



**CITY OF  
ALBUQUERQUE**

**AL SOTO**

**Senior Development Program Specialist**

(505) 764-0037 Ext. 242  
(505) 764-1782 Fax  
(505) 440-7671 Cell  
(800) 659-8331 TTY

Dept. of Family & Community Services  
Albuquerque Development Services  
2700 Central Av. SW  
Albuquerque, NM 87104  
[www.cabq.gov](http://www.cabq.gov)



# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

***Public Works Department***

***Transportation Development Services Section***

May 2, 2002

David Gatterman, Registered Architect  
3916 Juan Tabo Place NE  
Albuquerque, NM 87108

Re: Traffic Circulation Layout (TCL) Submittal for Building Permit Approval for  
Esperanza Fine Furniture, [J13 / D74]  
301 Rio Grande Blvd NW  
Architect's Stamp Dated 4/29/02

Dear Mr. Gatterman:

The TCL submittal, dated April 30, 2002, is sufficient for acceptance by this office and is stamped and signed as such. Three copies have been made: two have been inserted into the building permit plans, one has been retained for this office and the original was given to yourself, please use for certification of the site for final C.O. for Hydrology/Transportation to be done by the registered architect.

An exact copy of the approved TCL, marked up, showing incomplete work remaining, along with a letter of certification is required prior to issuance of Temporary C.O. If project is one of multiple phases, Barricading Plan is needed clearly illustrating separation of this site from coming phases, not completed or yet begun.

When site is complete and a Final C.O. is needed, a Letter of Certification, stating site was built in substantial compliance, needs to be attached to your stamped, approved TCL letter or TCL must be stamped with the designer's seal for the certification. Seal must be signed and dated for that submittal. This and all documentation must be submitted with a completed Drainage and Transportation Information Sheet (also used for the Grading and Drainage submittal) to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. to confirm that Final C.O. has been issued to the superintendent, call Building Safety at 924-3306.

Sincerely,

Richard Dourte, PE  
Traffic Engineer  
Development and Building Services  
Public Works Department

c: Engineer  
Hydrology file  
Mike Zamora

**DRAINAGE INFORMATION SHEET**  
(REV. 11/01/2001)

J-13/D74

PROJECT TITLE: ESPERANZA FINE FURNITURE ZONE MAP/DRG. FILE #: J-13  
DRB #: 1001437 EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: LOT 1, JESUS ROMERO NO. 2 ADDITION  
CITY ADDRESS: 301 RIO GRANDE BLVD NW

ENGINEERING FIRM: TGC ENGINEERING  
ADDRESS: 330 LOUISIANA BLVD NE  
CITY, STATE: ALBUQUERQUE NM

CONTACT: THOMAS JOHNSTON  
PHONE: 266-7256  
ZIP CODE: 87108-2062

OWNER: ESPERANZA FINE FURNITURE  
ADDRESS: 303 RIO GRANDE BLVD NW  
CITY, STATE: ALBUQUERQUE NM

CONTACT: MARK GONZALES  
PHONE: 242-6458  
ZIP CODE: 87104

ARCHITECT: CARRILLO-SIMONS ARCHITECTURE  
ADDRESS: 3916 JUAN TABO PLCE, NE  
CITY, STATE: ALBUQUERQUE NM

CONTACT: WILLIAM CARRILLO  
PHONE: 440-4960  
ZIP CODE: 87111

SURVEYOR: WAYJOWN SURVEYING INC.  
ADDRESS: 330 LOUISIANA BLVD NE  
CITY, STATE: ALBUQUERQUE NM

CONTACT: THOMAS JOHNSTON  
PHONE: 255-2052  
ZIP CODE: 87108

CONTRACTOR: TBD  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

**CHECK TYPE OF SUBMITTAL:**

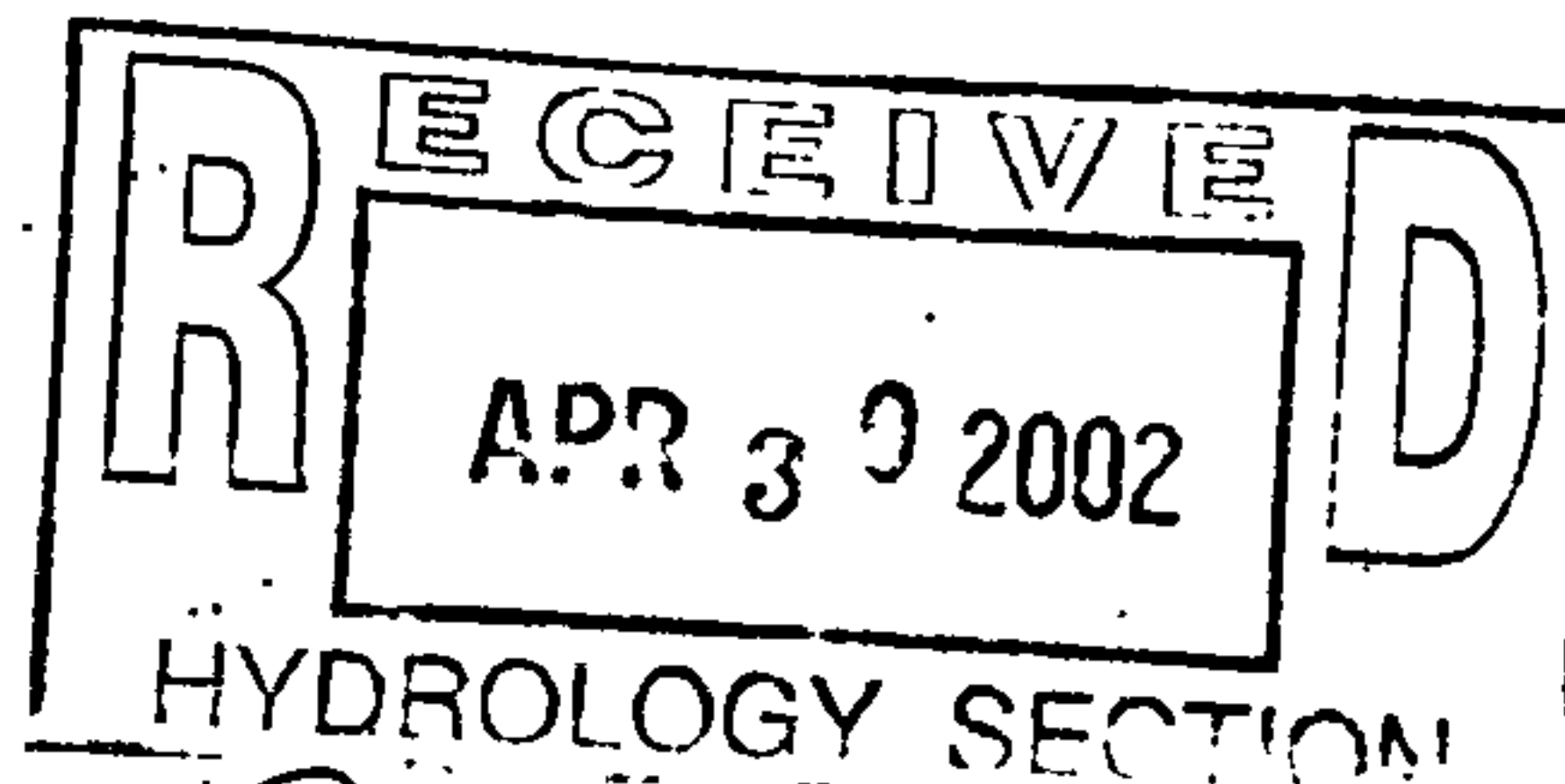
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

**CHECK TYPE OF APPROVAL SOUGHT:**

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

**WAS A PRE-DESIGN CONFERENCE ATTENDED:**

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: 4/26/02

BY: THOMAS D. JOHNSTON

BILL COLEMAN  
857-8642

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

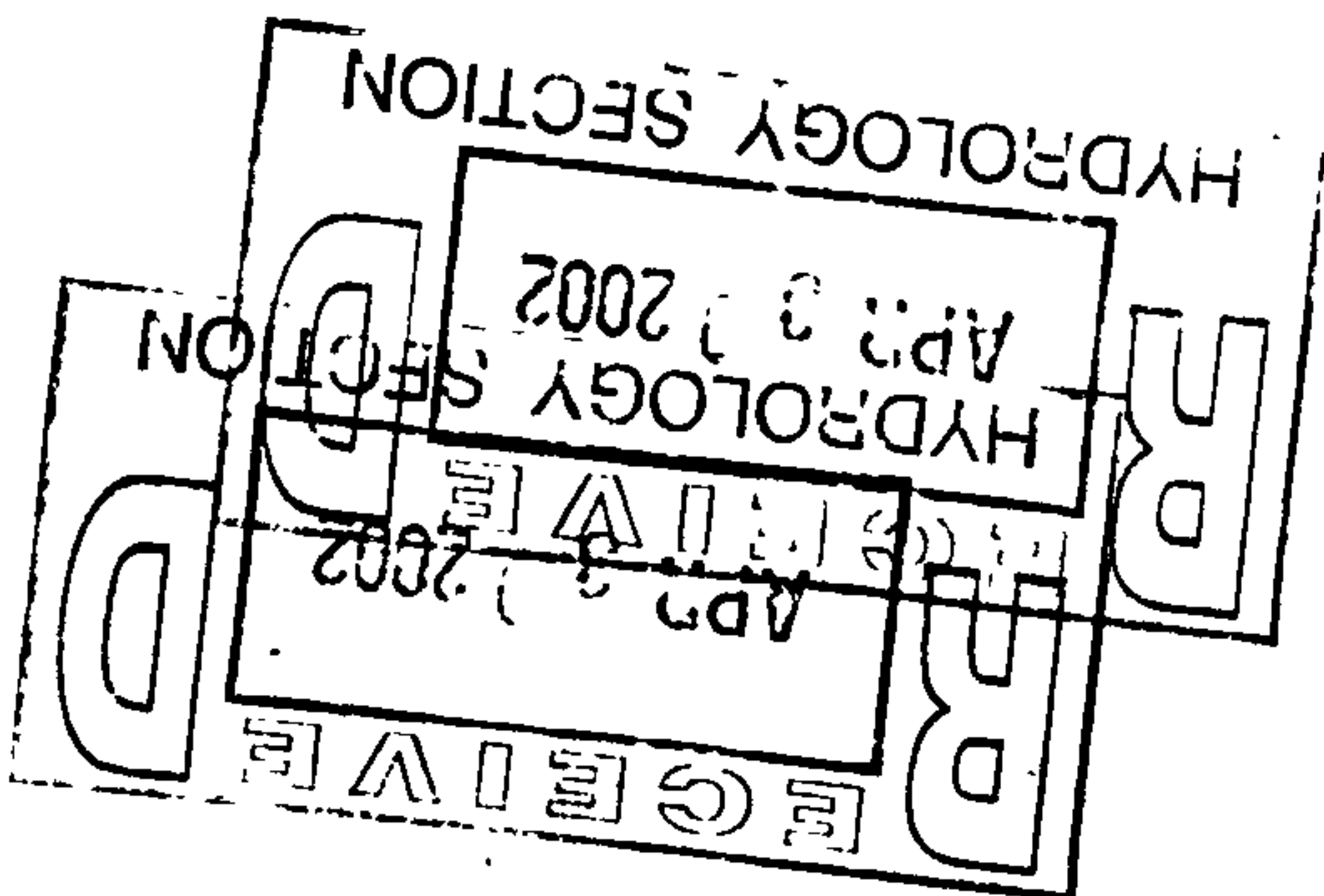
1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5)
3. Drainage Report: Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or

