

CITY OF ALBUQUERQUE



April 14, 2017

Mimi Burns, RA
Dekker Perich Sabatini
7601 Jefferson NE, Suite 100
Albuquerque, NM 87109

Re: Hotel Chaco
2000 Bellamah Ave. NW
30-Day Temporary Certificate of Occupancy- Transportation Development
Architect's Stamp dated 9-4-14 (J13D066)
Certification dated 4-12-17

Dear Ms. Burns,

Based upon the information provided in your submittal received 4-12-17, Transportation Development has no objection to the issuance of a 30-day Temporary Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

1. In the parking lot on the north west side of the site the bottom of the ADA sign is required to be 60 inches minimum above the ground or parking surface. (ANSI 502.7)
2. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 "Violators Are Subject to a Fine and/or Towing." Please call out detail and location of HC signs.

Once corrections are complete resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. For digital submittal and minor comments and/or repairs, please submit photos to PLNDRS@cabq.gov prior to submittal. If you have any questions, please contact me at (505) 924-3981.

Sincerely,


Monica Ortiz
Plan Checker, Transportation & Hydrology
Development Review Services

MA via: email
C: CO Clerk, File

April 11, 2017

Traffic Engineer
City of Albuquerque
Transportation Development Coordination
600 2nd Street NW
Albuquerque, New Mexico 87102

RE: TCL for Final C.O.
Hotel Chaco-Heritage Hotels and Resorts
2000 Bellamah Ave. NW, Albuquerque, NM 87104
Zone: J-13

To Whom It May Concern:

I, Mimi Burns, ASLA, NM license number 274 of the firm Dekker/Perich/Sabatini, hereby certify that the referenced portion of this project is in substantial compliance and in accordance with the design intent of the approved DRB Site Plan dated June 24, 2014 (Project Number: 1000318, Application Number: DRB amendment to Existing Site Development Plan).

Dekker/Perich/Sabatini visited the project site on April 10, 2017 to verify construction was in accordance with the attached site plan. The following items differ from the original plan, but are aligned with the design intent as was illustrated and approved on the DRB Site Plan:

1. Four (4) parking stalls were not constructed in the northwest parking lot to make room for a transformer and switchgear box.

This certification is submitted in support of a request for Final Certificate of Occupancy for the Hotel Chaco. The record information presented herein is not complete and intended only to verify substantial compliance of the traffic aspects of this project as they relate to the above mentioned building. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

If you have any questions, please feel free to contact me or Lana Idriss at 761-9700.

Very truly yours,

Dekker/Perich/Sabatini Ltd.



Mimi Burns, ASLA, LEED AP
Principal



Attachments: Construction Site Plan: AS1.101; DRB Submittal: SDP-1.1 (2)

C.c.: File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 10/2015)

Project Title: Hotel Chaco **Building Permit #:** 1009090 **Hydrology File #:** J13\ D066
DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: Tract D, Sheraton, Old Town
City Address: 2000 Bellahmah Ave. NW, Albuquerque, NM 87104

Applicant: Mimi Burns **Contact:** 505-761-9700
Address: 7601 Jefferson NE, Suite 100
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: Mark Maestas **Contact:** 505-822-9990
Address: PO Box 90850 Albuquerque NM 87199
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Check all that Apply:

DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION

☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR

☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

☐ OTHER (SPECIFY) _____

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY - Temporary

☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL

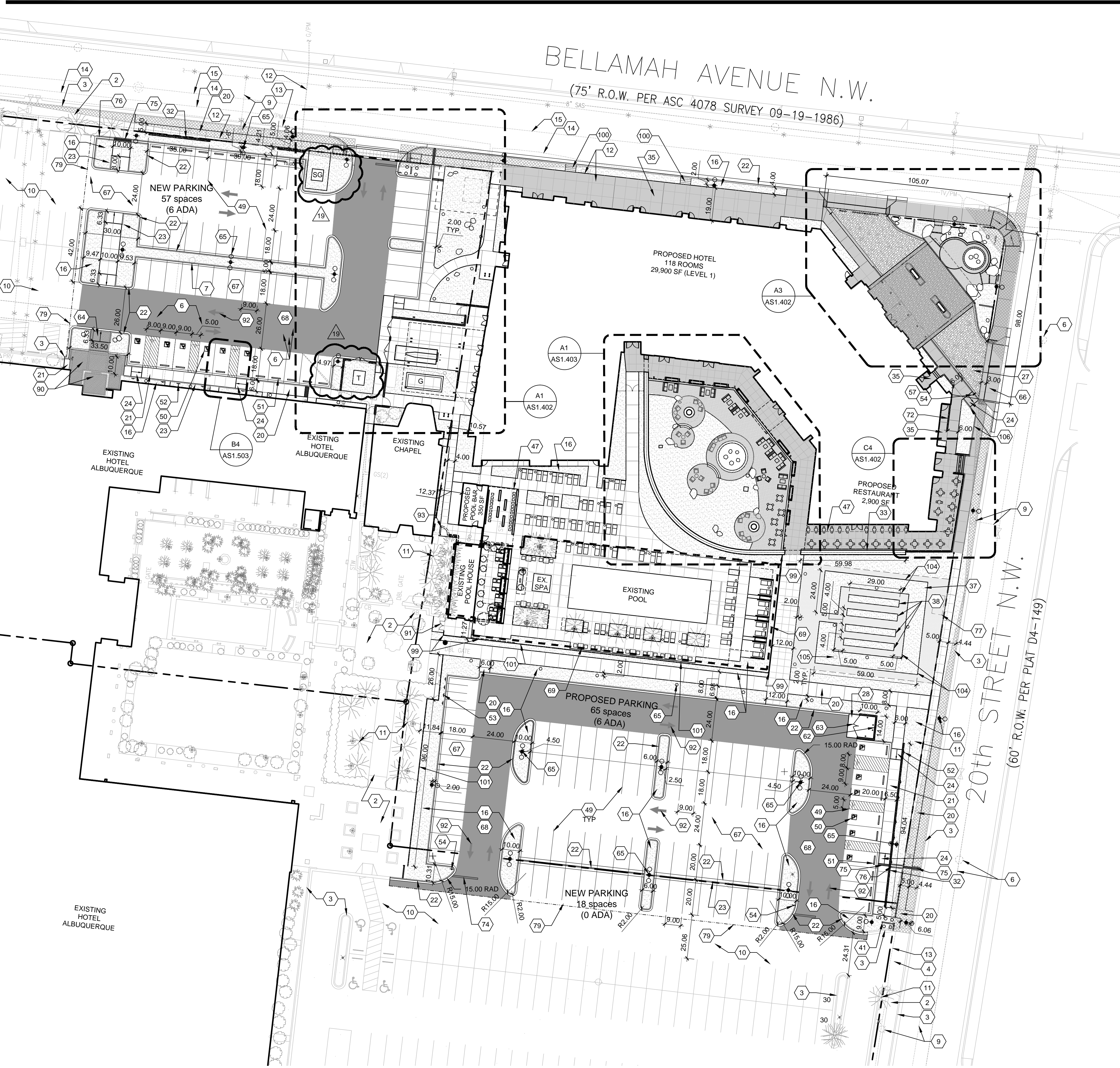
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

☐ PRE-DESIGN MEETING?

