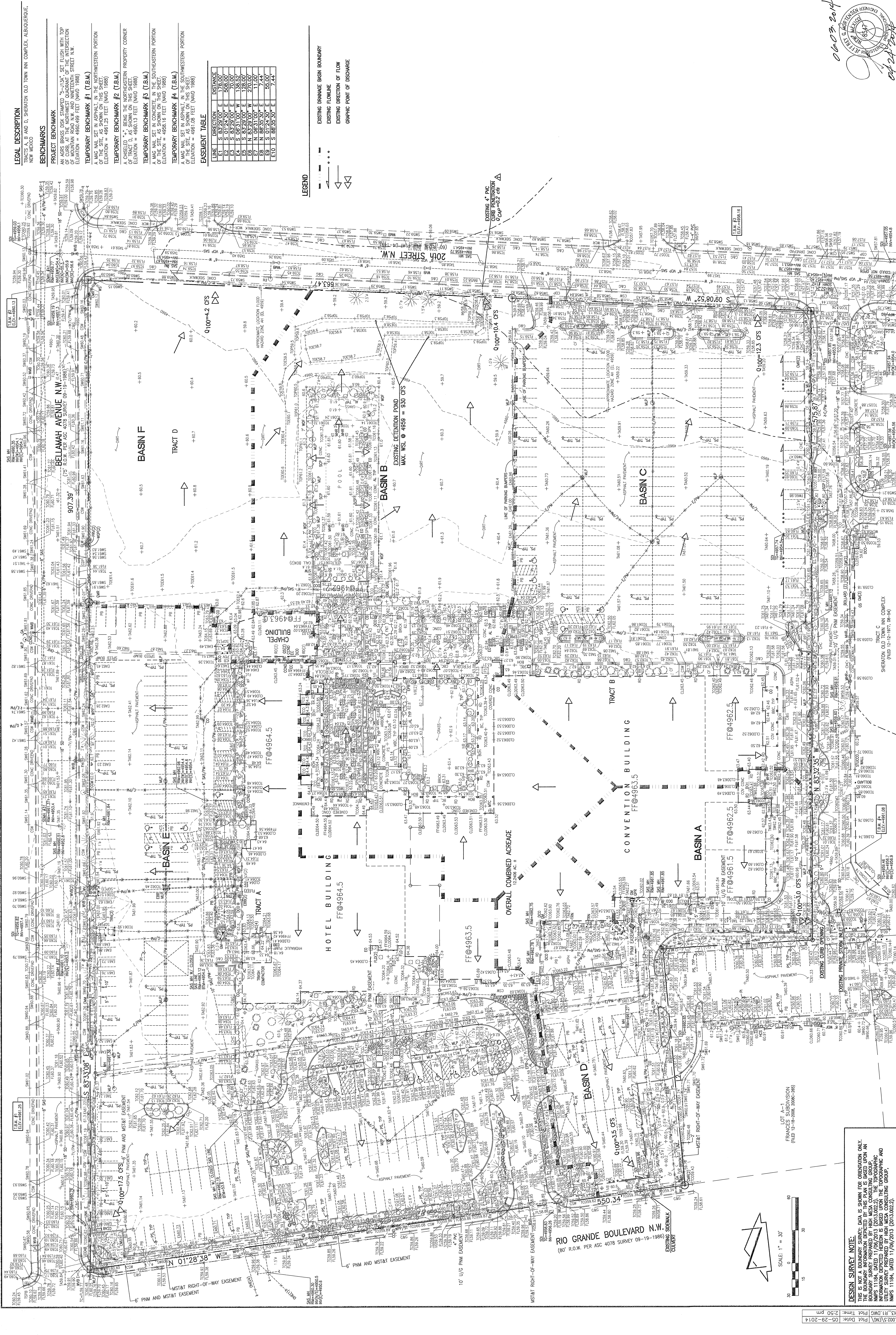




LEGAL DESCRIPTION
NEW MEXICO AND D. SHERATON OLD TOWN INN COMPLEX, ALBUQUERQUE,
NEW MEXICO

BENCHMARKS
AN ACROSS BRASS DISK STAMPED "5-1131" SET FLUSH WITH TOP
OF CURB AT THE NORTHWEST QUADRANT OF THE INTERSECTION
OF MOUNTAIN ROAD N.W. AND WINTERSTREET N.W.
ELEVATION = 4962.49 FEET (NAVD 1988)