5/2/02 - R. D. App'd TCL; letter sent 5/2/02; L - logged in



JOE Gonzales  
P.O. BOX 374  
ALBUQ. 87103

Write TCU  
Approval  
Letter





# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

***Public Works Department  
Transportation Development Services Section***

April 16, 2002

Thomas Johnson for David Gatterman, P.E.  
TGC Engineering  
330 Louisiana N.E.  
Albuquerque, NM 87104

Re: Traffic Circulation Layout (TCL) Submittal for Final Building Permit Approval  
Esperanza Fine Furniture, [J13 / D074]  
301 Rio Grande Blvd. N.W.  
Engineer's Stamp Dated 04/10/02

Dear Mr. Johnson:

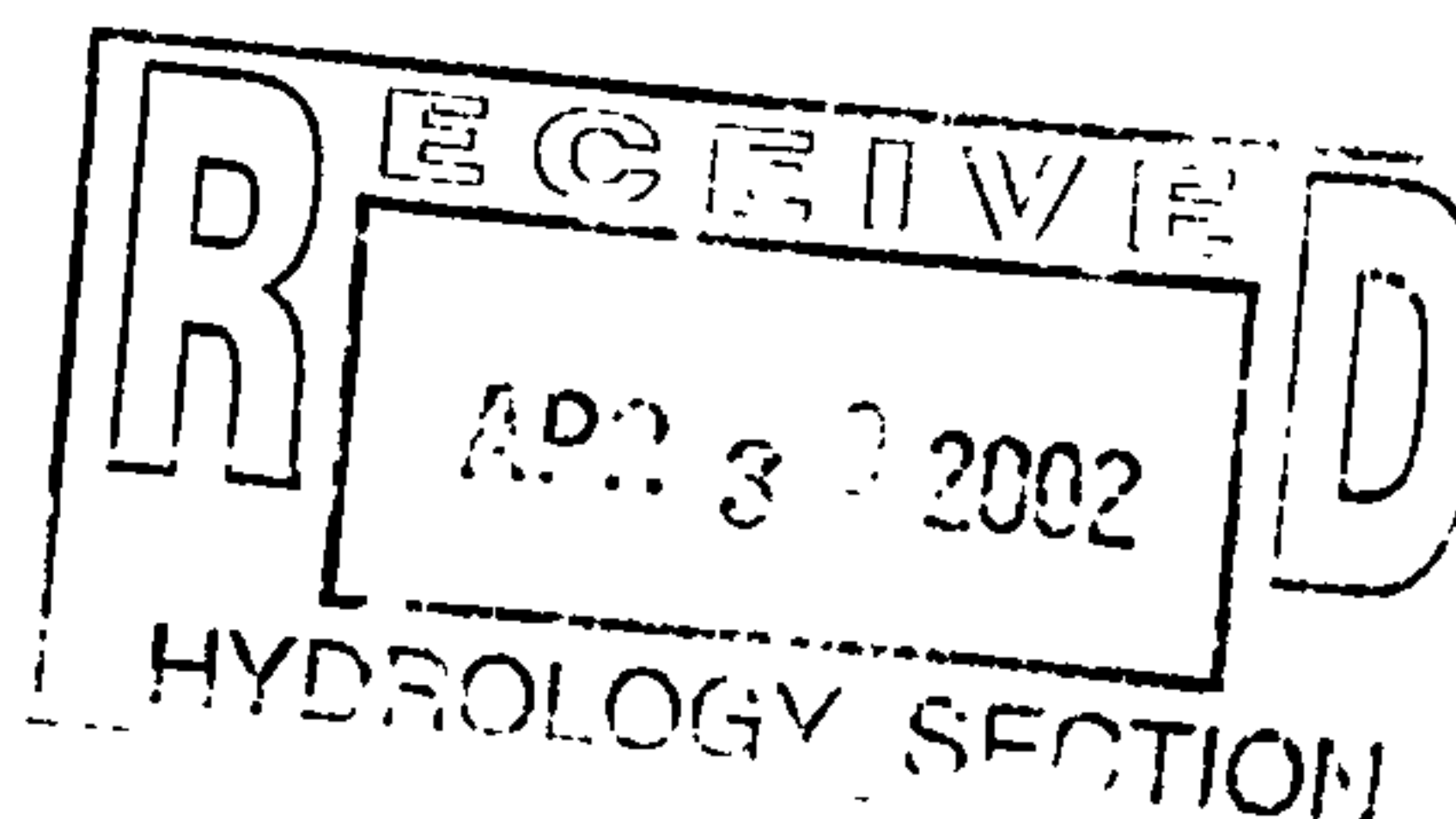
The TCL submitted for second review, dated April 10, 2002 is not yet sufficient for acceptance by this office. It requires completion of the items not yet addressed on the checklist and the original mark up and items called out on the TCL revised by the designer. Completion of some comments allows further evaluation of that area of concern.

Please submit the corrected TCL to Hydrology once more along with all documentation and mark-up copies. Complete the Drainage/Transportation Sheet with all TCL and C.O. Certification submittals.

Sincerely,

Mike Zamora, Commercial Plan Checker  
Development and Building Services  
Planning Department

c: Engineer  
Hydrology file  
Mike Zamora



# TRAFFIC CIRCULATION LAYOUT SITE PLAN CHECKLIST

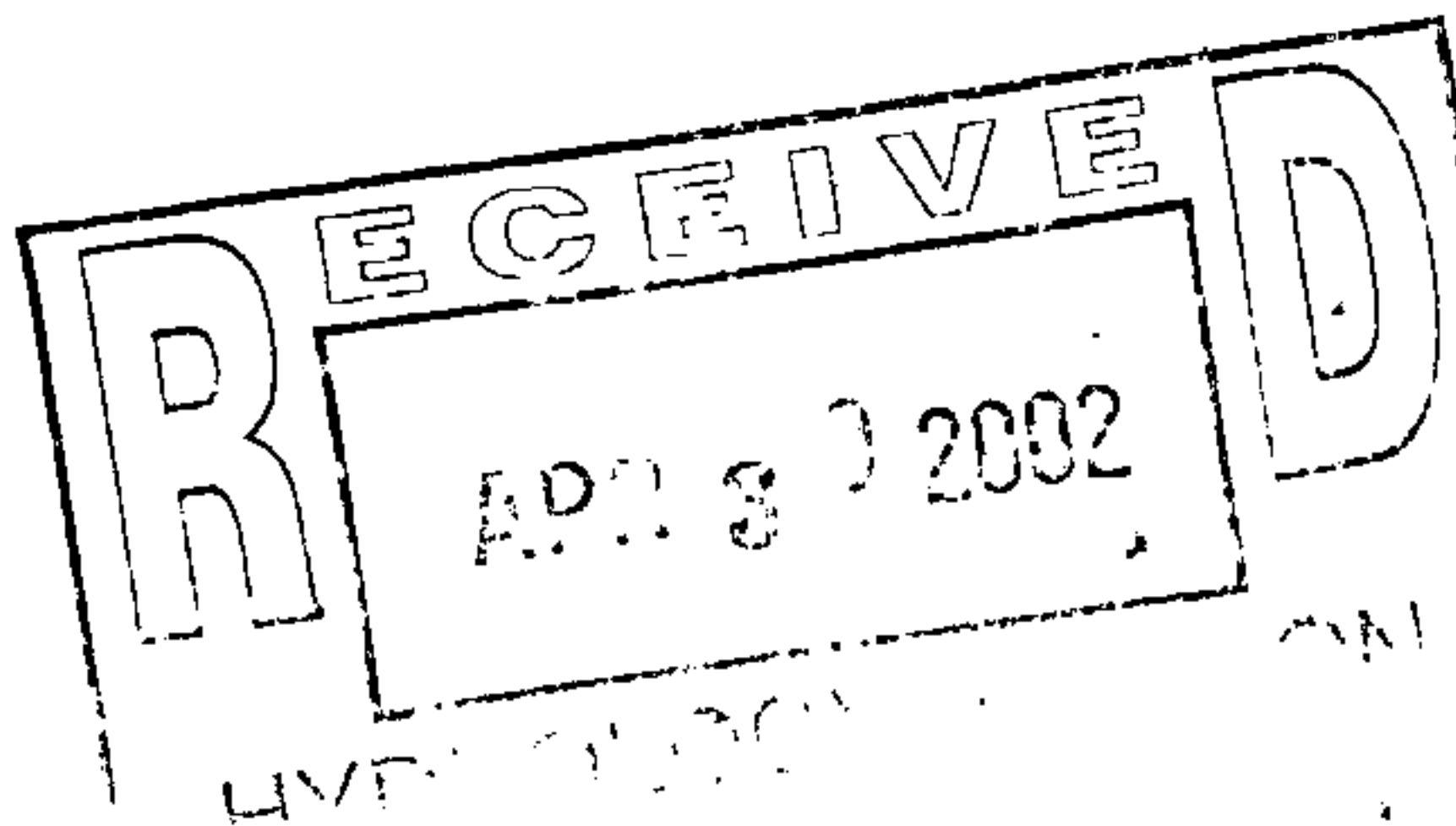
REVISED DRAFT 9/18/01

The City Zoning Code requires the design of access and circulation for parking areas and drive through facilities to be satisfactory to the Traffic Engineer. The design of these parking areas is a melding of a number of objectives of a development including safety, efficiency, aesthetics, etc. From a vehicular transportation point of view, one of the most critical areas of concern is the location and manner of access from the adjacent street. The interface of the development adjacent to these areas also plays a major role in how safely and efficiently they operate. These guidelines for the layout of the parking areas represent engineering design standards that will result in good operational and safety characteristics. However, with the many variables in design and unique characteristics that can be encountered, the designer may need to investigate other means of satisfying desirable operational and safety characteristics. Prior to embarking on a design for these unusual conditions, the designer should contact the Traffic Engineer to reach agreement on the modifications to these guidelines. Traffic Circulation Layout (TCL) Site Plans are required for commercial and institutional buildings, multi-family residential buildings and commercial additions of 500 square feet or more.

NOTE: The following checklist is intended to be used as a guide for preparing your Traffic Circulation Layout Plan to meet any or all of the traffic requirements. It is only a guide. Some items may not be applicable to your particular project; some items may require more detail.

## I. General Information:

- ☒ A. Completed Drainage/TCL Information Sheet-(DPM Volume 1, Chapter 17)
- ☒ B. Planning History-Relationship to approved site plans, masterplans, and/or sector plans site
- ☒ C. Description:
  - ☒ 1. Vicinity map (zone atlas map) showing location of the development in relation to well-known landmarks, municipal boundaries and zone atlas map index number
  - ☒ 2. Address and legal description or copy of current plat
  - ☒ 3. All requests for variances from policies, ordinances or resolutions which are necessary to implement this plan must be specifically identified
  - ☒ 4. Type of development (restaurants, banks, convenience markets, service station, super markets, auto car wash, etc.)
  - ☒ 5. Size of development
  - ☒ 6. Parking spaces required by Zoning Code or prior EPC approved Site Development Plan - *Need to see Parking Required / provide per Zoning*
  - ☒ 7. Executive Summary-Provide a brief yet comprehensive discussion of the following:
    - ☒ a. General project location
    - ☒ b. Development concept for the site
    - ☒ c. Traffic circulation concept for the site
    - ☒ d. Impact on the adjacent sites - *Cross Access Easement to site to the North?*
    - ☒ e. Reference any applicable Traffic Impact Studies (TIS) or previously approved plans
    - ☒ f. Variance required to accommodate unusual site constraints



✓ - ITEM IS ACCEPTABLE

② - ITEM NEEDS COMPLETION

3 - N/A

4 - ITEM IN THE SUBSECTION NEEDS COMPLETION OR DESIGNER MUST CONSIDER THE ITEM.