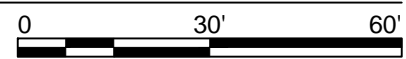
☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☐ No

DATE SUBMITTED: 4.12.2017 **By:** Lana Idriess



SITE PLAN
1" = 30'-0"



SHEET KEYED NOTES

- EXISTING POOL, SAND FILTER TO REMAIN
- EXISTING SIDEWALK TO REMAIN
- EXISTING CURB AND GUTTER TO REMAIN
- EXISTING CURE CUT AND DRIVE PAD TO REMAIN
- EXISTING WALL TO REMAIN
- EXISTING SANITARY SEWER MANHOLE / CLEAN-OUT AND LINE TO REMAIN
- EXISTING EMERGENCY SPA SHUT-OFF TO REMAIN
- GLENROCK GOLD STONE FOUNTAIN EDGE, 2" THICK X 8" WIDE X 16" LONG, CHISELED EDGE
- EXISTING FIRE HYDRANT AND WATER LINE TO REMAIN
- EXISTING ASPHALT PAVING TO REMAIN
- EXISTING TREES TO REMAIN
- EXISTING GAS LINE TO REMAIN
- EXISTING TELEPHONE LINE TO REMAIN
- EXISTING CABLE TV LINE TO REMAIN
- EXISTING STORM DRAIN TO REMAIN
- LANDSCAPE AREA, SEE LPI 101
- STABILIZED CRUSHER FINES, SEE LPI 101
- BOULDERS, SEE LANDSCAPE SHEETS
- MONOLITHIC STONES IN WATER FEATURE, COLOR GRANDE COULEE FROM COVERALL STONE, SEE FOUNTAIN DESIGN FOR STONE HEIGHTS WITH AND FINISH
- CONCRETE SIDEWALK WITH SALT FINISH, PER COA DPM STD. 2430
- FLUSH CONCRETE SIDEWALK
- CONCRETE CURB AND GUTTER, PER COA DPM STD. 2415A (2415B INTERNAL SITE)
- CONCRETE HEADER CURB, SEE B2/AS1.501
- CONCRETE ACCESSIBLE RAMP A, SEE B4/AS1.501
- CONCRETE ACCESSIBLE RAMP B, PER COA DPM STD. 2441
- 6" MOW CURB, SEE B5/AS1.501
- GRANITE STONE PAVERS, SEE E1/AS1.502 AND LEGEND
- REINFORCED CONCRETE PAVING, COLOR: NONE, SEE A2/AS1.501
- CONCRETE WALL W/ GUARDRAIL, SEE B1/AS1.501
- SERVICE ENCLOSURE WALL, SEE D1/AS1.501
- 7'-0" TALL SITE WALL, SEE D2/AS1.501
- 2'-0" TALL SCREEN WALL, SEE D3/AS1.501
- CORTEN STEEL COURTYARD WALL, SEE ARCHITECTURAL
- DETECTABLE WARNING SURFACE, SEE C2/AS1.503
- DECORATIVE CONCRETE PAVING WITH INTEGRAL COLOR, COLOR: PALOMINO, FINISH: SALT OR BRUSH, SEE SPECS
- 8" WIDE LANDSCAPE BED, SEE A5/AS1.502
- UNDERGROUND CISTERN LOCATION, SEE A1/AS1.503 AND SEE SPECS
- 8'-0" TALL X 2'-0" TALL TREATED LUMBER PLANTER @ CHEF'S GARDEN
- STONE FIRE PIT, SEE A4/AS1.502
- MONUMENT SIGN BY OTHERS
- DIRECTIONAL SIGN BY OTHERS
- 12'-0" WIDE COMPACTOR ENCLOSURE GATE, SEE C3/AS1.502
- 10'-0" WIDE UTILITY ENCLOSURE GATE, SEE C3/AS1.502
- SPECIAL GATE TO MATCH OVERHEAD STRUCTURE, SEE ARCHITECTURAL
- PROPOSED WATER UTILITY EASEMENT, SEE CIVIL
- DECORATIVE BOLLARD, FINISH TO MATCH ARCH METAL, SEE SPECS
- OVERHEAD STRUCTURE, SEE ARCHITECTURAL
- COMPACTOR, 34 CU. YD. CAPACITY, SEE SPECS
- PARKING STRIPING, SEE B4/AS1.503, SIMILAR
- ADA PAVEMENT MARKING, SEE B5/AS1.503
- PARKING BUMPER SALVAGED FROM SITE DEMO, SEE E4/AS1.502
- ACCESSIBLE PARKING SIGN, SEE B2/AS1.503
- MOTORCYCLE PARKING SIGN, SEE B2/AS1.503
- STOP SIGN, SEE B2/AS1.503
- ONE WAY SIGN, SEE B2/AS1.503
- LOADING ZONE STRIPING AND SIGNAGE, SEE C1/AS1.503
- DO NOT ENTER SIGN, SEE B2/AS1.503
- FDC LOCATION SIGN MOUNTED ON FACE OF BUILDING, SEE B2/AS1.503
- CONCRETE STAIRS, SEE C1/AS1.501
- 5'-0" TALL STACKED STONE WALL, SEE D4/AS1.501
- SWITCHGEAR
- DUMPSTER ENCLOSURE, SEE A1/AS1.502
- 12'-0" WIDE DUMPSTER ENCLOSURE GATE, SEE A3/AS1.502
- BRICK ON CONCRETE SLAB CURB RAMP
- SITE LIGHTING, SEE LEGEND AND ELECTRICAL
- CONCRETE PRIVATE ENTRANCE DRIVE, PER COA STD. 2426
- ASPHALT PAVING, SEE A3/AS1.502
- ASPHALT PAVING, SEE A3/AS1.502
- CONSTRUCTION PHASE LINE, SEE A1/AS1.501
- STONE BLOCK STEPS, SEE C1/AS1.502
- FLUSH STEEL EDGING, SEE A4/AS1.503
- CONCRETE WALL WITH GUARDRAIL, SEE C2/AS1.501
- CONCRETE CHALK WALL, SEE C2/AS1.501
- STOP LINE PAVEMENT STRIPING, SEE C3/AS1.503
- SIDEWALK CULVERT, SEE CIVIL
- CONCRETE RUNDOWN, SEE CIVIL
- GREASE TRAP, SEE MECHANICAL
- VAULT
- LIMITS OF NEW ASPHALT PAVING
- STONE COVERED TRENCH DRAIN, SEE C2/AS1.502
- HANDRAIL, SEE C1 & C2/AS1.501
- BIKE RACKS, SEE E3/AS1.502 AND SEE SPECS
- ARCHITECTURAL COLUMN, SEE ARCH
- NEW POOL DECKING, TBD
- ANGLE IRONS PER COA SOLID WASTE CODE
- GRANITE STONE STEPS WITH STEEL RISERS, SEE E5/AS1.502
- STEEL EDGING, SEE A3/AS1.503
- POOL TRENCH DRAIN, TBD
- RENOVATED HAND RAIL, TBD
- BRICK ON CONCRETE SLAB W/ SAND-SWEPT JOINTS (EXCEPT @ SOLDIER COURSE)
- RELOCATED DOUBLE GATE, SEE A01.100
- PAVEMENT SIGNAGE, SEE B1/AS1.503
- 4'-0" WIDE PEDESTRIAN GATE, SINGLE, SEE B1/AS1.502
- 4'-0" WIDE PEDESTRIAN GATE, SINGLE, SEE B1/AS1.502
- 5'-0" WIDE PEDESTRIAN GATE, SINGLE, SEE B1/AS1.502
- 7'-4" WIDE PEDESTRIAN GATE, DOUBLE, SEE B1/AS1.502
- 6" TALL ORNAMENTAL FENCING, SEE B4/AS1.502
- PIPE BOLLARD, SEE D1/AS1.502
- NEW WOOD FENCE TO MATCH EXISTING
- 2" FLAMED GRANITE STONE PAVERS, COLOR: GLENROCK GOLD
- EXISTING WOOD FENCE TO REMAIN, REVISE AS NECESSARY
- GLENROCK GOLD STONE FOUNTAIN EDGE, 2" THICK X 14" WIDE X 24" LONG, CHISELED EDGE
103. FOUNTAIN MANIFOLD BOX, SEE FOUNTAIN DESIGN
104. RAISED STONE EDGE, SEE D1/LP1.501
105. QUARTZITE BOX
106. 12" HEADER CURB, SEE B2/AS1.501

