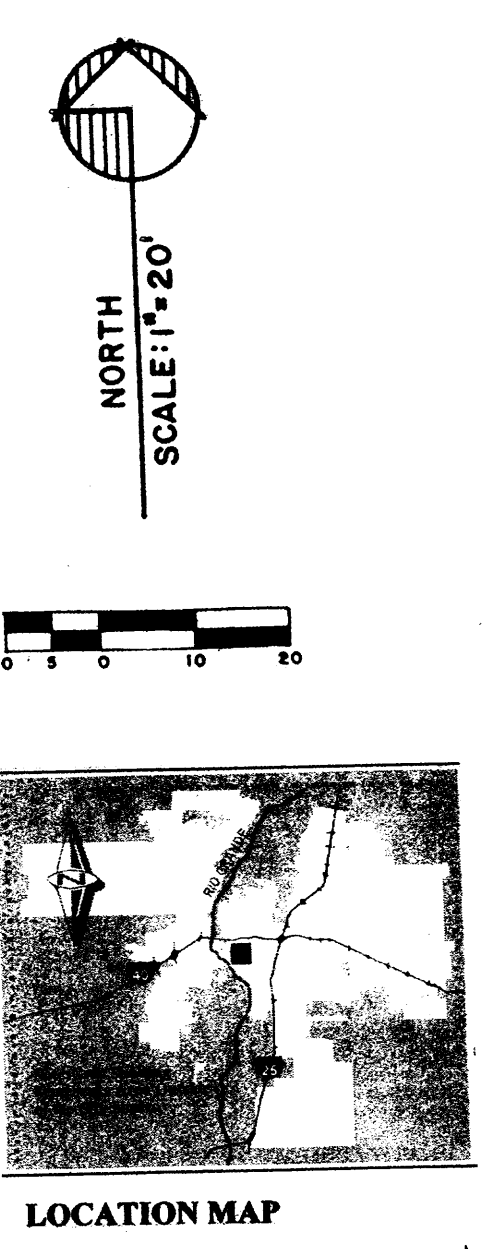
SITE PLAN
T.C.L.

A
1.1

SET #
HACIENDA - 09



VICINITY MAP
Zone Atlas Page: J-13-Z



LOCATION MAP

- EROSION CONTROL MEASURES:**
- THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT OF STORM RUNOFF DURING CONSTRUCTION. HE SHALL ENSURE THAT THE FOLLOWING MEASURES ARE TAKEN:
- ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY CONSTRUCTION OF BERMS, DIKES, SWALES, PONDS, AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUNOFF FROM LEAVING THE SUBJECT SITE AND ENTERING ADJACENT PROPERTIES.
 - ADJACENT PUBLIC RIGHT-OF-WAYS SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUNOFF FROM THE SUBJECT SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER PUBLIC STREET RIGHT-OF-WAYS.
 - THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ANY AND ALL SEDIMENT FROM PUBLIC STREETS THAT HAS BEEN ERODED FROM THE SUBJECT SITE AND DEPOSITED THEREON.

- CONSTRUCTION NOTES:**
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE AT 260-1990 FOR THE ACTUAL FIELD LOCATION OF THE EXISTING SURFACE OF SUB-SURFACE UTILITIES.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION(S) OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.
 - ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
 - ALL CONSTRUCTION WITHIN PUBLIC STREET RIGHT-OF-WAY(S) SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE/BERNALILLO COUNTY STANDARDS AND PROCEDURES.

- GENERAL NOTES:**
- NO PERIMETER BOUNDARY CORNERS HAVE BEEN FIELD ESTABLISHED PER THIS SURVEY OF THE SUBJECT PROPERTY.
 - NO SEARCH HAS BEEN MADE FOR EASEMENTS OF RECORD OTHER THAN SHOWN HEREON.

LEGEND:

TOP OF CURB ELEVATION = 70'-59.02'
CURB FINISH ELEVATION = 70'-58.64'
EXISTING SPOT ELEVATION = 70'-59.02'
EXISTING CONTOUR ELEVATION = 70'-59.02'
PROPOSED SPOT ELEVATION = 70'-59.02'
PROPOSED CONTOUR ELEVATION = 70'-59.02'
PROPOSED OR EXISTING CONCRETE SURFACE = 70'-59.02'
EXISTING FENCE LINE = 70'-59.02'

ONE PIPE HEADWALL DETAIL
N.T.S.