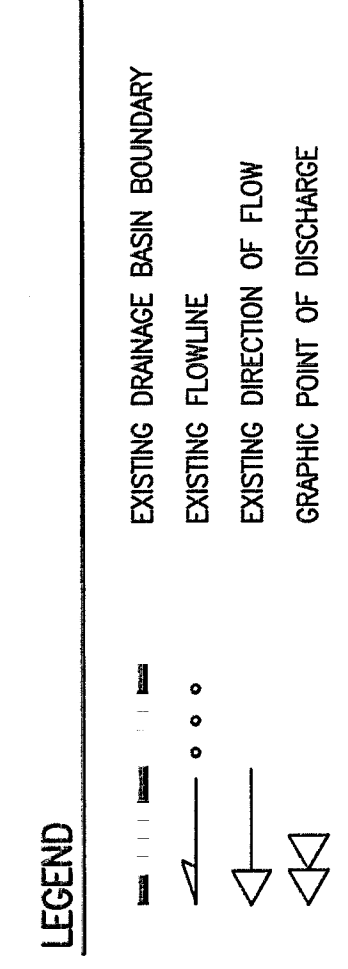
TEMPORARY BENCHMARK #1 (T.B.M.)
A MAG NAIL SET IN ASPHALT, IN THE NORTHWESTERN PORTION
OF THE SITE, AS SHOWN ON THIS SHEET.
ELEVATION = 4961.25 FEET (NAVD 1988)

TEMPORARY BENCHMARK #2 (T.B.M.)
A CHISELED "X" BEING THE NORTHEASTERN PROPERTY CORNER
ELEVATION = 4960.13 FEET (NAVD 1988)

TEMPORARY BENCHMARK #3 (T.B.M.)
A MAG NAIL SET IN CONCRETE, IN THE SOUTHEASTERN PORTION
ELEVATION = 4958.16 FEET (NAVD 1988)

TEMPORARY BENCHMARK #4 (T.B.M.)
A MAG NAIL SET IN CONCRETE, IN THE SOUTHEASTERN PORTION
OF THE SITE, AS SHOWN ON THIS SHEET.
ELEVATION = 4961.08 FEET (NAVD 1988)

LINE	DIRECTION	DISTANCE
E1	S 85°24'30" E	6.00'
E2	S 85°24'30" E	6.00'
E3	S 85°24'30" E	70.00'
E4	S 06°31'00" W	136.50'
E5	S 65°29'00" E	126.00'
E6	N 06°31'00" W	21.00'
E7	N 88°35'30" E	7.44'
E8	S 01°24'30" E	55.00'
E9	S 88°35'30" E	7.44'



0603 2014

04/24/2014

DESIGN SURVEY NOTE:
THIS IS NOT A BOUNDARY SURVEY. DATA IS SHOWN FOR ORIENTATION ONLY.
THE BOUNDARY INFORMATION REPORTED BY THIS PLAN IS BASED UPON AN
BOUNDARY SURVEY PREPARED BY HIGH MESA CONSULTING GROUP.
UTILITY SURVEY PREPARED BY HIGH MESA CONSULTING GROUP.
NAD 83 DATUM, DATED 11/06/2013 (2013.0022).

EXISTING CONDITIONS
DRAINAGE MANAGEMENT PLAN
SHERATON OLD TOWN COMPLEX

REVISIONS
DATE BY
05/14/14 JDS
2013.002.5

DESIGNED BY JDS
DRAWN BY J.Y.P.
APPROVED BY J.G.M.

DATE 04-2014
SHEET 3 OF 4

High MESA Consulting Group
6010-B MIDWAY PARK BLVD. NE • ALBUQUERQUE, NEW MEXICO 87109
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File Name: P:\DATA\2013\0025\ENR\Plot Date: 05-28-2014
Plot Time: 2:50 pm

LEGAL DESCRIPTION

TRACTS A, B AND D, SHERATON OLD TOWN INN COMPLEX, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND

PROJECT BENCHMARK

AN EXISTING BENCHMARK, "BENCH 1", SET WITH TOP OF CURB AT THE NORTHWEST CORNER OF THE INTERSECTION OF MOUNTAIN ROAD N.W. AND NINTENTH STREET N.W. ELEVATION = 4960.49 FEET (NAVD 1988)

TEMPORARY BENCHMARK #1 (T.B.M.)