STRUCTURAL NOTES FOR SITE

- REINFORCED CONCRETE MASONRY:
- A. BASIS FOR DESIGN: ALL MASONRY UNITS SHALL BE TYPE I WITH A MINIMUM COMPRESSIVE STRENGTH OF 1900 PSI (NET AREA), Fm = 1500 PSI.
- B. MORTAR SHALL BE TYPE S.
- C. CELLS CONTAINING REBAR SHALL BE GROUTED SOLID FROM THE BOTTOM TO THE TOP OF THE WALL, IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE.
- D. ALL VERTICAL REBAR SHALL BE IN PLACE AND SECURED WITH REBAR POSITIONERS PRIOR TO GROUTING.
- E. UNLESS OTHERWISE NOTED, MASONRY CELLS SHALL BE GROUTED IN ACCORDANCE WITH THE LOW-LIFT METHOD AS DESCRIBED IN THE INTERNATIONAL BUILDING CODE. (MAXIMUM 4 FOOT LIFTS)
- F. ALL CELLS BELOW GRADE SHALL BE GROUTED SOLID UP TO GRADE.
- G. LAP ALL REBAR 48 BAR DIAMETERS OR 24" MINIMUM UNLESS NOTED OTHERWISE.
- H. LAP ALL JOINT REINFORCEMENT 75 WIRE DIAMETERS. ALL HORIZONTAL REINFORCING IN BOND BEAMS SHALL BE CONTINUOUS AROUND CORNERS OR HAVE CORNER BARS OF THE SAME SIZE AND A LAP OF 48 BAR DIAMETERS OR 24 INCHES MINIMUM. VERTICAL REBAR SHALL CONTINUE THROUGH BOND BEAMS. IF BOND BEAMS AT INTERSECTING WALLS MEET AT DIFFERENT ELEVATIONS, EXTEND BOND BEAMS AROUND INTERSECTING CORNER TO FIRST INTERIOR REINFORCED CELL, BUT NOT LESS THAN 4 FEET.
- I. PROVIDE STANDARD TRUSS TYPE JOINT REINFORCING @ 16" O.C. (ALTERNATE COURSES) UNLESS NOTED OTHERWISE. USE PREFABRICATED CORNERS AND TEES AT ALL WALL CORNERS AND INTERSECTIONS RESPECTIVELY.
- J. ALL CMU SHALL BE REINFORCED UNLESS SPECIFICALLY NOTED "NOT REINFORCED."
- K. TYPICAL REINFORCEMENT UNLESS OTHERWISE SHOWN:
- a. 6" CMU WALLS: #4 @ 8" O.C. VERTICAL
- b. 8" CMU WALLS: #4 @ 16" O.C. VERTICAL
- c. 12" CMU WALLS: #5 @ 16" O.C. VERTICAL
- L. PIPE OR CONDUIT WILL NOT BE PERMITTED TO BE INSTALLED VERTICALLY OR HORIZONTALLY IN MASONRY WALLS WITHOUT PRIOR APPROVAL OF THE ARCHITECT.
- REINFORCING STEEL:
- A. ALL REINFORCING STEEL SHALL BE FABRICATED AND PLACED IN ACCORDANCE WITH THE BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 318) AND THE STANDARD MANUAL (ACI 315).
- B. USE ASTM A615 GRADE 60 FOR ALL REINFORCING STEEL. USE ASTM A186 FOR ALL WELDED WIRE FABRIC. PROVIDE IN FLAT SHEETS ONLY.
- C. LAP WIRE FABRIC TWO FULL MESH PANELS AND TIE SECURELY.
- D. ALL REINFORCEMENT SHALL BE CONTINUOUS. STAGGER SPICES WHERE POSSIBLE. LAPS FOR SPICES SHALL BE AS INDICATED ON THE STRUCTURAL DRAWINGS, UNLESS OTHERWISE SHOWN OR NOTED.
- E. BAR SUPPORTS AND SPACERS FOR REINFORCING SHALL BE PROVIDED IN ACCORDANCE WITH ACI 315. CHAIRS WITH 22 GA SAND PLATES OR PRECAST BLOCKS SHALL BE PROVIDED FOR ALL REINFORCING OF CONCRETE IN CONTACT WITH GRADE. DECK CHAIRS SHALL BE PROVIDED FOR ALL WELDED WIRE FABRIC IN SLABS OVER METAL DECK. REINFORCING SHALL BE SECURELY TIED TO SUPPORTS.
- F. REINFORCING SHALL NOT BE TACK WELDED OR WELDED IN ANY MANNER UNLESS SPECIFICALLY DETAILED ON THE STRUCTURAL PLANS.
- G. MINIMUM CONCRETE PROTECTION FOR REINFORCEMENT (CLEAR DISTANCE):
- a. CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH: 3"
- b. CONCRETE EXPOSED TO EARTH OR WEATHER: 2" (#6 AND LARGER)
- 1 1/2" (#5 AND SMALLER)
- H. TYPICAL REINFORCEMENT UNLESS OTHERWISE SHOWN:
- a. UP TO 8" CONCRETE WALLS: #4 @ 8" O.C. EACH WAY AT CENTER OF WALL.
- b. OVER 8" TO 12" CONCRETE WALLS: #4 @ 12" O.C. EACH WAY, EACH FACE.
- c. OVER 12" THICK: #5 @ 12" O.C. EACH WAY, EACH FACE.
- I. ALL HORIZONTAL REINFORCING IN FOOTINGS, WALLS AND BEAMS SHALL BE CONTINUOUS AROUND CORNERS OR HAVE CORNER BARS OF THE SAME SIZE AND SPACING AS THE HORIZONTAL BARS AND LAP SPICES PER SCHEDULE.

GENERAL SHEET NOTES

- THIS SUBMITTAL ILLUSTRATES THE DESIGN INTENT FOR A NEW HOTEL TO BE CONSTRUCTED ON TRACT D OF THE SHERATON OLD TOWN INN COMPLEX (#100318), ALONG WITH ASSOCIATED SITE, LANDSCAPE, GRADING, AND UTILITIES IMPROVEMENTS.
- CONTRACTOR IS TO VERIFY ALL EXISTING UTILITY LOCATIONS BEFORE EXCAVATION.
- CONTRACTOR TO COORDINATE WITH OWNER FOR ALLOWABLE STAGING AREAS DURING CONSTRUCTION.
- SEE CIVIL PLANS FOR GRADING, DRAINAGE, AND UTILITY INFORMATION.
- EXISTING UTILITIES AND ASSOCIATED EQUIPMENT SHOWN FOR REFERENCE ONLY.
- SITE LIGHTING SHALL CONSIST OF A COMBINATION OF BUILDING MOUNTED LIGHT FIXTURES AND POLE MOUNTED LIGHT FIXTURES. SEE PLAN FOR POLE LOCATIONS. SEE LIGHTING PLAN IN ARCHITECTURAL PACKAGE FOR COURT/YARD FIXTURE AND VALET AREA SITE LIGHTING. ALL VALET AREA SITE LIGHTING TO HAVE CONCRETE FOOTINGS.
- ALL SITE PLAN DIMENSIONS ARE IN DECIMAL UNITS.
- SIDEWALK JOINTS SHALL FOLLOW PATTERN AS SHOWN ON SITE PLAN.
- POOL AREA ILLUSTRATED IS PHASE 2. SEE A1/AS1.401 FOR PHASE 1 IMPROVEMENTS.