LEGAL DESCRIPTION:

LOT "A-1", FRANCES' SUBDIVISION, TO THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

BENCHMARK REFERENCE:

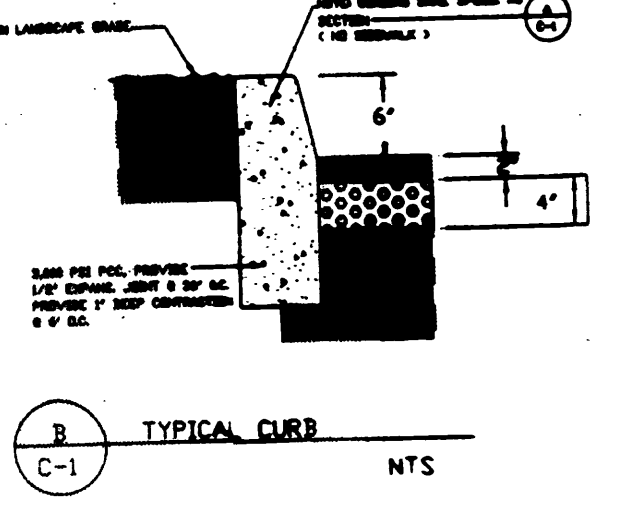
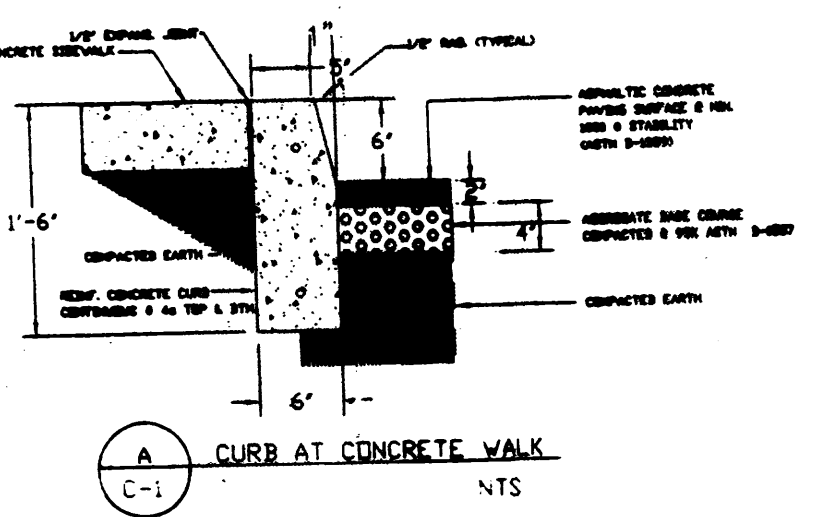
ACS STATION "20-J13", ELEVATION = 4960.717; PROJECT BENCHMARK AS SHOWN ON PLAN HEREON.

- Drainage Facilities within City Right-of-Way Notice to Contractor
- An excavation permit will be required before beginning any work within City Right-of-Way.
 - All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
 - Two working days prior to any excavation, the contractor must contact the line locating service, New Mexico One Call 260-1990, for the location of existing utilities.
 - Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
 - Backfill compaction shall be according to traffic/road use.
 - Maintenance of the facility shall be the responsibility of the owner of the property being served.
 - Work on arterial streets shall be performed on a 24-hour basis.

APPROVALS

NAME	DATE
HYDROLOGY INSPECTOR	

NOTE: ALL WORK WITHIN PUBLIC EASEMENT SHALL BE PERFORMED UNDER SEPARATE PERMIT.

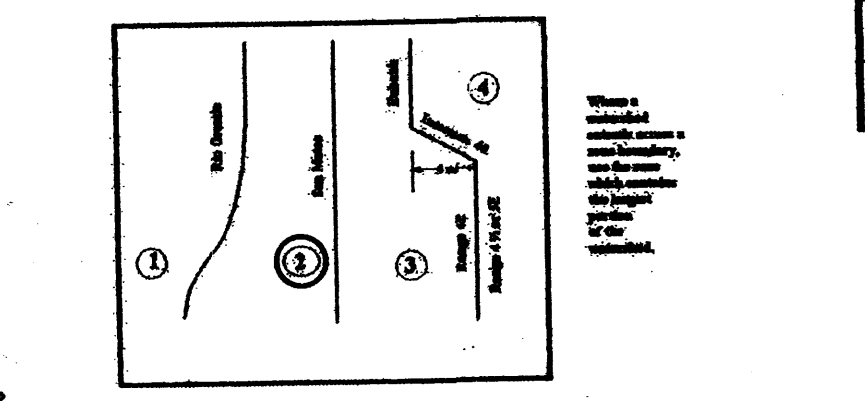


DRAINAGE CERTIFICATION

I, LEVI J. VALDES, NMPE #02593 of the firm NEW MEXICO ENGINEERS, hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 06-22-09.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Date: 06-22-09