A MAG NAIL SET IN ASPHALT, IN THE NORTHWESTERN PORTION OF THE SITE, AS SHOWN ON THIS SHEET. ELEVATION = 4961.25 FEET (NAVD 1988)

TEMPORARY BENCHMARK #2 (T.B.M.)

A CHISELED "X" BEING THE NORTHEASTERN PROPERTY CORNER OF TRACT D, AS SHOWN ON THIS SHEET. ELEVATION = 4960.15 FEET (NAVD 1988)

TEMPORARY BENCHMARK #3 (T.B.M.)

A MAG NAIL SET IN CONCRETE, IN THE SOUTHEASTERN PORTION OF THE SITE, AS SHOWN ON THIS SHEET. ELEVATION = 4958.16 FEET (NAVD 1988)

TEMPORARY BENCHMARK #4 (T.B.M.)

A MAG NAIL SET IN ASPHALT, IN THE SOUTHWESTERN PORTION OF THE SITE, AS SHOWN ON THIS SHEET. ELEVATION = 4961.08 FEET (NAVD 1988)

EASEMENT TABLE

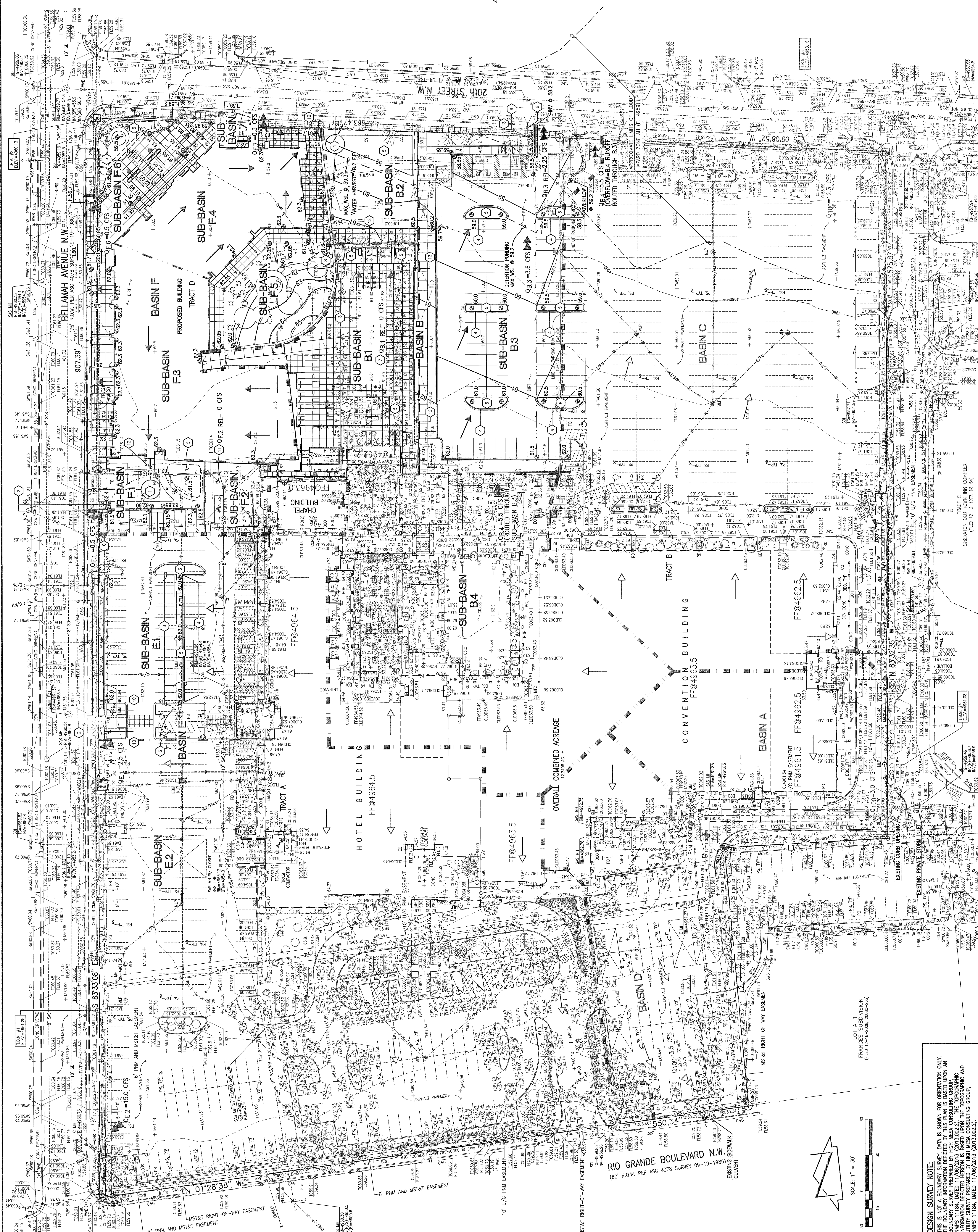
LINE	DIRECTION	DISTANCE
E1	S 85°25'00" E	178.00'
E2	S 85°25'00" E	70.00'
E3	S 85°25'00" E	70.00'
E4	S 06°31'00" W	136.52'
E5	S 85°25'00" W	128.00'
E6	N 85°25'00" W	270.00'
E7	N 85°25'00" W	270.00'
E8	N 85°25'00" E	7.44'
E9	S 07°24'30" E	55.00'
E10	S 85°35'30" E	7.44'