LEGEND

- CONSTRUCTION PHASE LINE
- PROPERTY LINE
- 24"-0" MAX HT. POLE LIGHT, DOUBLE, FULL CUT-OFF, DARK COLOR TO COORDINATE WITH EXISTING FIXTURES
- 24"-0" MAX HT. POLE LIGHT, SINGLE, FULL CUT-OFF, DARK COLOR TO COORDINATE WITH EXISTING FIXTURES
- HOTEL CLUB FURNITURE, BY OWNER
- POOL LOUNGE FURNITURE, BY OWNER
- POOL BAR FURNITURE, BY OTHERS
- RESTAURANT TABLES / CHAIRS, BY OWNER
- ELECTRICAL TRANSFORMER, SEE ELECTRICAL
- BACK-UP GENERATOR, SEE ELECTRICAL
- LANDSCAPE AREA
- STABILIZED CRUSHER FINES, COLOR: TAN/BROWN
- STABILIZED CRUSHER FINES, COLOR: CANYON GOLD
- HEAVY DUTY ASPHALT
- INTEGRAL COLOR CONCRETE WITH SALT OR BRUSHED FINISH
- FLAMED FINISH GRANITE PAVERS, COLOR: EITHER DARK GRAY FROM COVERALL STONE OR IMPALA GRAY FROM ROCKY MOUNTAIN STONE, SIZES 8"x8", 4"x4", SEE C4/AS1.503 FOR PATTERN
- SNAP CUT COBBLE FINISH GRANITE PAVERS WITH 20% FLAMED FINISH, COLOR: EITHER DARK GRAY FROM COVERALL STONE OR IMPALA GRAY FROM ROCKY MOUNTAIN STONE, SIZES 8"x8", 4"x4", SEE C4/AS1.503 FOR PATTERN

PROJECT DATA

ADDRESS: 800 RIO GRANDE BLVD. NW, ALBUQUERQUE, NM 87104, TRACT D

LEGAL DESCRIPTION: TRACT D OF SHERATON OLD TOWN INN COMPLEX, IN THE CITY OF ALBUQUERQUE, NEW MEXICO

ZONE ATLAS PAGE: J-13

SITE AREA: TRACT D: 2.634 AC

CURRENT ZONING: C-2

PROPOSED ZONING: SU-1 FOR HOTEL AND RELATED USES

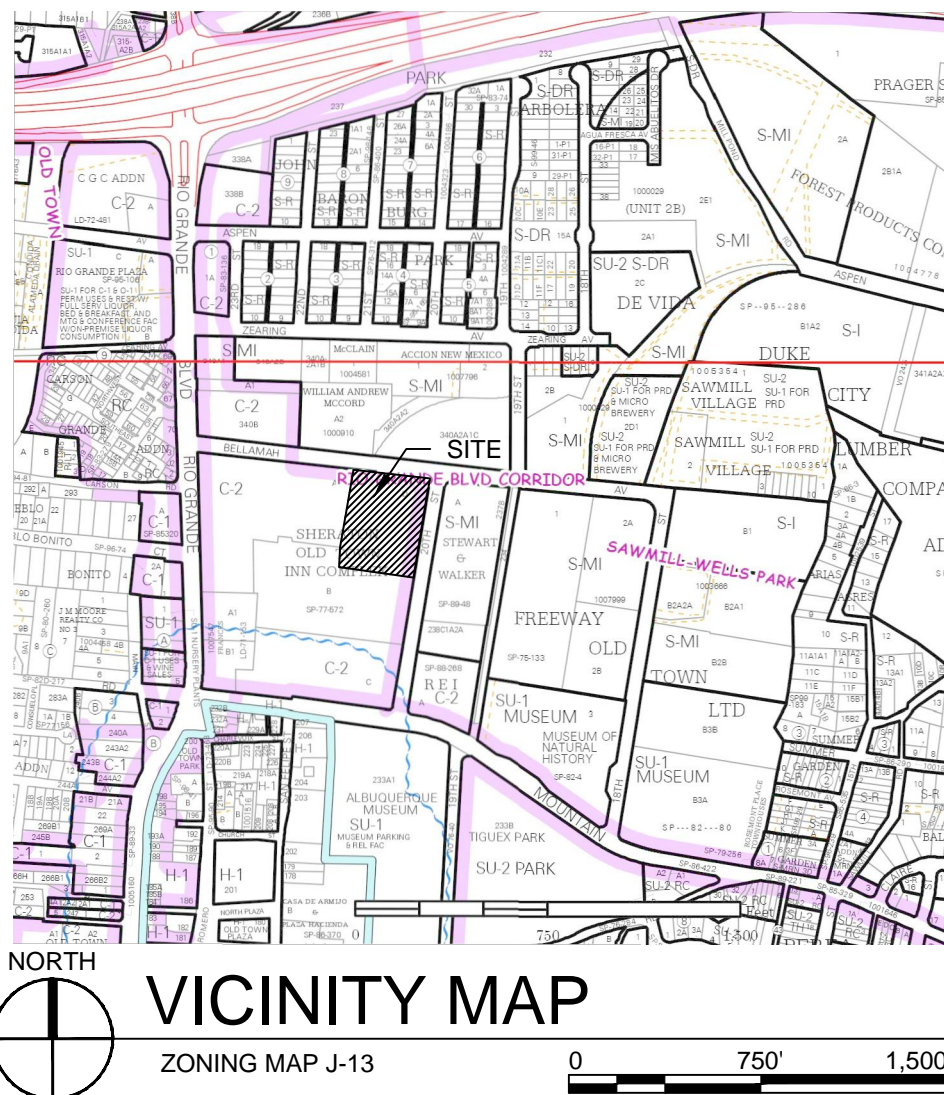
BUILDING FOOTPRINT: NEW HOTEL: 29,970 SF (GFA) POOL BAR: 363 SF

LANDSCAPING: REFER TO SHEET SDP-2.1 FOR LANDSCAPE PLAN

PARKING CALCULATIONS

TOTAL PARKING SPACES REQUIRED PER CODE:	
1 SPACE PER GUEST ROOM = 120 SPACES	
TOTAL PROPOSED PARKING:	TRACT D
STANDARD CAR SPACES	57
ACCESSIBLE SPACES	6
TOTAL CAR SPACES	63
MOTORCYCLE SPACES	4 (4 REQUIRED)
BICYCLE PARKING	8 (8 REQUIRED)
EXCESS PARKING ON ADJACENT TRACTS A AND B:	302 SPACES
TOTAL # SHARED SPACES (TRACTS A, B, & D):	55

KEYPLAN



FOR USE BY CITY OF ALBUQUERQUE

HERITAGE HOTELS & RESORTS

2000 Bellamah Ave. NW, Albuquerque, NM 87104

Gensler

DEKKER PERICH SABATINI ARCHITECTURE / DESIGN / INSPIRATION
7601 JEFFERSON NE, SUITE 100 ALBUQUERQUE, NM 87109 505.761.9700 DPSDESIGN.ORG

Issue	Date & Issue Description	By	Check
1	12.22.2014	CM	MB
2	08.06.2015	CM	MB
3	01.11.2016	CM	MB
4	01.25.2016	LI	MB
5	02.5.2016	LI	MB
6	02.18.2016	LI	MB
7	02.25.2016	LI	MB
8	06.27.2016	LI	MB
9	07.07.2016	AM	MB
10	11.04.2016	LI	MB
11	11.22.2016	LI	MB
12	11.30.2016	LI	MB
14	2.3.2017	LI	MB
15	2.8.2017	LI	MB
16	3.8.2017	LI	MB
17	3.15.2017	LI	MB
18	3.22.2017	LI	MB
19	4.11.2017	TCL FINAL	LI MB