DRAINAGE COMMENTS:

AS SHOWN ON THE VICINITY MAP HEREON, THE SUBJECT SITE IS LOCATED ON THE EAST SIDE OF RIO GRANDE BLVD. N.W. AND APPROXIMATELY 200' NORTH OF THE INTERSECTION OF RIO GRANDE N.W. AND MOUNTAIN ROAD N.W., IN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, (J-13-Z).

THE SUBJECT SITE IS PRESENTLY DEVELOPED AS AN HISTORIC RESTAURANT BUILDING THAT IS TO BE RENOVATED TOGETHER WITH ASSOCIATED IMPROVEMENTS.

THE SUBJECT SITE, 1) LIES WITHIN A DESIGNATED 'X' FLOODPLAIN ZONE (500 YEAR) (FLOODPLAIN ZONE) ACCORDING TO F.E.M.A. PANEL 331, 2) DOES NOT ACCEPT OFFSITE FLOWS FROM ADJACENT PROPERTIES, HOWEVER, DOES CONTRIBUTE MINIMAL FLOWS TO THE PROPERTY SOUTH OF AND ADJACENT TO THE SUBJECT SITE, 3) IS PRESENTLY DISCHARGING DEVELOPED FLOWS INTO RIO GRANDE BLVD. N.W. AND WILL CONTINUE TO DO SO (THESE FLOWS DO NOT AND WILL NOT HAVE AN ADVERSE IMPACT TO DOWNSTREAM PROPERTIES).

DRAINAGE CALCULATIONS:

PER SECTION 22.2 HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, VOLUME 2, DESIGN CRITERIA FOR THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

SITE AREA: 0.90 ACRE

PRECIPITATION ZONE: TWO (2)

PEAK INTENSITY: IN/HR. A Tc = TWELVE (12) MINUTES, 100-YR - 6 HOUR = 5.05

"LAND TREATMENT METHOD" FOR CALCULATION OF "Qp", TABLES A-8 & A-9

"LAND TREATMENT FACTORS", TABLE A-4

EXISTING CONDITIONS:

TREATMENT	AREA/ACRES	FACTOR	CFS
C	0.22	x 3.14	= 0.69
D	0.68	x 4.70	= 3.20

"Qp" = 3.89 CFS

PROPOSED DEVELOPED CONDITIONS:

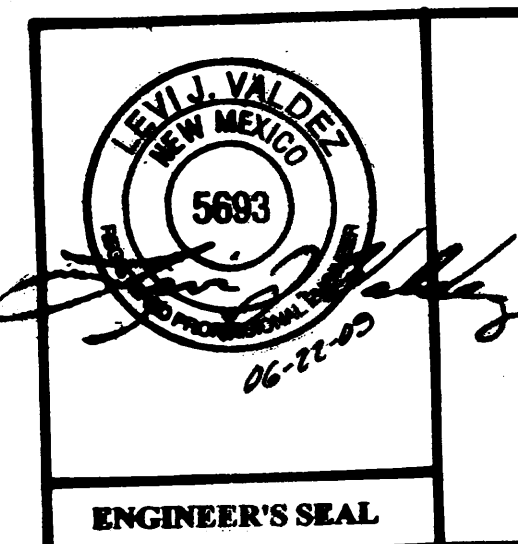
TREATMENT	AREA/ACRES	FACTOR	CFS
C	0.21	x 3.14	= 0.66
D	0.69	x 4.70	= 3.24

"Qp" = 3.90 CFS

*** INCREASE = 0.01 CFS

- ① → REMOVE EXISTING ASPHALT PAVING AND CURBING
② → PREPARE ASPHALT PAVING AND CURBING
③ → EXISTING ASPHALT PAVING TO REMAIN

"ENGINEER'S CERTIFICATION, 06-22-09"



A PROPOSED DRAINAGE PLAN
FOR
"THE HACIENDA"
618 RIO GRANDE BLVD. N.W.
ALBUQUERQUE, NEW MEXICO
JUNE, 2009

RECEIVED
JAN 21 2010
HYDROLOGY
SECTION