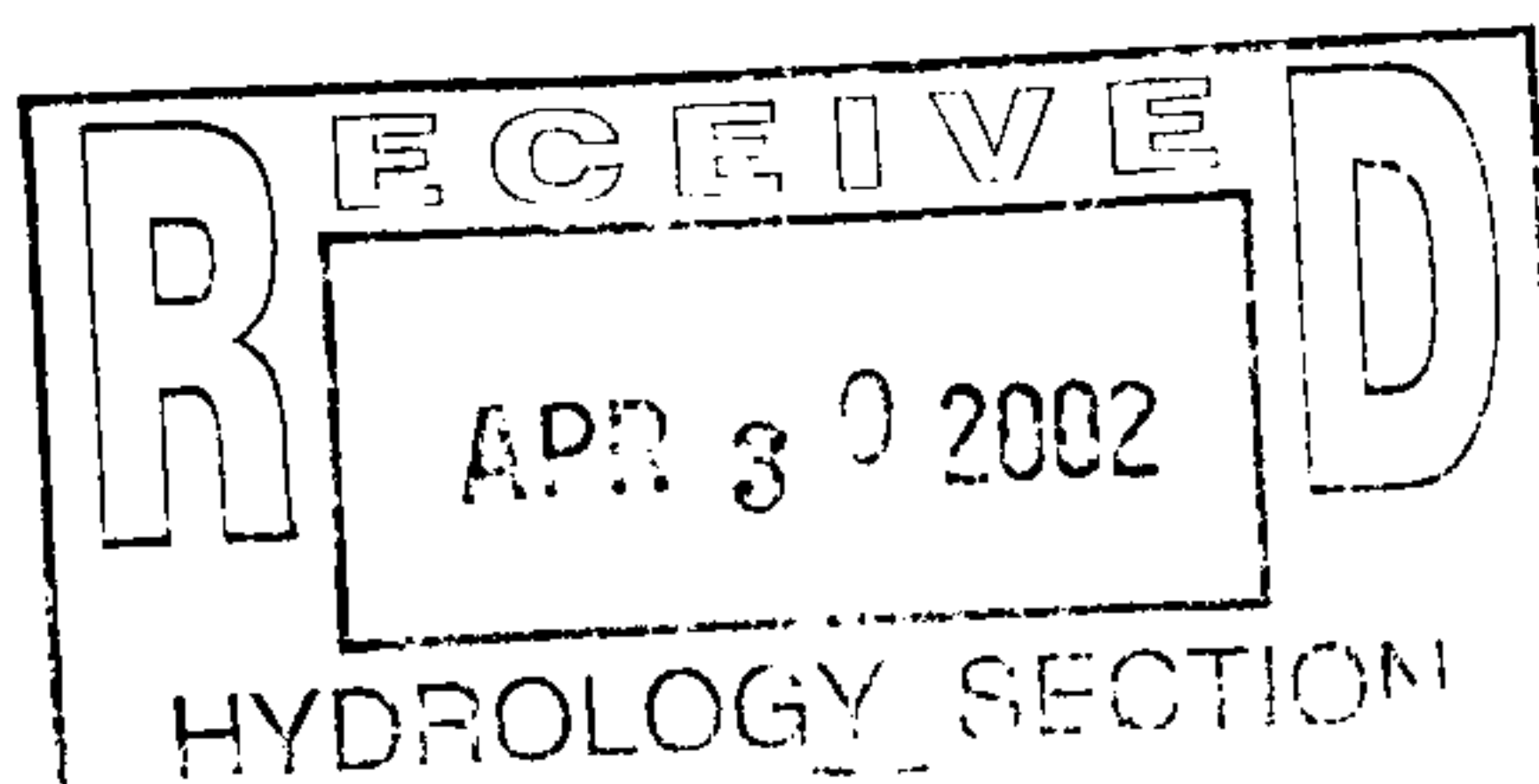
ESPERANZA FINE Furniture - 301 Rio Grande NW. 3/20/02

1513/0074



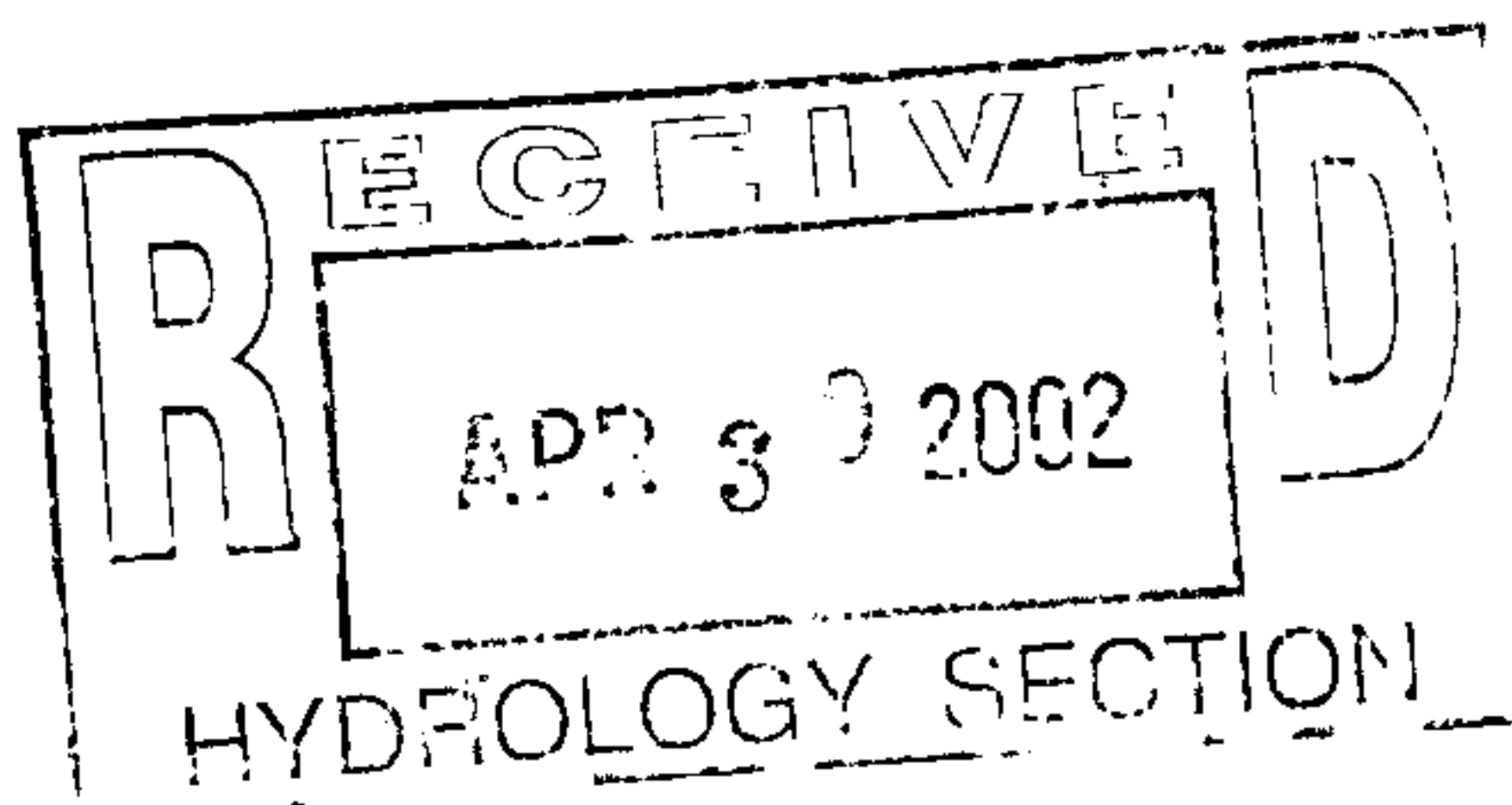
## II. Plan Drawings:

- A. Professional Architect's/Engineer's stamp with signature and date
- B. Drafting standards: (Reference City Standards, DPM Volume 2, Chapter 27)
1. North Arrow
  2. Scales-recommended engineer scales:
    - a. 1" = 20' for sites less than 5 acres
    - b. 1" = 50' for sites 5 acres or more
  3. Legend-see DPM manual, Volume 2, Tables 27.3a-27.3d for recommended standard symbols
  4. Plan drawings size: 24" x 36"
  5. Notes defining ~~property line, rights of-way, signs, street lights, fire hydrants, medians, water meter boxes, pavement limits and types, sidewalks, landscape areas, project limits, and all other areas whose~~ definition would increase clarity.
- C. ~~New~~ Existing Conditions:
1. On-site
    - a. Identification of all ~~existing~~ buildings, <sup>(overhead doors)</sup> doors, structures, sidewalks, curbs, driveways, walls, etc., and anything that influences parking and circulation of the site
    - b. Indication of all access existing easements and rights-of-way on or adjacent to the site with dimensions and purpose shown
  2. Off-site
    - a. Identification of the right-of-way width, medians, curb cuts, <sup>street</sup> ~~sidewalks~~, ~~street widths, etc. (both sides of street)~~ <sup>For Future Reference</sup>
- D. ~~NEW~~ Conditions: ~~NEW~~ conditions should generally be superimposed on the drawings showing existing on-site and off-site conditions. Separate sheets may be used for on-site and off-site areas depending upon circumstances.
1. On-site
    - a. Indication of all proposed access easements and rights-of-way on or adjacent to the site with dimensions and purpose shown
    - b. Slopes
      - (1) Parking areas 1% min to 8% max
      - (2) Parking areas adjacent to major circulation aisles or adjacent to major entrances 1% min to 6% max
      - (3) ~~Handicap parking 1% min to 2% max~~
      - (4) Handicap ramps ~~with slope of 12:1~~ must be provided ~~in where~~ the sidewalk area where curbs intersect the pedestrian access to the building
    - c. Clearly delineate project phasing. A key map is recommended.
  2. Parking stall sizes: (Reference City Standards, DPM, Figure 23.7.1)



e. Circulation:

- (1) General layout dimensions: Figure 23.7.1 provides the layout relationships between parking stalls and aisle widths for ~~both large and small car~~ <sup>Regular</sup> parking areas
- (2) Treatment of access points-Discuss how the curb cuts and/or drivepads comply with Chapter 23, Section 6
- ~~(3)~~ Internal aisle connection:
  - ~~(a)~~ Parking lots with parking spaces, spaces greater than or equal to 100 must have landscaped islands at the ends of each row of parking
  - ~~(b)~~ Landscape island radius for passenger car is 15 feet (see DPM Figure 23.7.2)
  - ~~(c)~~ Landscape island radius for delivery trucks, fire trucks, etc. is 25 feet or larger (see DPM figure 23.7.2)
- ~~(4)~~ Maximum aisle lengths: Aisle lengths required: 300-400 feet without internal circulation between aisles
- ~~(5)~~ Sidewalk connections:
  - ~~(a)~~ ~~Provide a 4' sidewalk from the public sidewalk to the buildings within the development~~
  - ~~(b)~~ Provide a min 5' wide sidewalk when the stall will overhang the sidewalk
  - ~~(c)~~ Clear pedestrian route accessible should be provided when the parking space may overhang the sidewalk
- (6) Curbing: Provide a min 6" or max 8" high concrete barrier curb between landscaping and parking areas and/or drive aisles
- ~~(7)~~ Fire and emergency access: Provision for access by fire and emergency vehicles needs to be in accordance with the Albuquerque Fire Plan Checking Division
- (8) Service Areas:
  - (a) Circulation:
    - 1) Design vehicle route needs to be shown
    - ~~2)~~ No truck ramps, ~~refuse~~ compactors or similar facilities permitted within circulation aisle *Large Truck*
  - (b) No backing into or from public street allowed
  - (c) Service *←* vehicle and/or refuse vehicle maneuvering must be contained on-site *- Type of Vehicle?*
  - ~~(d)~~ Aisle width required:
    - ~~1)~~ Two-way traffic is 30'
    - ~~2)~~ One-way traffic is 20'







# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

***Public Works Department  
Transportation Development Services Section***

April 16, 2002

Thomas Johnson for David Gatterman, P.E.  
TGC Engineering  
330 Louisiana N.E.  
Albuquerque, NM 87104

Re: Traffic Circulation Layout (TCL) Submittal for Final Building Permit Approval  
Esperanza Fine Furniture, [J13 / D074]  
301 Rio Grande Blvd. N.W.  
Engineer's Stamp Dated 04/10/02

Dear Mr. Johnson:

The TCL submitted for second review, dated April 10, 2002 is not yet sufficient for acceptance by this office. It requires completion of the items not yet addressed on the checklist and the original mark up and items called out on the TCL revised by the designer. Completion of some comments allows further evaluation of that area of concern.