Seal/Signature



Project Name
HOTEL OLD TOWN

Project Number
13-0020

Description
ARCHITECTURAL SITE PLAN

Scale
ISSUED FOR BUILDING PERMIT

AS1.101

© 2014 Gensler

LEGEND

---	PROPERTY LINE
---	EXISTING EASEMENT (ALL EASEMENTS ARE EXISTING)
⊙ ⊙ ⊙	24'-0" MAX HT. POLE LIGHT, DOUBLE. FULL CUT-OFF, DARK COLOR TO COORDINATE WITH EXISTING FIXTURES
⊙ ⊙	24'-0" MAX HT. POLE LIGHT, SINGLE. FULL CUT-OFF, DARK COLOR TO COORDINATE WITH EXISTING FIXTURES

PROJECT NUMBER: 1000318

APPLICATION NUMBER: DRB Amendment to Existing Site Development Plan

Is an Infrastructure List Required? (x) Yes () No If yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

7/1 x 2/5 07-09-14 DATE

TRAFFIC ENGINEER, TRANSPORTATION DIVISION
Allen Pater 07/09/14 DATE

UTILITIES DIVISION
Carol S. Dumont 09-03-14 DATE

PARKS AND RECREATION DEPARTMENT
Ante a. Jene 7-9-14 DATE

CITY ENGINEER
Donna J. Jene 06-23-14 DATE

SOLID WASTE MANAGEMENT

FIRE MARSHALL
Paul Chas 9-4-14 DATE

DRB CHAIRPERSON, PLANNING DEPARTMENT

GENERAL SHEET NOTES

- THIS SUBMITTAL IS TO AMEND THE EXISTING SITE DEVELOPMENT PLAN FOR THE SHERATON OLD TOWN INN COMPLEX (#1000318).
- IN A SEPARATE EPC SUBMITTAL, TRACT D WILL BE REMOVED FROM THE OVERALL SITE DEVELOPMENT PLAN ASSOCIATED WITH THE EXISTING HOTEL ALBUQUERQUE. THE PRIMARY REASON FOR REMOVING TRACT D IS TO ESTABLISH SEPARATE ZONING THAT IS MORE ALIGNED WITH THE NEW HOTEL OBJECTIVES. SEE SITE DEVELOPMENT PLAN FOR TRACT D FOR MORE INFORMATION. IT IS ANTICIPATED THAT THERE WILL BE A SHARED PARKING AGREEMENT BETWEEN THE EXISTING HOTEL (TRACTS A & B) AND TRACT D TO SUPPORT PARKING DEMAND ON TRACT D, BEYOND WHAT IS PROVIDED ON THE TRACT.
- PHASES OF DEVELOPMENT: THE MODIFICATIONS TO THE PARKING AREA WILL BE MADE IN ONE PHASE IN ASSOCIATION WITH DEVELOPMENT OF TRACT D.

PROJECT DATA

ADDRESS: 800 RIO GRANDE BLVD. NW, ALBUQUERQUE, NM 87104
LEGAL DESCRIPTION: TRACTS A, B, AND D OF SHERATON OLD TOWN INN COMPLEX, IN THE CITY OF ALBUQUERQUE, NEW MEXICO

ZONE ATLAS PAGE: J-13

SITE AREA:
TRACTS A & B: 9,606 AC
TRACT D: 2,634 AC

ZONING: C-2

EXISTING BUILDING FOOTPRINT:
HOTEL TOWER / BALLROOM: 93,628 SF
CHAPEL: 2,498 SF
POOL HOUSE: 624 SF

LANDSCAPING: REFER TO SHEET SDP-2.1 FOR LANDSCAPE PLAN

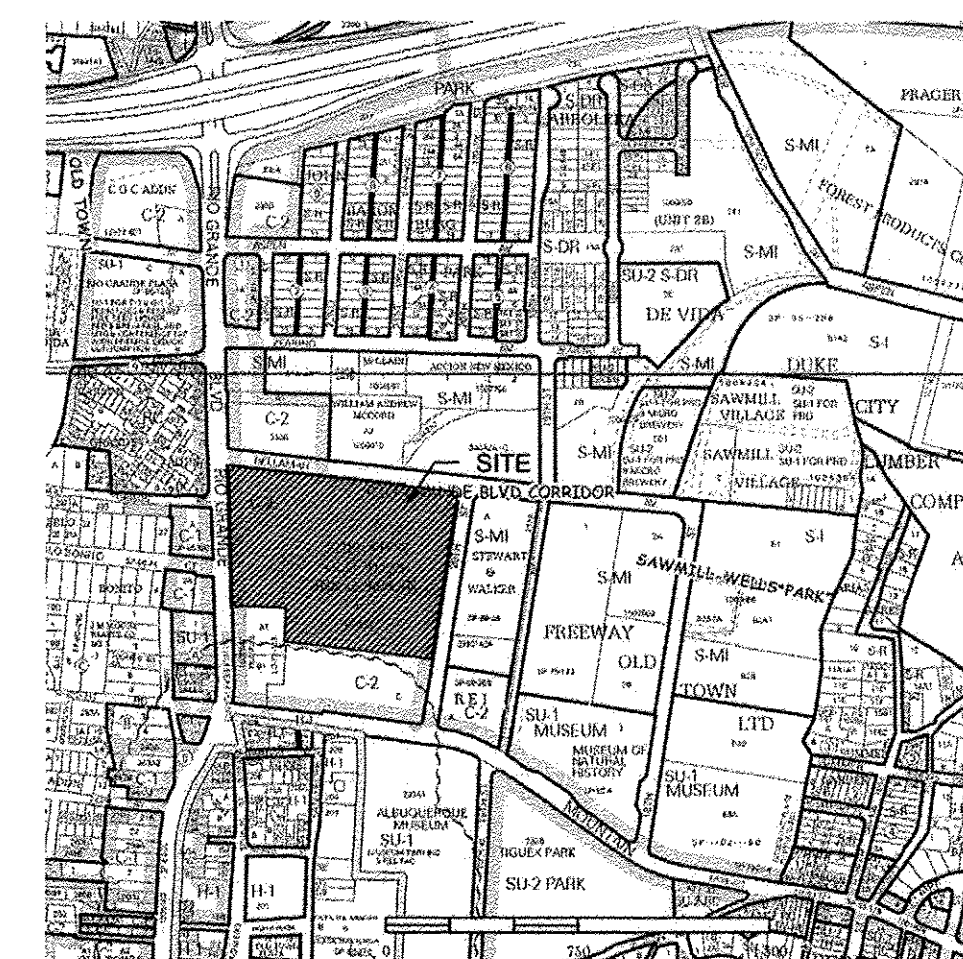
PARKING CALCULATIONS

TOTAL PARKING SPACES REQUIRED PER CODE:
1 SPACE PER GUEST ROOM = 188 SPACES

TOTAL EXISTING PARKING:	TRACTS A & B	TRACT D
STANDARD CAR SPACES	504	0
ACCESSIBLE SPACES	19	0
TOTAL CAR SPACES	523	0
MOTORCYCLE SPACES	10	0

