CITY OF ALBUQUERQUE

Planning Department Alan Varela, Director



Mayor Timothy M. Keller

April 13, 2023

Ronald R. Bohannan, PE Tierra West LLC 5571 Midway Park Place NE Albuquerque, NM 87109

Re: Sawmill Tract J 800 20TH St. NW Traffic Circulation Layout Engineer's Stamp 02-28-23 (J13-D076B)

Dear Mr. Bohannan,

Based upon the information provided in your submittal received 03-24-23, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

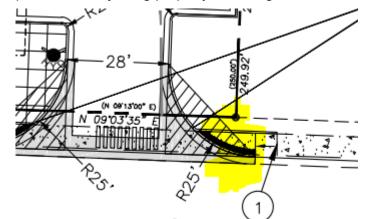
- 1. Identify all existing access easements and rights of way width dimensions.
- 2. Is there any basement or second floor parking spaces? If so, please provide a site plan showing all the proposed parking spaces, details and dimensions.
 - 3. The site access's east leg appears to encroach with the adjacent property. Please provide the adjoining property owner agreement.

Albuquerque

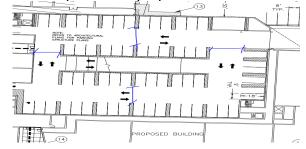
PO Box 1293

NM 87103

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- 4.
- 5. Please provide all proposed drive aisles width.



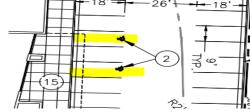
CITY OF ALBUQUERQUE

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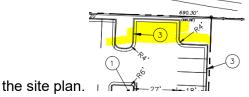


Mayor Timothy M. Keller

6. Please provide ADA aisle for all the proposed ADA parking spaces.



- 7. The ADA accessible spaces must include an access aisle. Van accessible aisles should be 8ft wide; all others should be 5ft wide.
- 8. The ADA access aisles shall have the words **"NO PARKING"** in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1. B NMSA 1978)
- 9. ADA curb ramps must be updated to current standards and have truncated domes installed.
- 10. Please show on the site plan the location the proposed Motorcycle parking spaces.
 - 11. The pavement marking "MC" should be shown in the opposite direction for motorcycles entering the parking space.
- 12. A 5 ft. keyway is required for dead-end parking aisles. Please show this dimension on



- 13. Per the IDO, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please clearly show this pathway and provide details.
- 14. Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from **EACH** ADA parking stall access aisles to the building entrances. Please clearly show this pathway and provide details.
- 15. Define ADA pathway by labeling ramps or flush pavemet.
- 16. ADA accessible pedestrian pathway should not be placed behind parking space or adjacent to a vehicular way. Vehicle and pedestrian/wheel chair conflicts should be avoided as much as possible.
- 17. Curbing should be installed to delineate landscape, parking, and pedestrian ways and identify points of access. Please call out detail and location of barrier curb.
- 18. Refuse vehicle maneuvering shall be contained on-site. The refuse vehicle shall not back into the public right of way.; provide a copy of refuse approval.
- 19. Provide a copy of Fire marshal approval.

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- 20. It is not apparent what type of pavement surface is being proposed. A hard driving surface will be required as part of this proposed project for parking area and drive aisles.
- 21. Please specify the City Standard Drawing Number when applicable.
- 22. Add a note stating "All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter." A build note must be provided referring to the appropriate City Standard drawing.
- 23. Please provide a letter of response for all comments given.
- 24. Traffic Studies: See the Traffic Impact Study (TIS) thresholds. In general, a minimum combination of 100 vehicles entering and exiting in the peak hour warrants a Traffic Impact Study. Visit with Traffic Engineer for determination, and fill out a TIS Form that states whether one is warranted. In some cases, a trip generation may be requested for determination (Contact Matt Grush: mgrush@cabq.gov).