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Sincerely,

Mike Zamora, Commercial Plan Checker  
Development and Building Services  
Planning Department

c: Engineer  
Hydrology file  
Mike Zamora

**DRAINAGE INFORMATION SHEET**  
(REV. 11/01/2001)

J-13/D74

PROJECT TITLE: ESPERANZA FINE FURNITURE ZONE MAP/DRG. FILE #: J-13  
DRB #: 1001437 EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: LOT 1, JESUS ROMERO NO. 2 ADDITION  
CITY ADDRESS: 301 RIO GRANDE BLVD NW

ENGINEERING FIRM: TGC ENGINEERING  
ADDRESS: 330 LOUISIANA BLVD NE  
CITY, STATE: ALBUQUERQUE NM

CONTACT: THOMAS JOHNSTON  
PHONE: 266-7256  
ZIP CODE: 87108-2062

OWNER: ESPERANZA FINE FURNITURE  
ADDRESS: 303 RIO GRANDE BLVD NW  
CITY, STATE: ALBUQUERQUE NM

CONTACT: MARK GONZALES  
PHONE: 242-6458  
ZIP CODE: 87104

ARCHITECT: CARRILLO-SIMONS ARCHITECTURE  
ADDRESS: 3916 JUAN TABO PLCE, NE  
CITY, STATE: ALBUQUERQUE NM

CONTACT: WILLIAM CARRILLO  
PHONE: 440-4960  
ZIP CODE: 87111

SURVEYOR: WAYJOHN SURVEYING, INC.  
ADDRESS: 330 LOUISIANA BLVD NE  
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CONTACT: THOMAS JOHNSTON  
PHONE: 255-2052  
ZIP CODE: 87108

CONTRACTOR: TBD  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

**CHECK TYPE OF SUBMITTAL:**

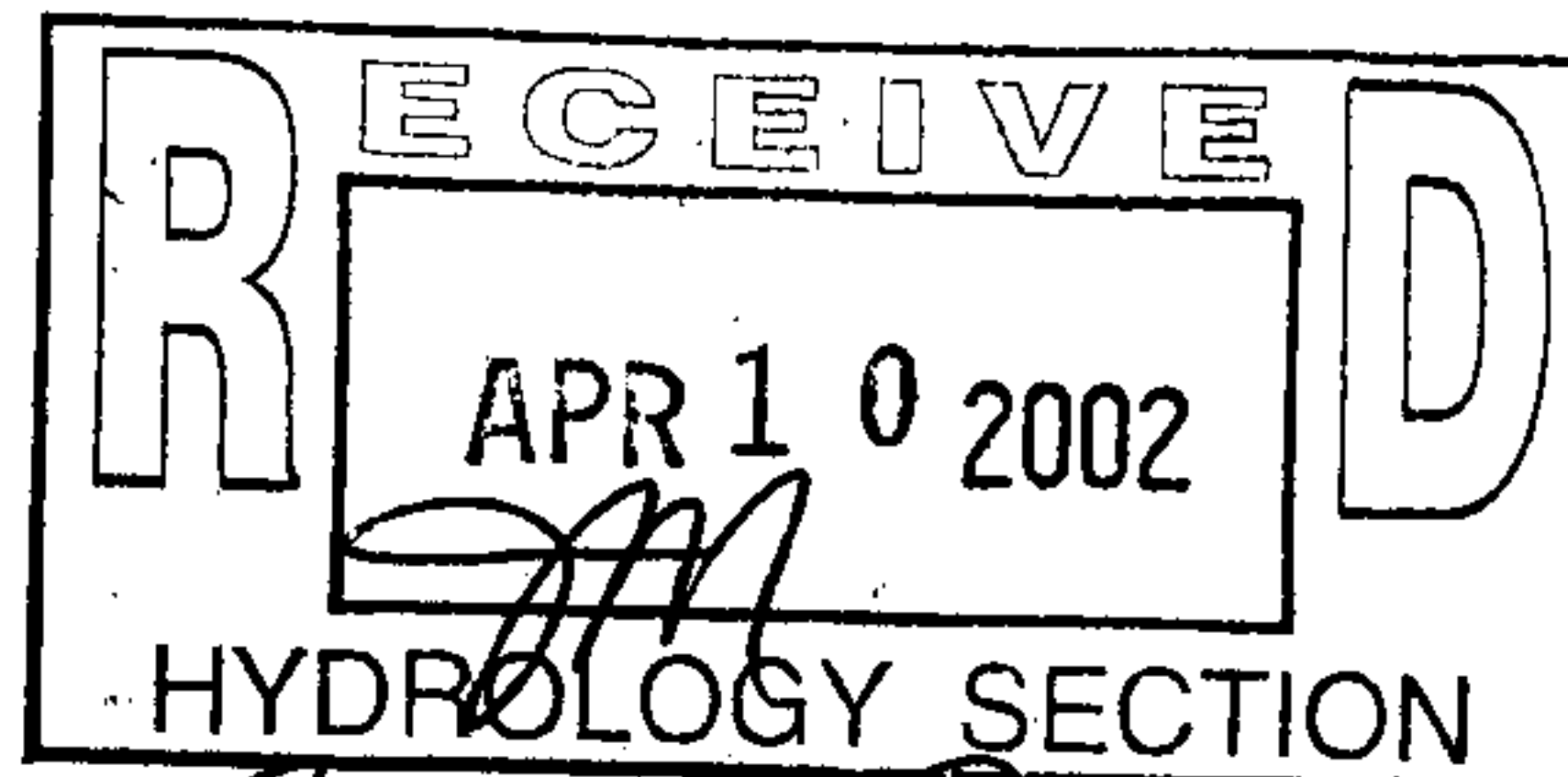
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- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

**CHECK TYPE OF APPROVAL SOUGHT:**

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
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- ☐ OTHER (SPECIFY)

**WAS A PRE-DESIGN CONFERENCE ATTENDED:**

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: 4/10/02 BY: THOMAS D. JOHNSTON

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5)
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or

4/16/02 - Diss'd TCL; 4/17 - old ~~Arch Engr.~~  
7 - Graded

April 10, 2002

Mr. Mike Zamora:  
City of Albuquerque Public Works Department  
Transportation Development Services Section  
PO Box 1293  
Albuquerque, NM 87103

RE: TCL Submittal for Building Permit Approval Esperanza Fine Furniture  
301 Rio Grande Blvd. NW (J13/D074)

Dear Mr. Zamora:


I am attaching a copy of the architect's site plan in addition to our Traffic Circulation Layout. I believe that the site plan should address the majority of comments dated March 21, 2002, submitted to us.

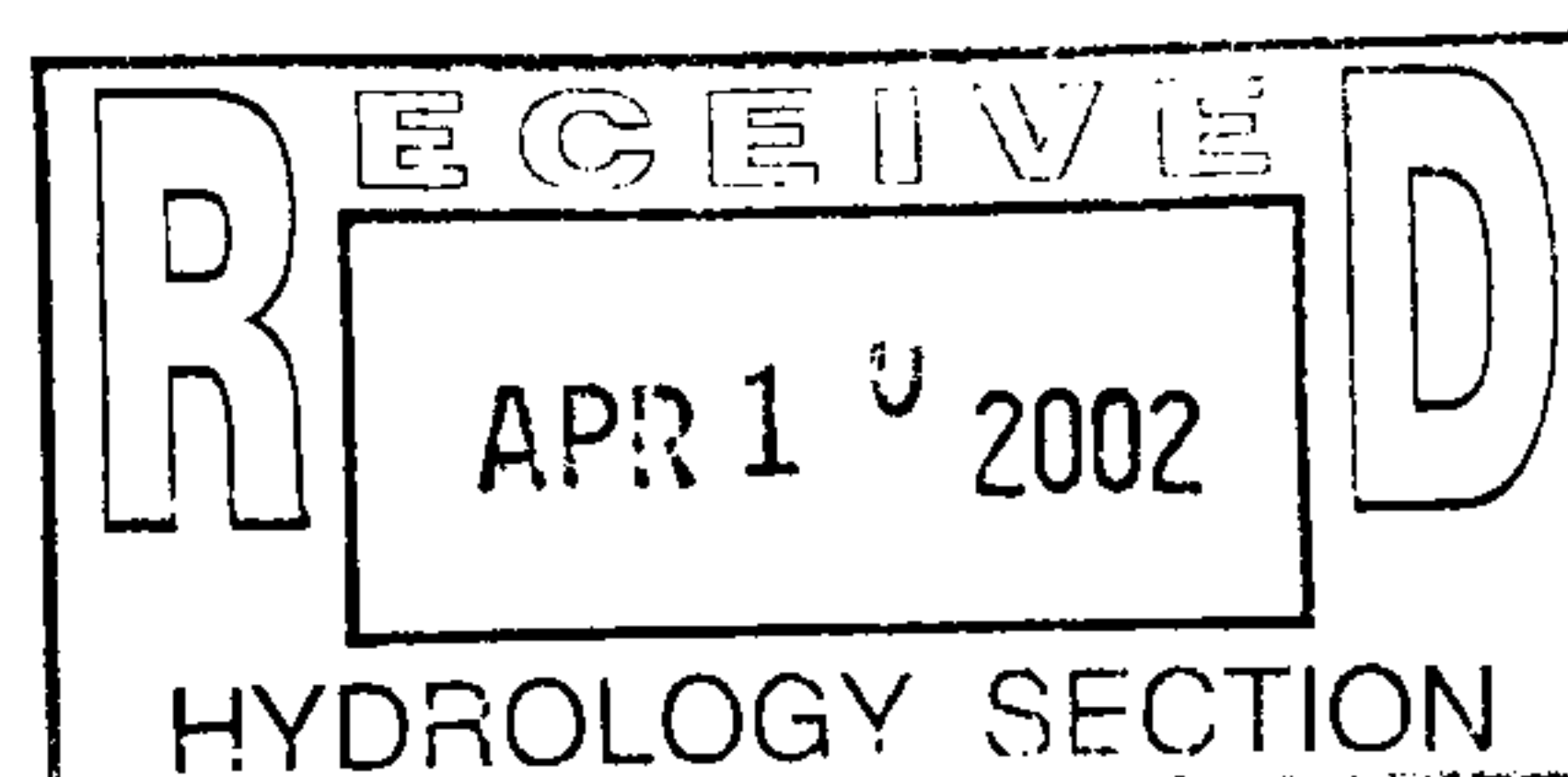
I spoke with Mr. Will Carrillo of Carrillo-Simons Architecture on Friday, April 5, 2002. Mr. Carrillo indicated that he had spoken with traffic regarding this matter. As you can see, space is at a premium on this site. Mr. Carrillo has indicated that the current layout should satisfy the conditions required for the site. In addition, Mr. Mark Gonzales, the owner-builder, has secured a reciprocal ingress/egress, parking and storm water flow easement for the subject property and the adjacent property to the north. A copy of the recorded easement is attached to each of the four copies of the revised TCL.