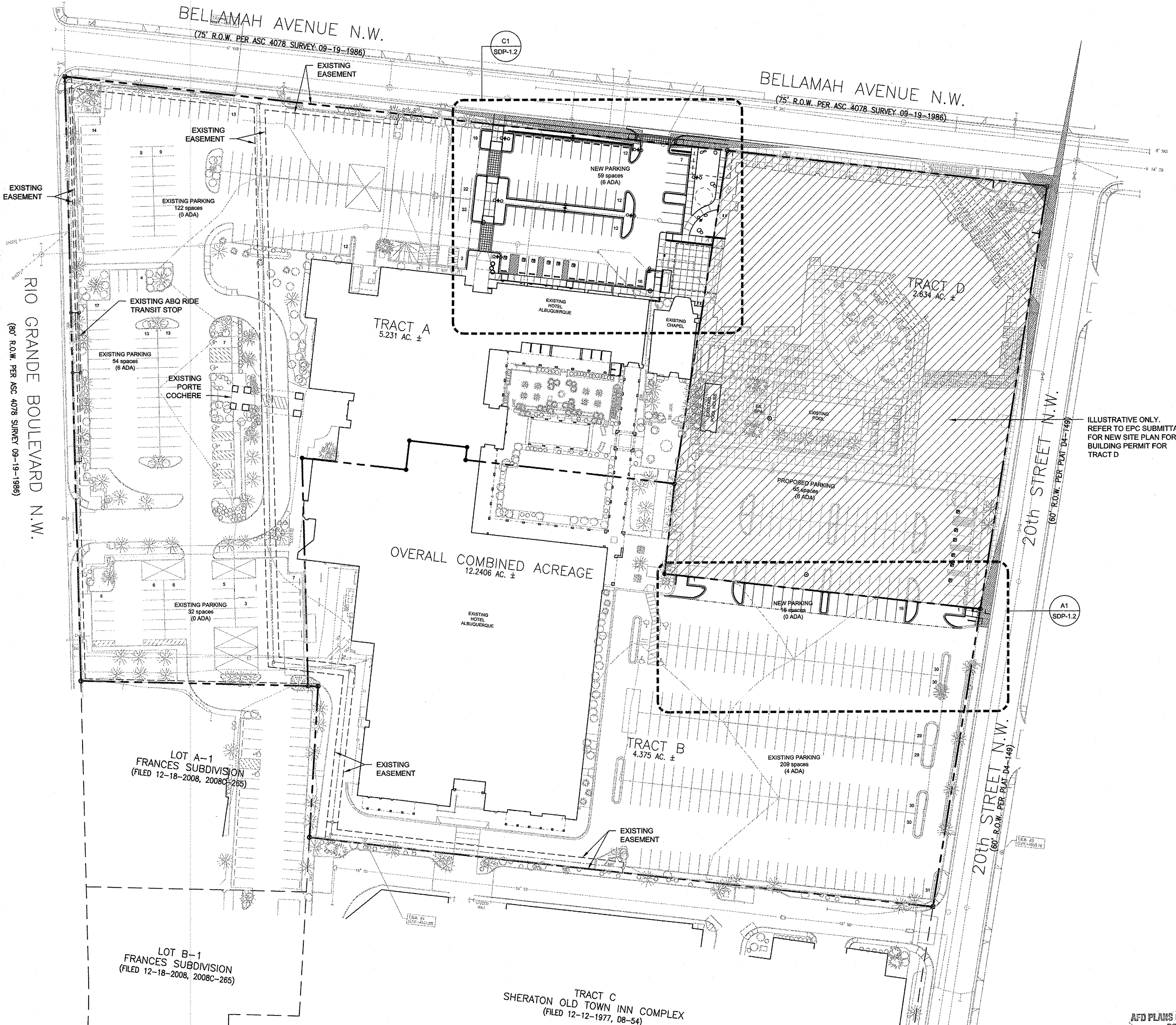
TOTAL PROPOSED PARKING:	TRACTS A & B	*TRACT D IS TO BE REMOVED FROM THIS SITE DEVELOPMENT PLAN IN A SEPARATE ACTION
STANDARD CAR SPACES	478	
ACCESSIBLE SPACES	16	
TOTAL CAR SPACES	494	
MOTORCYCLE SPACES	10	

EXCESS PARKING ON SITE: 306 SPACES

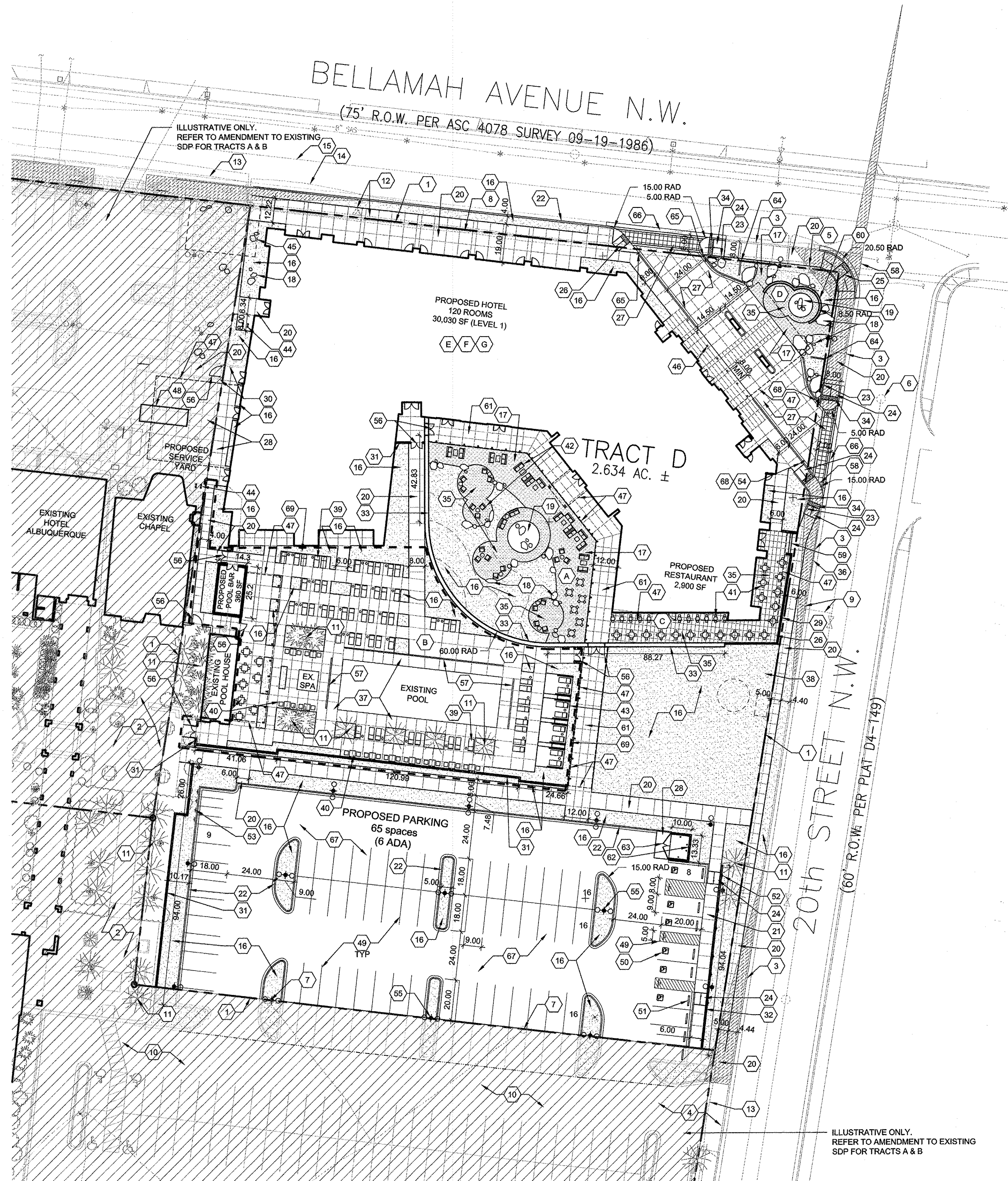


VICINITY MAP
ZONING MAP J-13

AFD PLANS CHECKING OFFICE
624-3514
APPROVED
SIGNATURE & DATE



SITE PLAN
1" = 50'-0"
0 50' 100'



SITE PLAN
1" = 30'-0"