PO Box 1293	Once corrections are complete resubmit 1. The Traffic Circulation Layout
	2. A Drainage Transportation Information Sheet (DTIS)
	3. Send an electronic copy of your submittal to PLNDRS@cabq.gov.
Albuquerque	4. The \$75 re-submittal fee.
	for log in and evaluation by Transportation.
NM 87103	If you have any questions, please contact me at (505) 924-3675.
	Sincerely,

www.cabq.gov

Marwa Al-najjar

Marwa Al-najjar Associate Engineer, Planning Dept. Development Review Services

\ma via: emailC: CO Clerk, File



City of Albuquerque

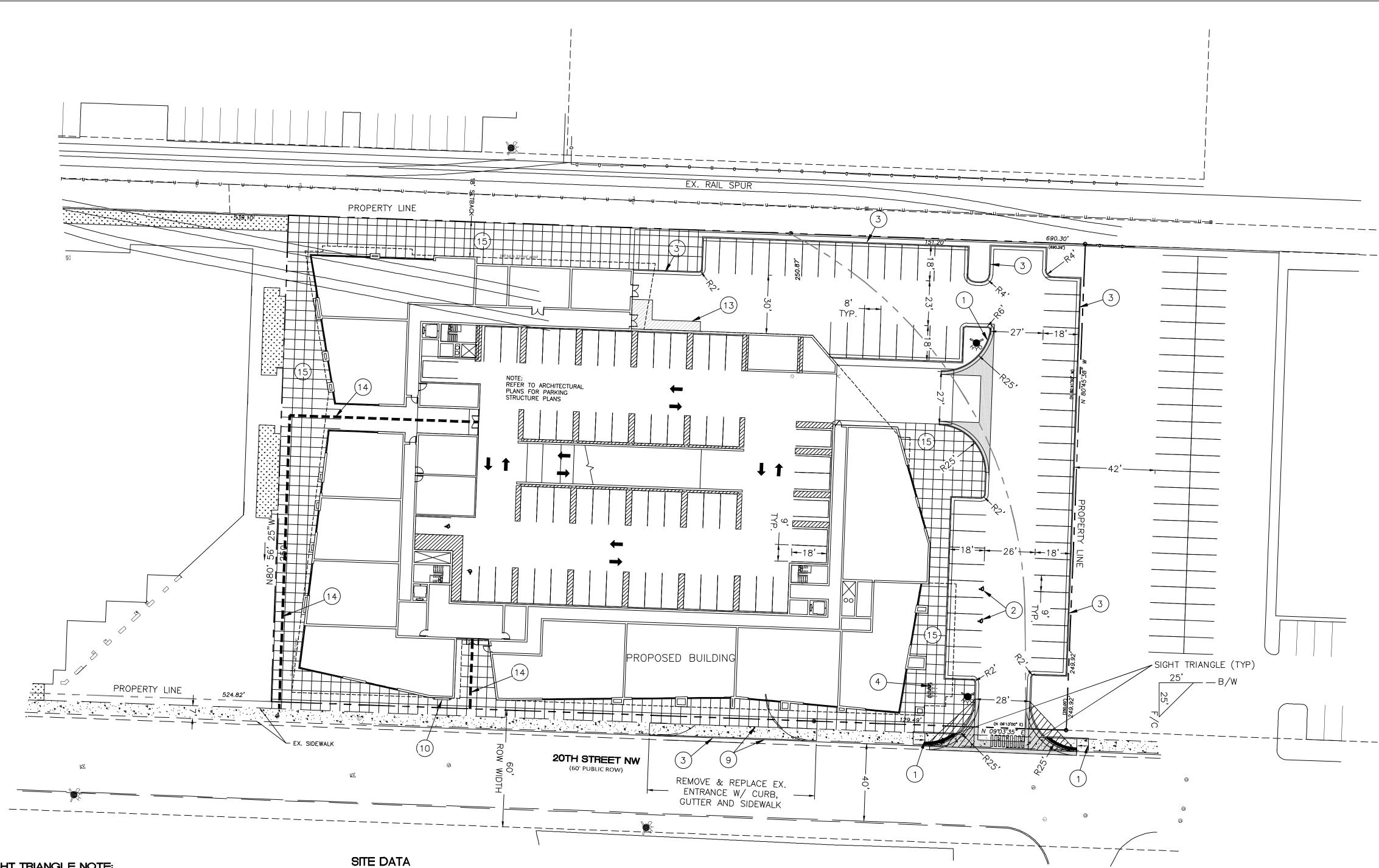
Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