For your information, the boundary line of the property was incorrectly located on the previous submittal. The proper location of the boundary line is now indicated on the revisions. I have also included the zoning and parking information on the submittal. The proposed building on the site will be abutting the existing building on the adjacent property. However, the existing building is on the property line, so no replat should be necessary. If possible, we would like to request a variance from the standard driveway apron opening, since the existing drivepad is substandard in regards to the DPM. Increasing the size of the drivepad would cause clear sight triangle problems with proposed parking, and it would further restrict the property site plan layout.

Feel free to contact Mr. David Gatterman, PE, or myself at 266-7256 if you have any questions regarding this matter.

Regards,

  
Thomas D. Johnston, EI  
TGC Engineering, Inc.





**GRANT OF EASEMENTS FOR RECIPROCAL INGRESS AND EGRESS,  
PARKING AND STORM SURFACE FLOWS**

THIS EASEMENT AGREEMENT MADE THIS 9<sup>TH</sup> DAY OF APRIL, 2002, BY AND BETWEEN JOSEPH A. GONZALES, ("PARTY OF THE FIRST PART") BEING OWNER OF LOT NUMBERED ONE, OF THE J. ROMERO ADDITION NO. 2, AND JOSEPH A. GONZALES, ("PARTY OF THE SECOND PART") BEING OWNER OF TRACT NUMBERED 266-B-2 OF THE MIDDLE RIO GRANDE CONSERVANCY DISTRICT MAP No. 38;

THE "PARTY OF THE FIRST PART" AND THE "PARTY OF THE SECOND PART" DO HEREBY GRANT UNTO EACH OTHER PERPETUAL RECIPROCAL INGRESS, EGRESS, AND PARKING EASEMENT FOR THE BENEFIT OF SAID OWNER(S) OVER AND ACROSS SAID AFOREMENTIONED PROPERTIES;

ALSO, THE "PARTY OF THE FIRST PART" GRANTS TO THE "PARTY OF THE SECOND PART" AN EASEMENT TO CONVEY STORM SURFACE RUNOFF AND ANY OTHER OFFSITE FLOWS FROM AFOREMENTIONED TRACT 266-B-2 OVER AND ACROSS THE PROPERTY LINE OF LOT ONE AND TO THE RIGHT-OF-WAY OF HOLLYWOOD AVENUE, N. W.

THESE EASEMENTS ARE BINDING UPON THE AFOREMENTIONED OWNER(S) OF SAID PROPERTIES, THEIR HEIR(S) AND ASSIGN(S), AND WILL CONTINUE TO RUN WITH SAID PROPERTIES AND SHALL INURE TO THEIR BENEFIT(S).

JOSEPH A. GONZALES, OWNER OF ABOVE REFERENCED LOT NO. 1, J. ROMERO ADDITION NO. 2, AND TRACT NO. 266-B-2, OF THE MIDDLE RIO GRANDE CONSERVANCY DISTRICT PROPERTY MAP NO. 38.

BY: \_\_\_\_\_

Joseph A. Gonzales

STATE OF NEW MEXICO )

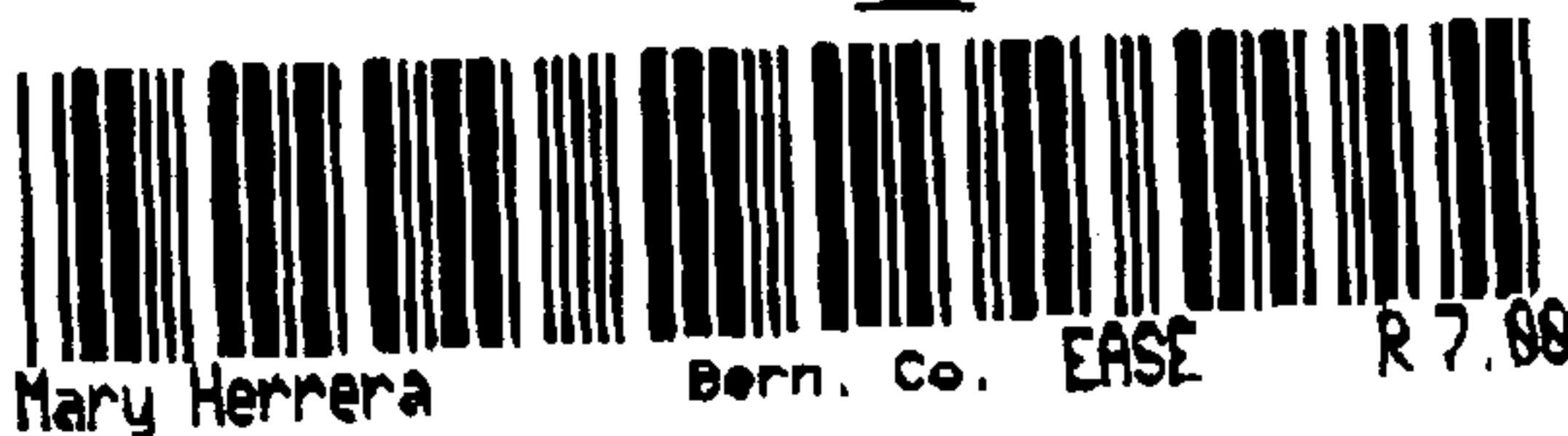
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COUNTY OF BERNALILLO)

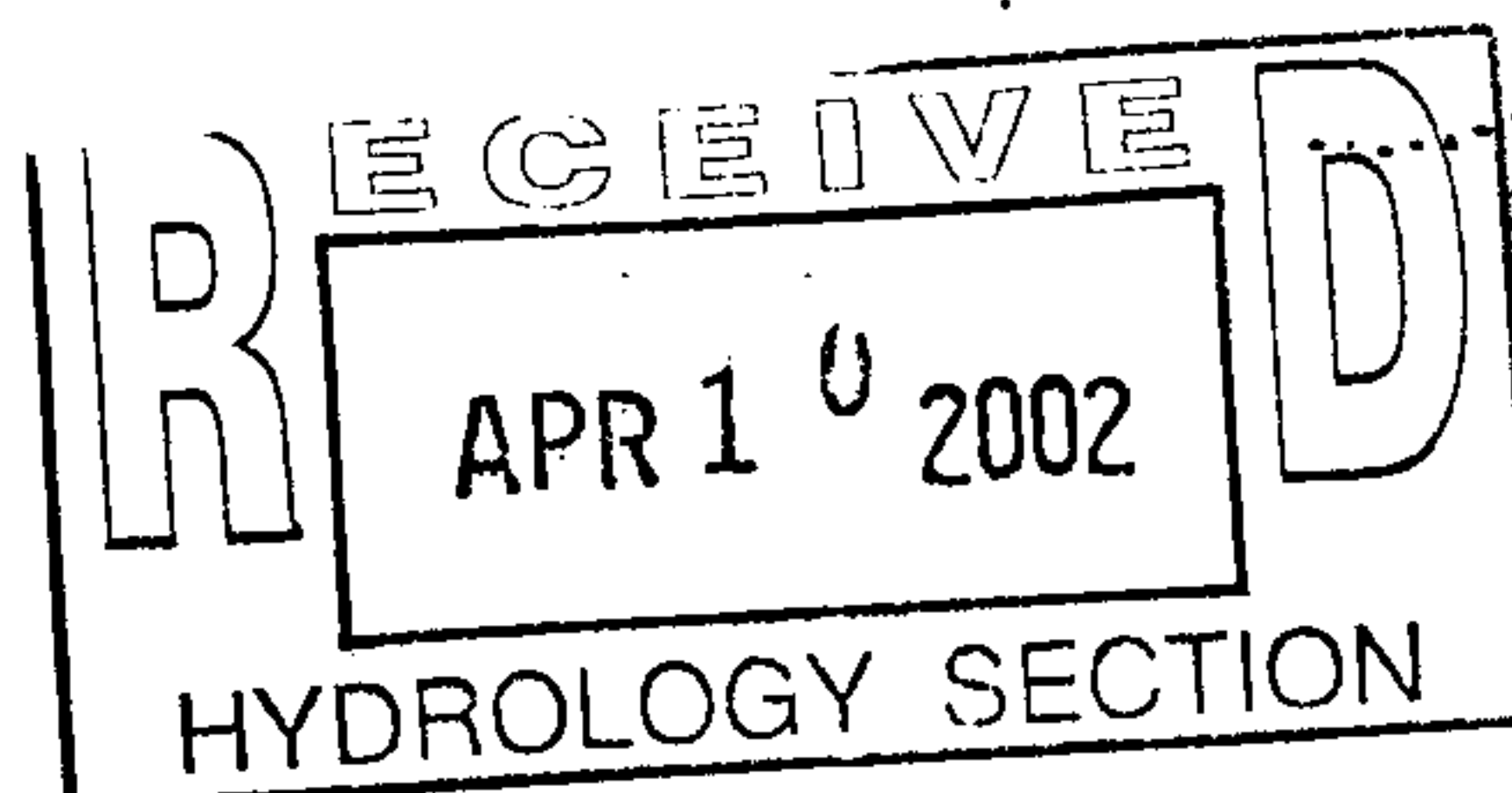
THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THIS 9<sup>th</sup> DAY OF APRIL, 2002, BY JOSEPH A. GONZALES.

Mary P. Jones  
Notary Public

My commission expires: 6-29-04



2002046090  
5653144  
Page: 1 of 1  
84/09/2002 02:54P  
Bk-R34 Pg-5974





# City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

## Public Works Department Transportation Development Services Section

March 21, 2002

Thomas Johnston for David Gatterman, P.E.  
TGC Engineering  
330 Louisiana N.E.  
Albuquerque, NM 87108-2062

Re: TCL Submittal for Building Permit Approval for  
Esperanza Fine Furniture - [J13 / D074]  
303 Rio Grande Blvd. N.W.,  
Engineer's Stamp Dated 03/09/02

Dear Mr. Johnston:

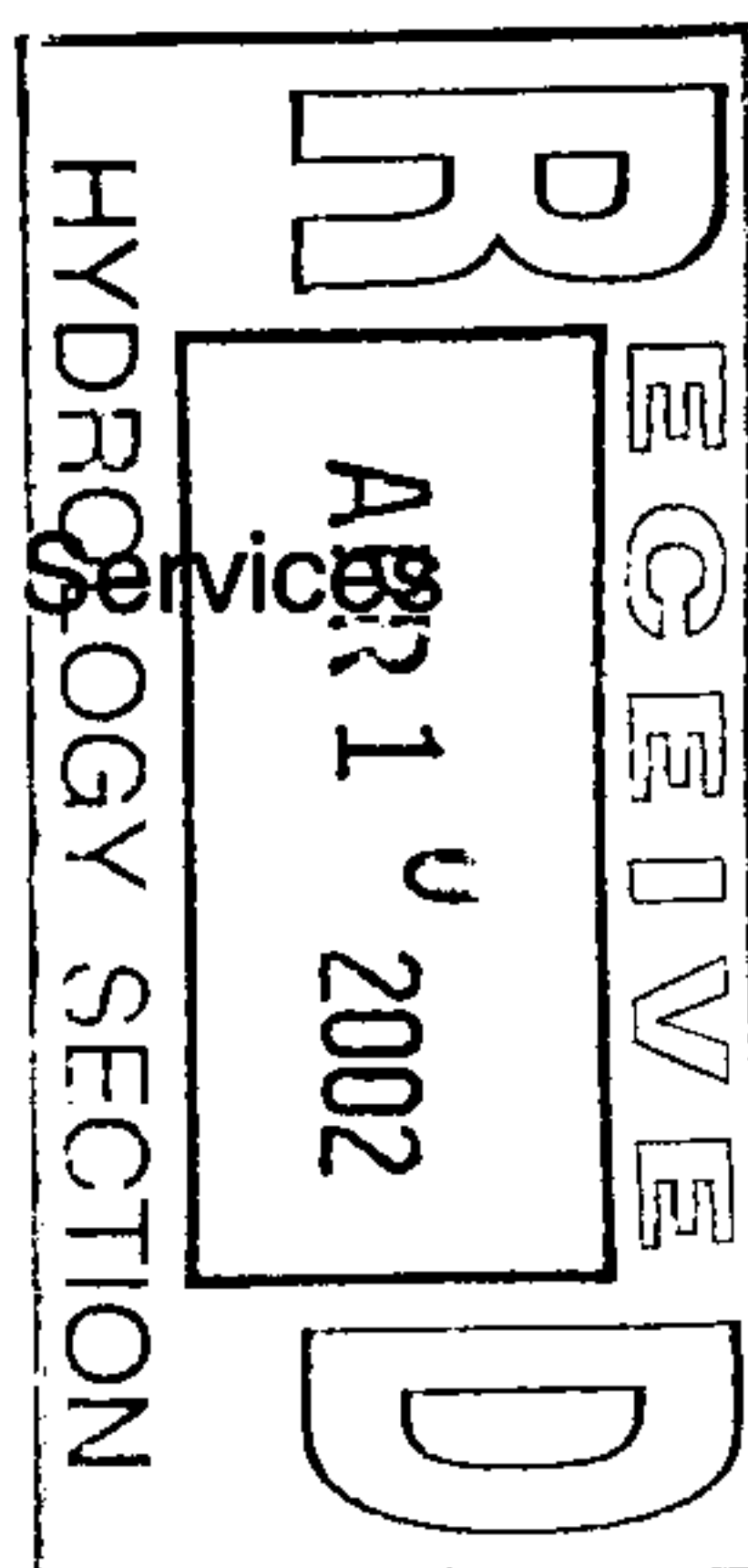
The location referenced above, dated March 11, 2002, is not acceptable and requires modification to the Traffic Circulation Layout (TCL) prior to Building Permit release as stated on the attached PRELIMINARY TCL checklist, and red-lined TCL markup with comments. Completion of some comments will allow further evaluation of that concern. To aid in reading the markup of the TCL, regarding property concerns – if two lots are involved in this development a replat of these parcels, into one, will be required. If only one lot is involved, a recorded cross access easement will be required to allow passage from south lot to north lot. New building being constructed is non-compliant by partially being constructed on other lot and setback is required by Zoning. Verbal confirmation from Zoning is needed.

Please resubmit revised TCL after addressing typed and marked up comments. Submit plan along with checklist and all current and past red-lined, mark-up copies.

Sincerely,

Mike Zamora  
Commercial Plan Checker  
Development and Building Services  
Public Works Department

c: Engineer  
Hydrology file  
Mike Zamora





(1) 4-21-02  
T 21-11-02  
U 21-11-02

# TRAFFIC CIRCULATION LAYOUT SITE PLAN CHECKLIST

REVISED DRAFT 9/18/01

The City Zoning Code requires the design of access and circulation for parking areas and drive through facilities to be satisfactory to the Traffic Engineer. The design of these parking areas is a melding of a number of objectives of a development including safety, efficiency, aesthetics, etc. From a vehicular transportation point of view, one of the most critical areas of concern is the location and manner of access from the adjacent street. The interface of the development adjacent to these areas also plays a major role in how safely and efficiently they operate. These guidelines for the layout of the parking areas represent engineering design standards that will result in good operational and safety characteristics. However, with the many variables in design and unique characteristics that can be encountered, the designer may need to investigate other means of satisfying desirable operational and safety characteristics. Prior to embarking on a design for these unusual conditions, the designer should contact the Traffic Engineer to reach agreement on the modifications to these guidelines. Traffic Circulation Layout (TCL) Site Plans are required for commercial and institutional buildings, multi-family residential buildings and commercial additions of 500 square feet or more.

NOTE: The following checklist is intended to be used as a guide for preparing your Traffic Circulation Layout Plan to meet any or all of the traffic requirements. It is only a guide. Some items may not be applicable to your particular project; some items may require more detail.

## I. General Information:

- ✓ A. Completed Drainage/TCL Information Sheet-(DPM Volume 1, Chapter 17)
- ✓ B. Planning History-Relationship to approved site plans, masterplans, and/or sector plans site
- C. Description:
  - ✓ 1. Vicinity map (zone atlas map) showing location of the development in relation to well-known landmarks, municipal boundaries and zone atlas map index number
  - ✓ 2. Address and legal description or copy of current plat
  - ✓ 3. All requests for variances from policies, ordinances or resolutions which are necessary to implement this plan must be specifically identified
  - ✓ 4. Type of development (restaurants, banks, convenience markets, service station, super markets, auto car wash, etc.)
  - ✓ 5. Size of development
  - ✓ 6. Parking spaces required by Zoning Code or prior EPC approved Site Development Plan - *Need to see Parking Required/Provide per Zoning*
  - ✓ 7. Executive Summary-Provide a brief yet comprehensive discussion of the following:
    - ✓ a. General project location
    - ✓ b. Development concept for the site
    - ✓ c. Traffic circulation concept for the site
    - ✓ d. Impact on the adjacent sites - *intersection of site to the north*
    - ✓ e. Reference any applicable Traffic Impact Studies (TIS) or previously approved plans
    - ✓ f. Variance required to accommodate unusual site constraints

✓ - checked 4/15/02 review.

✓ - ITEM IS ACCEPTABLE

② - ITEM NEEDS COMPLETION

3. - N/A

4. - ITEM IN THE SUBSECTION NEEDS COMPLETION OR DESIGNER MUST CONSIDER THE ITEM.



## II. Plan Drawings:

- A. Professional Architect's/Engineer's stamp with signature and date
- B. Drafting standards: (Reference City Standards, DPM Volume 2, Chapter 27)
  - 1. North Arrow
  - 2. Scales-recommended engineer scales:
    - a. 1" = 20' for sites less than 5 acres
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  - 3. Legend-see DPM manual, Volume 2, Tables 27.3a-27.3d for recommended standard symbols
  - 4. Plan drawings size: 24" x 36"
  - 5. Notes defining ~~property line~~, ~~rights of-way~~, ~~signs~~, ~~street lights~~, ~~fire hydrants~~, ~~medians~~, ~~water meter boxes~~, ~~pavement limits and types~~, ~~sidewalks~~, ~~landscape areas~~, ~~project limits~~, and all other areas whose definition would increase clarity

### C. ~~New~~ Existing Conditions:

- 1. On-site
  - a. Identification of all ~~existing~~ buildings, ~~doors~~, ~~structures~~, ~~sidewalks~~, ~~curbs~~, ~~driveways~~, walls, etc., and anything that influences parking and circulation of the site *(overhead doors)*
  - Indication of all access ~~existing~~ easements and rights-of-way on or adjacent to the site with dimensions and purpose shown
- 2. Off-site
  - a. Identification of the ~~right-of-way~~ width, medians, curb cuts, ~~street widths~~, etc. (both sides of street) *street sidewalks*

- D. ~~NEW~~ Conditions: ~~NEW~~ conditions should generally be superimposed on the drawings showing existing on-site and off-site conditions. Separate sheets may be used for on-site and off-site areas depending upon circumstances.

- 1. On-site
  - a. Indication of all proposed access easements and rights-of-way on or adjacent to the site with dimensions and purpose shown
  - b. Slopes
    - (1) Parking areas 1% min to 8% max
    - (2) Parking areas adjacent to major circulation aisles or adjacent to major entrances 1% min to 6% max
    - (3) ~~Handicap parking 1% min to 2% max~~
    - (4) Handicap ramps ~~with slope of 12:1~~ must be provided ~~in where~~ the sidewalk area where curbs intersect the pedestrian access to the building
  - c. Clearly delineate project phasing. A key map is recommended.
- 2. Parking stall sizes: (Reference City Standards, DPM, Figure 23.7.1)

e.

Circulation:

- (1) General layout dimensions: Figure 23.7.1 provides the layout relationships between parking stalls and aisle widths for ~~large and small car~~ <sup>regular</sup> parking areas
- (2) Treatment of access points-Discuss how the curb cuts and/or drivepads comply with Chapter 23, Section 6
- ~~(3)~~ Internal aisle connection:
  - ~~(a)~~ Parking lots with parking spaces, spaces greater than or equal to 100 must have landscaped islands at the ends of each row of parking
  - ~~(b)~~ Landscape island radius for passenger car is 15 feet (see DPM Figure 23.7.2)
  - ~~(c)~~ Landscape island radius for delivery trucks, fire trucks, etc. is 25 feet or larger (see DPM figure 23.7.2)
- ~~(4)~~ Maximum aisle lengths: Aisle lengths required: 300-400 feet without internal circulation between aisles
- ~~(5)~~ Sidewalk connections:
  - ~~(a)~~ ~~Provide a 4' sidewalk from the public sidewalk to the buildings within the development~~
  - ~~(b)~~ Provide a mini 5' wide sidewalk when the stall will overhang the sidewalk
  - ~~(c)~~ Clear pedestrian route accessible should be provided when the parking space may overhang the sidewalk
- (6) Curbing: Provide a min 6" or max 8" high concrete barrier curb between landscaping and parking areas and/or drive aisles
- ~~(7)~~ Fire and emergency access: Provision for access by fire and emergency vehicles needs to be in accordance with the Albuquerque Fire Plan Checking Division
- (8) Service Areas:
  - (a) Circulation: *Large Trucks*
    - 1) Design vehicle route needs to be shown
    - ~~2)~~ No truck ramps, ~~refuse~~/compactors or similar facilities permitted within circulation aisle
  - (b) No backing into or from public street allowed
  - (c) Service ~~vehicle~~ and/or refuse vehicle maneuvering must be contained on-site *Type of Vehicle?*
  - ~~(d)~~ Aisle width required:
    - ~~1)~~ Two-way traffic is 30'
    - ~~2)~~ One-way traffic is 20'



# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

March 13, 2002

David Gatterman, PE  
TGC Engineering  
330 Louisiana Blvd. NE  
Albuquerque, NM 87108

**Re: Esperanza Fine Furniture Grading and Drainage Plan  
Engineer's Stamp Dated 3-09-02, (J13/D74)**

Dear Mr. Gatterman,

Based on your submittal dated 3-11-02, the above referenced plan is approved for Building Permit.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Also, prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

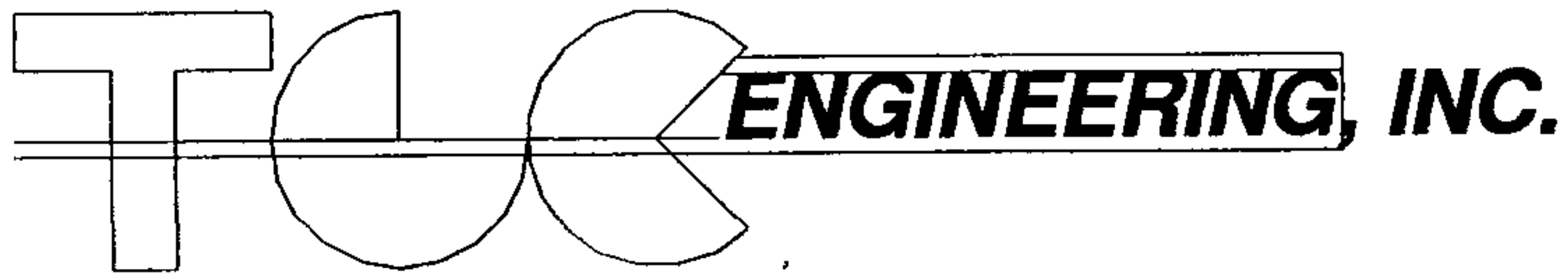
If you have any questions, you can contact me at 924-3982.