LEGEND

- EXISTING DRAINAGE BASIN BOUNDARY
- EXISTING FLOWLINE
- GRAPHIC POINT OF DISCHARGE
- PROPOSED DRAINAGE BASIN BOUNDARY
- PROPOSED SPOT ELEVATION
- PROPOSED FLOWLINE
- PROPOSED ROOF DRAINAGE
- PROPOSED GRAPHIC POINT OF DISCHARGE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED ASPHALT PAVING

Drainage Management Plan Keyed Notes:

- NEW STORM INLET TO CONVEY FIRST 4" INCH OF ROOF RUNOFF WITH OVERFLOW TO STREET VIA 4" PVC CURB PENETRATION
- NEW SIDEWALK CURB
- SET NEW CURB AT 6-INCHES ABOVE EXISTING TOP OF ASPHALT ELEVATION TYPICAL
- PROVIDE CURB OPENINGS FOR POSITIVE DRAINAGE
- GRADE WATER MARKETING AREA, SIZE TO CAPTURE FIRST FLUSH
- REMOVE EXISTING 4" CURB PENETRATION
- EXISTING POOL NO GRADE CHANGES PROPOSED. POOL DECK RUNOFF TO BE CONTAINED W/ DISCHARGE TO LANDSCAPED AREAS OR DRAIN
- NEW STORM INLET WITH DISCHARGE TO STREET
- NEW 12" SIDEWALK CURB INLET WITH OVERFLOW TO STREET (4" WIDE OPENING) AT PARKING LOT SIDE TO CONTROL DISCHARGE
- NEW DRAINAGE RUNOFF FOR POSITIVE DRAINAGE THROUGH CONES
- GRATED SANITARY SEWER MANHOLE TO ACCEPT AND DRAIN RUNOFF FROM REFUSE BIN AREA
- NEW ROOF DRAIN TO NEW CISTERN
- NEW WALL TO CONTAIN SUB-BASIN RUNOFF AND/OR OVERFLOW



DESIGN SURVEY NOTE:
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INFORMATION REPORTED HEREON IS BASED UPON THE TOPOGRAPHIC AND
UTILITY SURVEY PREPARED BY HIGH MESA CONSULTING GROUP.
NIMS 11184, DATED 11/06/2013 (2013.0022).

DEVELOPED CONDITIONS
DRAINAGE MANAGEMENT PLAN
SHERATON OLD TOWN COMPLEX

REVISIONS

NO.	DATE	BY	REVISION
1	05/14/05	JDS	ADD KEYED NOTES, WATER HARVESTING AREAS, SPOT ELEV'S

2013.002.5

DATE: 04-2014

SHEET: 4 OF 4

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