*NOTE:
30 SCALE APPROVED BY COA PLANNING 2/14/2014

GENERAL SHEET NOTES

- THIS SUBMITTAL ILLUSTRATES THE DESIGN INTENT FOR A NEW HOTEL TO BE CONSTRUCTED ON TRACT D OF THE SHERATON OLD TOWN INN COMPLEX (#1000318), ALONG WITH ASSOCIATED SITE, LANDSCAPE, GRADING, AND UTILITIES IMPROVEMENTS.
- IN A SEPARATE EPC SUBMITTAL, TRACT D WILL BE REMOVED FROM THE OVERALL SITE DEVELOPMENT PLAN ASSOCIATED WITH THE EXISTING HOTEL ALBUQUERQUE. THE PRIMARY REASON FOR REMOVING TRACT D IS TO ESTABLISH SEPARATE ZONING THAT IS MORE ALIGNED WITH THE NEW HOTEL OBJECTIVES.
- SEE SHEET SDP-1.2 FOR NEW DESIGN STANDARDS THAT WILL APPLY TO TRACT D. IT IS ANTICIPATED THAT THERE WILL BE A SHARED PARKING AGREEMENT BETWEEN THE EXISTING HOTEL, (TRACTS A & B) AND TRACT D TO SUPPORT PARKING DEMAND FOR THE NEW HOTEL BEYOND WHAT IS PROVIDED ON THE TRACT.
- PHASES OF DEVELOPMENT: THE PROPOSED MODIFICATIONS TO THE POOL AREA WILL BE MADE IN A FUTURE PHASE. SEE PHASING DIAGRAM ON SDP-1.2.
- COURTYARD WALL (KEYNOTE #33) MAY NOT BE ONE CONTINUOUS MATERIAL BREAKS WITH OTHER MATERIALS OR ARTISTIC ELEMENTS MAY BE INCORPORATED.
- SITE LIGHTING SHALL CONSIST OF A COMBINATION OF BUILDING MOUNTED LIGHT FIXTURES AND POLE MOUNTED LIGHT FIXTURES. SEE PLAN FOR POLE LOCATIONS.
- MECHANICAL AND ELECTRICAL EQUIPMENT WILL BE SCREENED FROM VIEW WITHIN THE ENCLOSED SERVICE YARD AREA. GROUND-MOUNTED EQUIPMENT SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS ARE TO ALLOW 10' OF CLEARANCE IN FRONT OF EQUIPMENT DOOR, AND 5'-6' OF CLEARANCE ON REMAINING THREE SIDES.

SHEET KEYED NOTES

- PROPERTY LINE
- EXISTING SIDEWALK TO REMAIN
- EXISTING CURB AND GUTTER TO REMAIN
- EXISTING CURB CUT TO REMAIN
- EXISTING STREET LIGHT
- EXISTING SANITARY SEWER MANHOLE / CLEAN-OUT AND LINE TO REMAIN
- EXISTING ELECTRICAL POLE TO BE REMOVED OR RELOCATED
- EXISTING ELECTRICAL OVERHEAD LINE TO BE REMOVED OR RELOCATED
- EXISTING FIRE HYDRANT AND WATER LINE TO REMAIN
- EXISTING ASPHALT PAVING
- EXISTING TREES TO REMAIN
- EXISTING GAS LINE
- EXISTING TELEPHONE LINE
- EXISTING CABLE TV LINE
- EXISTING STORM DRAIN
- LANDSCAPE AREA, SEE SDP-2.1
- STABILIZED CRUSHER FINES, SEE SDP-2.1
- BOULDERS, COLOR: LOCAL, AS AVAILABLE
- ART FEATURE
- CONCRETE SIDEWALK, PER COA DPM STD. 2415A (IN ROW, 2415B INTERNAL)
- CONCRETE CURB AND GUTTER, PER COA DPM STD. 2415A (IN ROW, 2415B INTERNAL)
- CONCRETE HEADER CURB, PER COA DPM STD. 2415B
- CONCRETE ACCESSIBLE RAMP, TYPE A, SEE C1/SDP-1.2
- CONCRETE ACCESSIBLE RAMP, TYPE B, PER COA DPM STD. 2441
- CONCRETE ACCESSIBLE RAMP, TYPE C, SEE D1/SDP-1.2
- HEAVY DUTY DECORATIVE CONCRETE PAVING, COLOR: NONE, CREAM, TAN, OR BROWN; ALT MATERIAL: STONE OR CONCRETE PAVERS
- REINFORCED CONCRETE PAVING IN SERVICE YARD, COLOR: NONE
- DECORATIVE CONCRETE PAVING WITH TURN-DOWN EDGE, 4'-0" RAIL MOUNTED AT EDGE. SEE ARCH SHEET 5.2
- 10'-3" HT WALL, SEE ARCH SHEET 5.2
- 7'-0" HT WALL, SEE ARCH SHEET 5.3
- 3'-0" HT CMU WALL WITH CAP AND STUCCO FINISH, COLOR: CREAM, TAN, OR BROWN; ALT MATERIAL: ADOBE BRICK WALL WITH CAP OR CAST-IN-PLACE CONCRETE
- 10'-6" HT WALL, SEE ARCH SHEET 5.3
- DETECTABLE WARNING SURFACE
- DECORATIVE CONCRETE PAVING, COLOR: NONE, CREAM, TAN, OR BROWN; ALT MATERIAL: STONE OR CONCRETE PAVERS
- LOADING ZONE FOR RESTAURANT, INDICATED BY CURB PAINT AND SIGNAGE. DELIVERY VEHICLES TO USE NEARBY RAMP FOR BLDG. ACCESS.
- POOL DECKING, CONCRETE COLOR: NONE, CREAM, OR TAN; ALT MATERIAL: STONE, COLOR: GRAY, CREAM, OR TAN
- PROPOSED UNDERGROUND CISTERN LOCATION
- POOL LOUNGE FURNITURE
- POOL TABLES / CHAIRS
- RESTAURANT TABLES / CHAIRS
- HOTEL CLUB FURNITURE
- POOL CABANAS
- BIKE RACKS
- PROPOSED WATER UTILITY EASEMENT, SEE CIVIL
- BOLLARD, METAL TO MATCH BUILDING; ALT MATERIAL: STONE, COLOR: BROWN, TAN, OR GRAY
- OVERHEAD STRUCTURE, SEE ARCHITECTURAL SHEETS
- COMPACTOR, 34 CU. YD. CAPACITY, SEE A1/SDP-1.2 FOR ENCLOSURE GATE ELEVATION
- PARKING STRIPING
- ADA PAVEMENT MARKING
- PARKING BUMPER
- ACCESSIBLE PARKING SIGN, SEE C1/SDP-1.2
- MOTORCYCLE PARKING SIGN, SEE C1/SDP-1.2
- STOP SIGN, SEE C1/SDP-1.2
- DECORATIVE PEDESTRIAN GATE
- POOL TRENCH DRAIN
- CLEAR SIGHT TRIANGLE
- CONCRETE STAIRS
- 6'-0" HT WALL, SEE ARCH SHEET 5.2
- DECORATIVE STONE PAVING, COLOR: GRAY, CREAM, OR TAN; ALT MATERIAL: CONCRETE OR CONCRETE PAVERS
- 7'-0" HT DUMPSTER ENCLOSURE WALL, CMU WITH CAP AND STUCCO FINISH, COLOR: CREAM, TAN, OR BROWN; ALT MATERIAL: ADOBE BRICK WALL WITH CAP
- DUMPSTER ENCLOSURE GATE, SEE B1/SDP-1.2
- MONUMENT SIGN, SEE ARCH SHEET 5.12
- ONE WAY SIGN, SEE C1/SDP-1.2
- CONCRETE PRIVATE ENTRANCE DIVE, PER COA STD. 2426
- NEW ASPHALT PAVING
- DO NOT ENTER SIGN, SEE C1/SDP-1.2
- CONSTRUCTION PHASE LINE