Sincerely,

Carlos A. Montoya, PE  
City Floodplain Administrator, PWD  
Development and Building Services

c: Terri Martin, Hydrology  
File (2)





330 Louisiana Blvd., N.E.  
Albuquerque, NM 87108  
Phone: (505) 266-7256  
Fax: (505) 255-2887

April 8, 2002

Teresa A. Martin  
City of Albuquerque – Hydrology  
Plaza Del Sol Building  
600 2<sup>nd</sup> Street NW  
Albuquerque, NM 87102

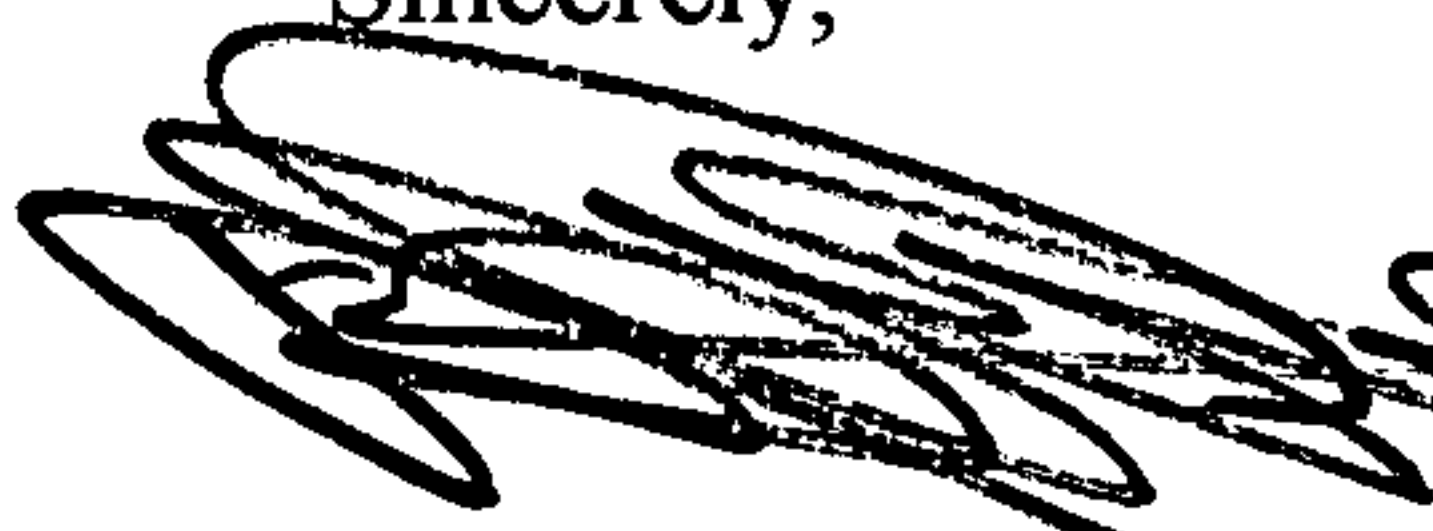
RE: Grading and Drainage Plan Check Application No. 0114630

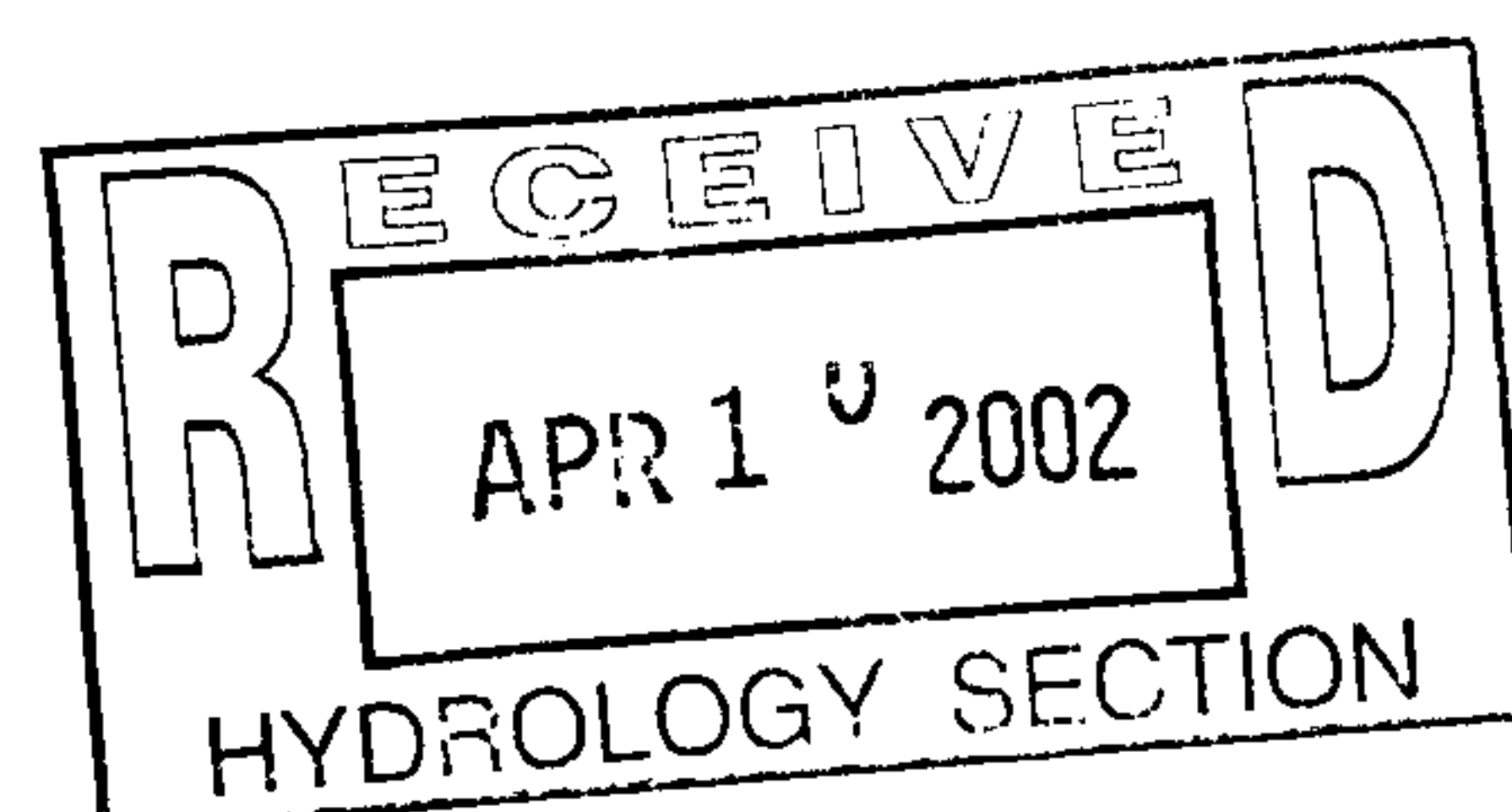
Dear Ms. Martin,

To address your comment regarding the hydrology portion of the submittal, the drawing submitted (stamped 3/16/02) was not changed from the original approved grading and drainage plan. The plan dated 3/16/02 is the same and exact hydrology plan submitted to City of Albuquerque Hydrology and dated 3/9/02. This error occurred during generation of the final drawing for submittal as part of the package, and was merely an oversight.

If you have any question, please feel free to contact either Thomas Johnston or myself at 266-7256.

Sincerely,

  
David Gatterman, PE  
TGC Engineering, Inc.



# DRAINAGE INFORMATION SHEET

(REV. 11/01/2001)

J-13/D74

PROJECT TITLE: ESPERANZA FINE FURNITURE ZONE MAP/DRG. FILE #: J-13  
DRB #: 1001437 EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: LOT 1, JESUS ROMERO NO. 2 ADDITION  
CITY ADDRESS: 301 RIO GRANDE BLVD NW

ENGINEERING FIRM: TGC ENGINEERING  
ADDRESS: 330 LOUISIANA BLVD NE  
CITY, STATE: ALBUQUERQUE NM

CONTACT: THOMAS JOHNSTON  
PHONE: 266-7256  
ZIP CODE: 87108-2062

OWNER: ESPERANZA FINE FURNITURE  
ADDRESS: 303 RIO GRANDE BLVD NW  
CITY, STATE: ALBUQUERQUE NM

CONTACT: MARK GONZALES  
PHONE: 242-6458  
ZIP CODE: 87104

ARCHITECT: CARRILLO-SIMONS ARCHITECTURE  
ADDRESS: 3916 JUAN TABO PLACE, NE  
CITY, STATE: ALBUQUERQUE NM

CONTACT: WILLIAM CARRILLO  
PHONE: 440-4960  
ZIP CODE: 87111

SURVEYOR: WAYJOHN SURVEYING, INC.  
ADDRESS: 330 LOUISIANA BLVD NE  
CITY, STATE: ALBUQUERQUE NM

CONTACT: THOMAS JOHNSTON  
PHONE: 255-2052  
ZIP CODE: 87108

CONTRACTOR: TBD  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

## CHECK TYPE OF SUBMITTAL:

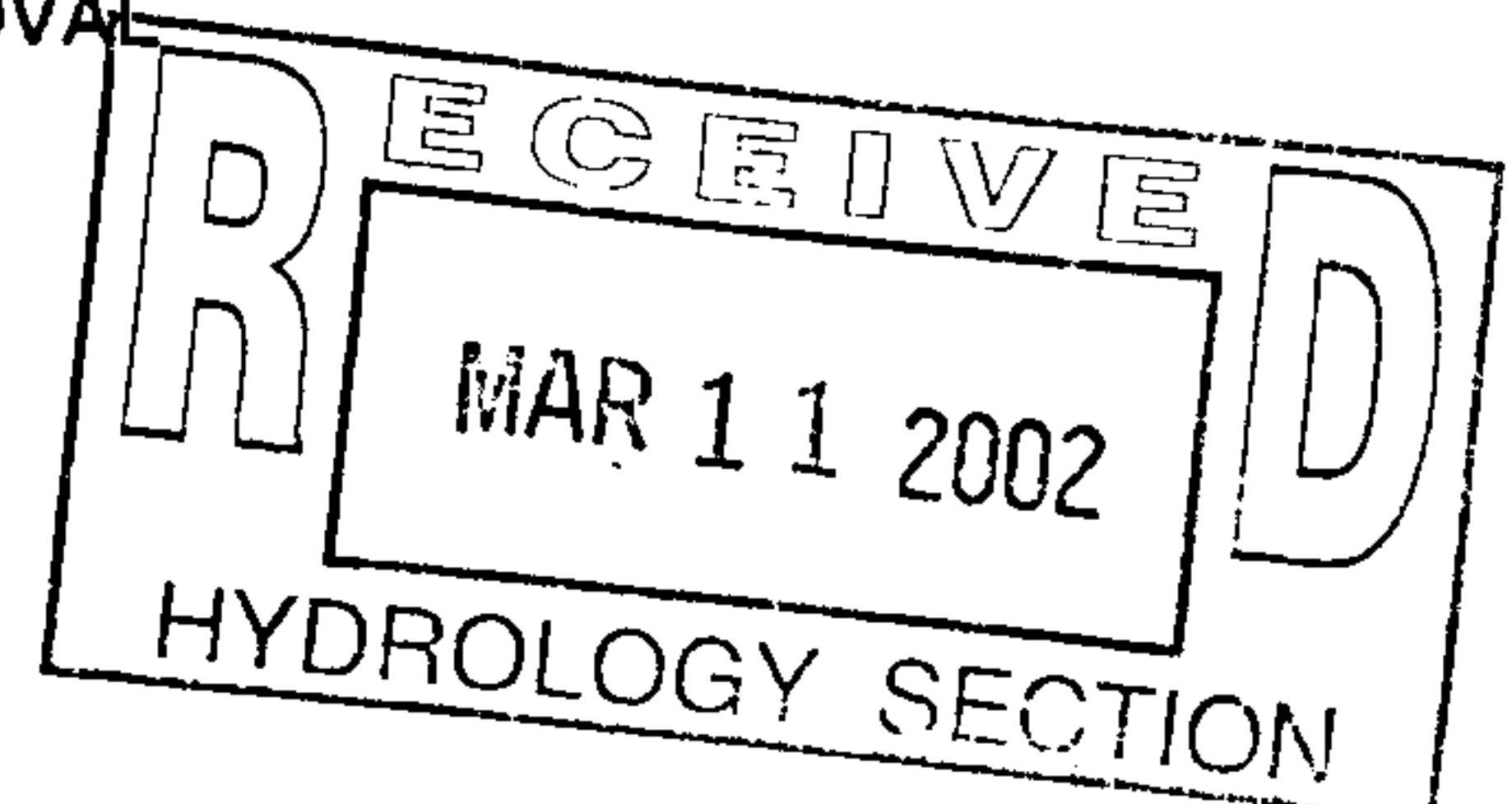
- ☒ DRAINAGE REPORT
- ☒ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☒ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

## CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
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- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

## WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
- ☒ NO
- ☐ COPY PROVIDED



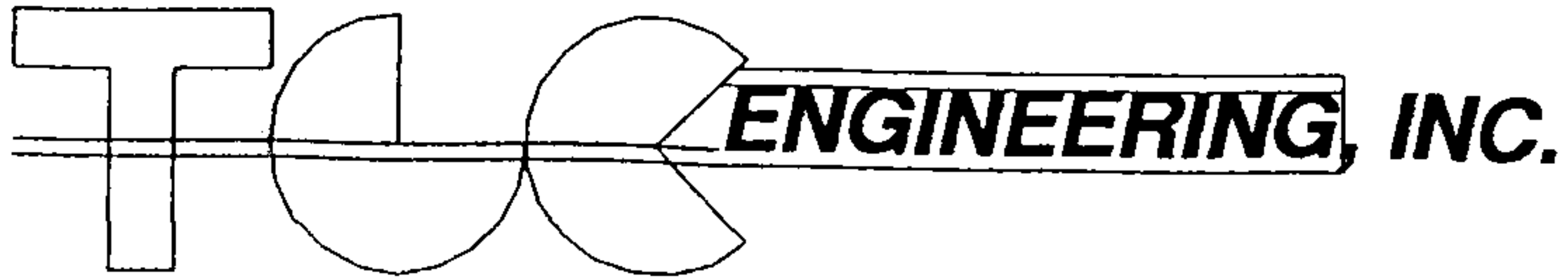
DATE SUBMITTED: 3/11/02

BY: \_\_\_\_\_

THOMAS D. JOHNSTON

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5)
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or



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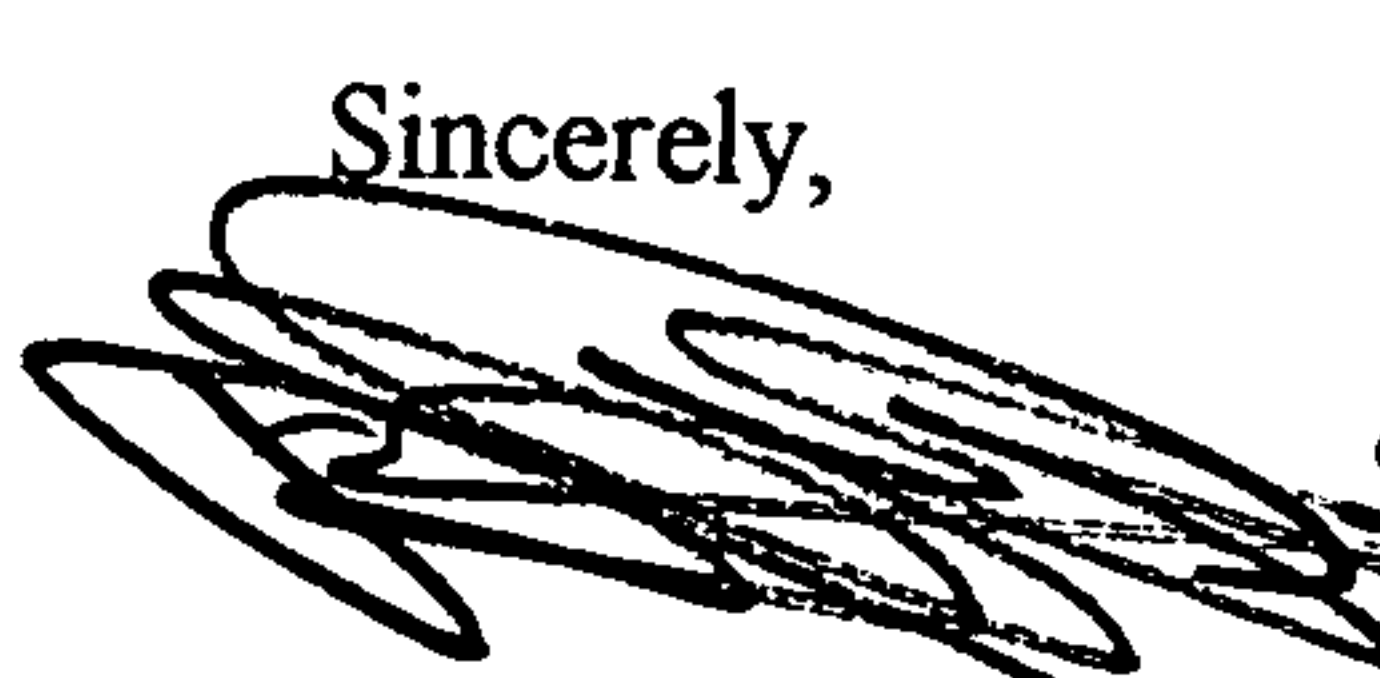
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TGC Engineering, Inc.







# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

***Public Works Department  
Transportation Development Services Section***

March 21, 2002

Thomas Johnston for David Gatterman, P.E.  
TGC Engineering  
330 Louisiana N.E.  
Albuquerque, NM 87108-2062

Re: TCL Submittal for Building Permit Approval for  
Esperanza Fine Furniture - [J13 / D074]  
303 Rio Grande Blvd. N.W.,  
Engineer's Stamp Dated 03/09/02

Dear Mr. Johnston:

The location referenced above, dated March 11, 2002, is not acceptable and requires modification to the Traffic Circulation Layout (TCL) prior to Building Permit release as stated on the attached PRELIMINARY TCL checklist, and red-lined TCL markup with comments. Completion of some comments will allow further evaluation of that concern. To aid in reading the markup of the TCL, regarding property concerns – if two lots are involved in this development a replat of these parcels, into one, will be required. If only one lot is involved, a recorded cross access easement will be required to allow passage from south lot to north lot. New building being constructed is non-compliant by partially being constructed on other lot and setback is required by Zoning. Verbal confirmation from Zoning is needed.

Please resubmit revised TCL after addressing typed and marked up comments. Submit plan along with checklist and all current and past red-lined, mark-up copies.

Sincerely,

Mike Zamora  
Commercial Plan Checker  
Development and Building Services  
Public Works Department

c: Engineer  
Hydrology file  
Mike Zamora

# DRAINAGE INFORMATION SHEET

(REV. 11/01/2001)

J-131074

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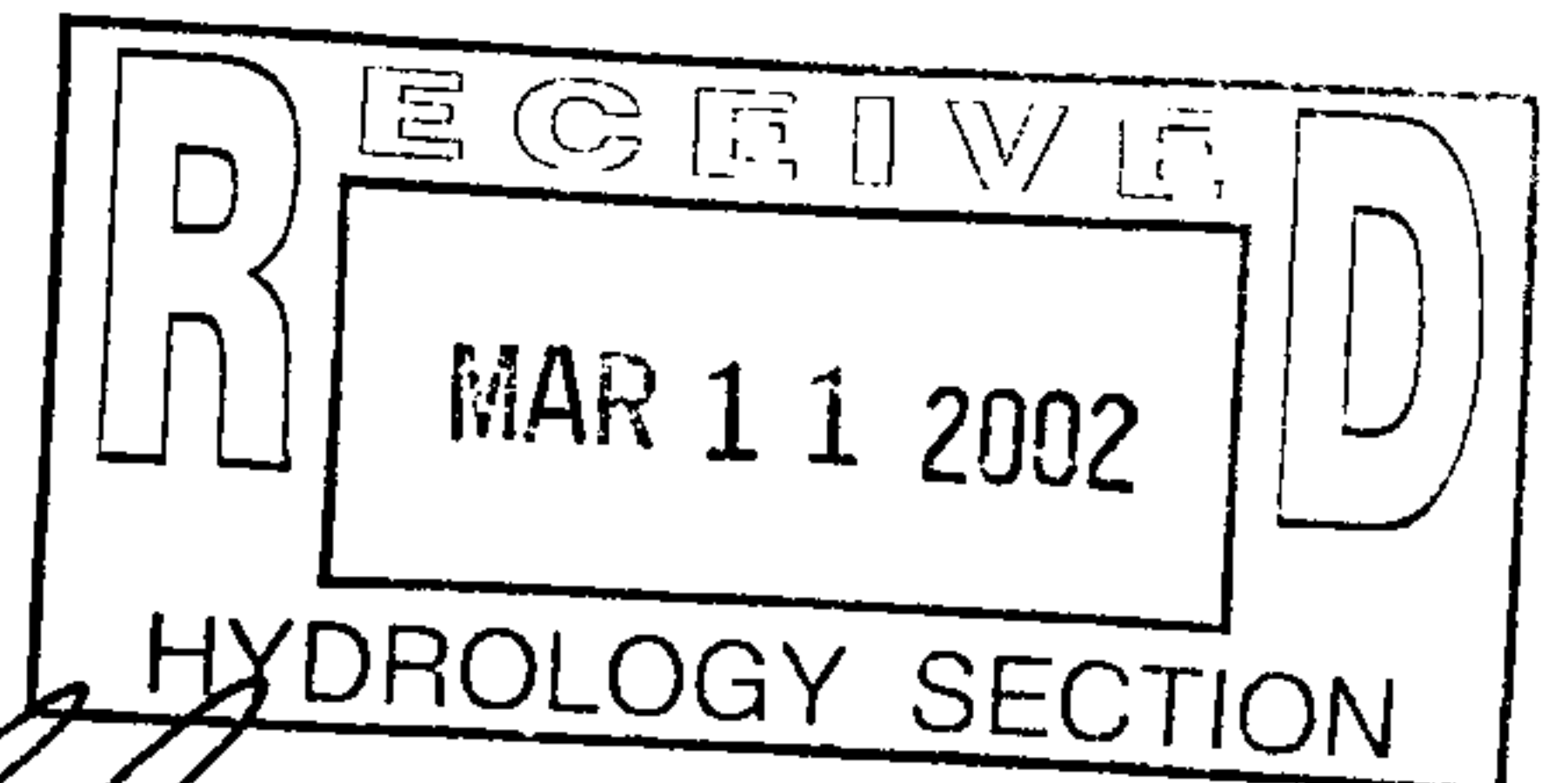
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- ☒ YES
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DATE SUBMITTED: 3/11/02

BY:

THOMAS D. JOHNSTON



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3/21/02 - Diss'd T.C.L.; 3/21 - CD Arch, L.M.M.; - logge den.



(11-4)  
T-1, A11?  
U-1111  
7-2-2

# TRAFFIC CIRCULATION LAYOUT SITE PLAN CHECKLIST

REVISED DRAFT 9/18/01

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✓ - ITEM IS ACCEPTABLE  
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