Project Title: SAWMILL TRACT J Building	g Permit #	Hydrology File #
DRB#	EPC#	
DRB#	City Address	OR Parcel 101305822846022577
Applicant/Agent: Tierra West LLC	Contact: Jo	n Niski
Address: 5571 Midway Park Place NE Albuquerque, NM 87109	Obliacti	505) 858-3100
Email: JNISKI@TIERRAWESTLLC.COM		
Applicant/Owner:	Contact:	
Address:	Phone:	
Email:		
TYPE OF DEVELOPMENT:PLAT (#of lots)R] RE-SUBMITTAL:YESNO DEPARTMENT:TRANSPORTATION Check all that apply:		
		AL/ACCEPTANCE SOUGHT:
ENGINEER/ARCHITECT CERTIFICATION		PERMIT APPROVAL
PAD CERTIFICATION		ATE OF OCCUPANCY
CONCEPTUAL G&D PLAN		UAL TCL DRB APPROVAL
GRADING PLAN		ARY PLAT APPROVAL
DRAINAGE REPORT DRAINAGE MASTER PLAN		FOR SUB'D APPROVAL
	SILEPLAN	
	EINAL DL	FOR BLDG PERMIT APPROVAL
FLOOD PLAN DEVELOPMENT PERMIT APP.		AT APPROVAL
ELEVATION CERTIFICATE	SIA/RELEA	AT APPROVAL ASE OF FINANCIAL GUARANTEE
ELEVATION CERTIFICATE CLOMR/LOMR	SIA/RELEA FOUNDAT	AT APPROVAL ASE OF FINANCIAL GUARANTEE ION PERMIT APPROVAL
ELEVATION CERTIFICATE CLOMR/LOMR TRAFFIC CIRCULATION LAYOUT (TCL)	SIA/RELEA FOUNDAT GRADING	AT APPROVAL ASE OF FINANCIAL GUARANTEE ION PERMIT APPROVAL PERMIT APPROVAL
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ELEVATION CERTIFICATE CLOMR/LOMR TRAFFIC CIRCULATION LAYOUT (TCL) ADMINISTRATIVE TRAFFIC CIRCULATION LAYOUT FOR DRB APPROVAL TRAFFIC IMPACT STUDY (TIS)	SIA/RELEA FOUNDAT GRADING SO-19 APP PAVING PI GRADING WORK OR CLOMR/LO	AT APPROVAL ASE OF FINANCIAL GUARANTEE ION PERMIT APPROVAL PERMIT APPROVAL ROVAL ERMIT APPROVAL PAD CERTIFICATION DER APPROVAL

DATE SUBMITTED: 03.22.2023



SIGHT TRIANGLE NOTE:

LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE

PRIVATE ONSITE WORK NOTE:

ALL PROPOSED IMPROVEMENTS SHOWN INSIDE THE PROPOSED PROPERTY LINES AND EXISTING PROPERTY LINES TO REMAIN ARE DEEMED PRIVATE ONSITE WORK AND WILL REQUIRE BUILDING PERMIT AND/OR GRADING PERMIT APPROVAL TO CONSTRUCT.

PUBLIC WORK NOTE:

ALL PROPOSED IMPROVEMENTS SHOWN OUTSIDE THE PROPOSED PROPERTY LINES AND EXISTING PROPERTY LINES TO REMAIN ARE DEEMED PUBLIC OFFSITE WORK AND WILL REQUIRE DRC WORK ORDER APPROVAL TO CONSTRUCT.