SITE PATIO / AMENITIES

- A HOTEL COURTYARD - 5,663 SF
- B POOL DECK - 11,624 SF
- C RESTAURANT TERRACE - 1,857 SF
- D VALET AREA PATIO - 404 SF
- E LEVEL 5 ROOFTOP TERRACE - 11,894 SF
- F LEVEL 4 TERRACE - 2,037 SF
- G LEVEL 2 TERRACE - 2,729 SF

ATD PLANS CHECKING OFFICE
APPROVED
DATE

PROJECT NUMBER: 1000318

APPLICATION NUMBER: DRB Site Development Plan-Building Permit

Is an Infrastructure List Required? (x) Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

TRAFFIC ENGINEER, TRANSPORTATION DIVISION
DATE 07-09-14

UTILITIES DIVISION
DATE 07/09/14

PARKS AND RECREATION DEPARTMENT
DATE 09-03-14

CITY ENGINEER
DATE 7-9-14

SOLID WASTE MANAGEMENT
DATE 06-23-14

FIRE MARSHALL
DATE 9-16-14

DRB CHAIRPERSON, PLANNING DEPARTMENT
DATE

LEGEND

- PROPERTY LINE
- EXISTING EASEMENT (ALL EASEMENTS ARE EXISTING)
- 24'-0" MAX HT. POLE LIGHT, DOUBLE, FULL CUT-OFF, DARK COLOR TO COORDINATE WITH EXISTING FIXTURES
- 24'-0" MAX HT. POLE LIGHT, SINGLE, FULL CUT-OFF, DARK COLOR TO COORDINATE WITH EXISTING FIXTURES

PROJECT DATA

ADDRESS: 800 RIO GRANDE BLVD. NW, ALBUQUERQUE, NM 87104, TRACT D

LEGAL DESCRIPTION: TRACT D OF SHERATON OLD TOWN INN COMPLEX, IN THE CITY OF ALBUQUERQUE, NEW MEXICO

ZONE ATLAS PAGE: J-13

SITE AREA: TRACT D: 2.634 AC

CURRENT ZONING: C-2

PROPOSED ZONING: SU-1 FOR HOTEL AND RELATED USES

BUILDING FOOTPRINT: NEW HOTEL: 29,970 SF (GFA)

POOL BAR: 363 SF

LANDSCAPING: REFER TO SHEET SDP-2.1 FOR LANDSCAPE PLAN

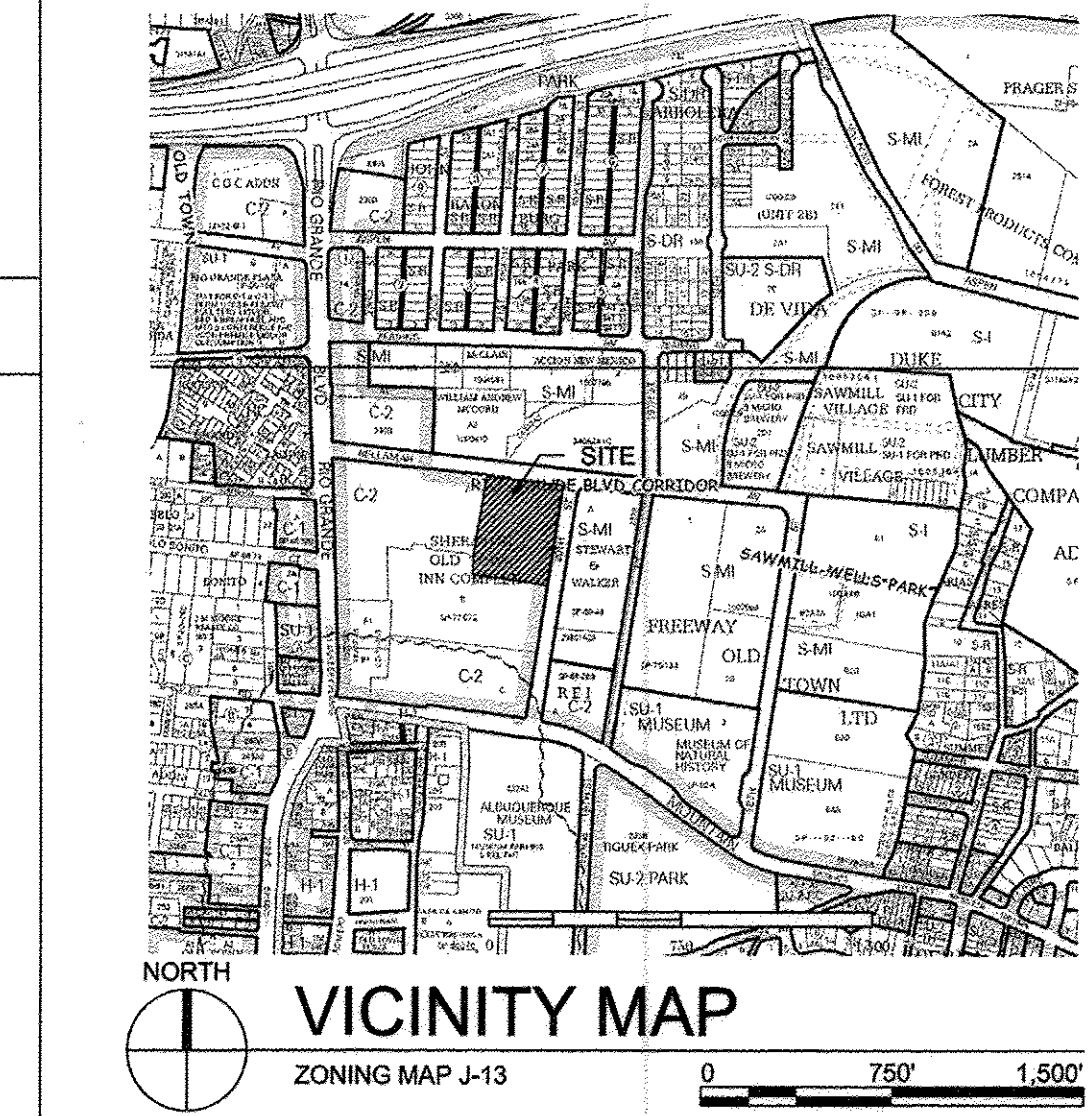
PARKING CALCULATIONS

TOTAL PARKING SPACES REQUIRED PER CODE:
1 SPACE PER GUEST ROOM = 120 SPACES

TOTAL PROPOSED PARKING:	TRACT D
STANDARD CAR SPACES	59
ACCESSIBLE SPACES	6
TOTAL CAR SPACES	65
MOTORCYCLE SPACES	4 (4 REQUIRED)
BICYCLE PARKING	8 (6 REQUIRED)

EXCESS PARKING ON ADJACENT TRACTS A AND B: 306 SPACES

TOTAL # SHARED SPACES (TRACTS A, B, & D): 55



VICINITY MAP
ZONING MAP J-13

architecture
interiors
landscape
planning
engineering

**Dekker
Perich
Sabatini**

7601 Jefferson NE Suite 100
Albuquerque, NM 87109
505 761-9700
fax 761-4222
dps@dpsdesign.org

ARCHITECT

Gensler

ENGINEER

**SITE
DEVELOPMENT
PLAN
FOR BUILDING PERMIT**

PROJECT

**New Hotel
800 Rio Grande Blvd. NW
Albuquerque, NM 87104
Tract D**

**DRB
SUBMITTAL
June 24, 2014**

REVISIONS

6-24-14 Revised Per EPC Conditions 5-8-14

DRAWN BY CM

REVIEWED BY MB / WG

DATE 6.24.2014

PROJECT NO. 13-0020

DRAWING NAME

SITE PLAN

SHEET NO.

SDP-1.1
OF