PROPOSED USAGE	MIXED USE/MULT
LOT AREA	89,167 SF (2.05
ZONING	MX-H
BUILDING AREA	265,992 SF

BUILDING SETBACK

١G	SETBACK	
F	RONT	5'

15'

PARKING REQUIRED TOTAL SPACE REQUIRED

REAR

SIDE

TOTAL SPACE REQUIRED W/ 20% PARKING BONUS

TOTAL OFF STREET SPACE PROVIDED (ACTUAL) EV CHARGER STALLS PROVIDED TOTAL SPACES TO MEET REQUIREMENT SURPLUS/DEFICIT

ACCESSIBLE PARKING SPACES REQUIRED ACCESSIBLE PARKING SPACES PROVIDED

MOTORCYCLE SPACES PROVIDED 5 SPACES BICYCLE SPACES REQUIRED 30 30

BICYCLE SPACES PROVIDED

JLTI-FAMILY

.05 ACRES)

356

285

253

304

29 SURPLUS

51

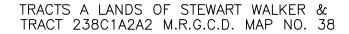
8 SPACES (2 VAN)

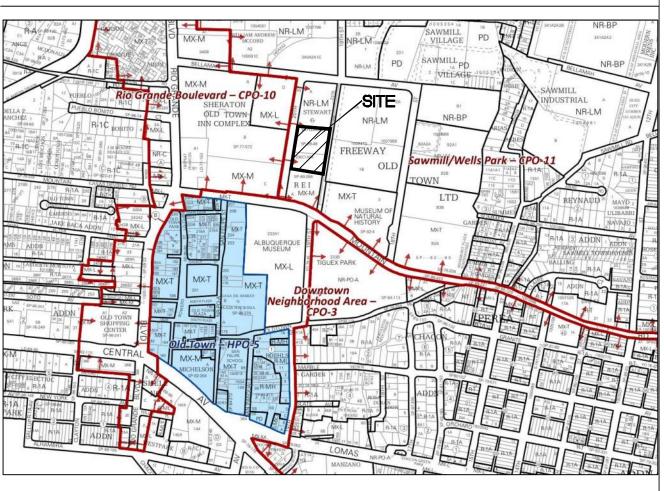
7 SPACES (3 VAN)

KEYED NOTES

- (1) UNIDIRECTIONAL ACCESSIBLE RAMP, SEE DETAIL SHEET DET-1
- (2) ACCESSIBLE PARKING PER ADA STANDARDS, SEE DETAIL SHEET DET-1
- (3) STANDARD CURB AND GUTTER PER COA STD DWG 2415A
- (4) BYCICLE RACK SEE DETAIL SHEET DET-1
- (5) MOTORCYCLE SPACE W/SIGN, SEE DETAIL SHEET DET-1
- 6 TRANSFORMER
- (7) GENERATOR
- (8) 4' PEDESTRIAN ACCESS
- (9) 6' CONCRETE WALK PER COA STD DWG 2430 FLISH WITH ASPHALT
- (10) MONUMENT SIGN
- (11) TRASH DUMPSTER W/RECYCLE DUMPSTER TO BE ROLLED OUT TO ACCESS ROAD FOR SERVICE

- (12) SITE LIGHTING (TYP), SEE DETAIL SHEET DET-2
- (13) LOADING AREA
- (14) ADA PUBLIC ACCESS PATHWAY
- (15) NEW PEDESTRIAN SIDEWALK PER COA STD DWG 2430





VICINITY MAP

J-**13Z**

PROJECT NUMBER: **APPLICATION NUMBER**

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____, and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

PLANNING	Date
TRANSPORTATION DEVELOPMENT	Date
UTILITY DEVELOPMENT	Date
CITY ENGINEER	Date
PARKS & RECREATION	Date
AMAFCA	Date
CODE ENFORMENT	Date
HYDROLOGY	Date



(IN FEET) 1 inch = 30 ft.

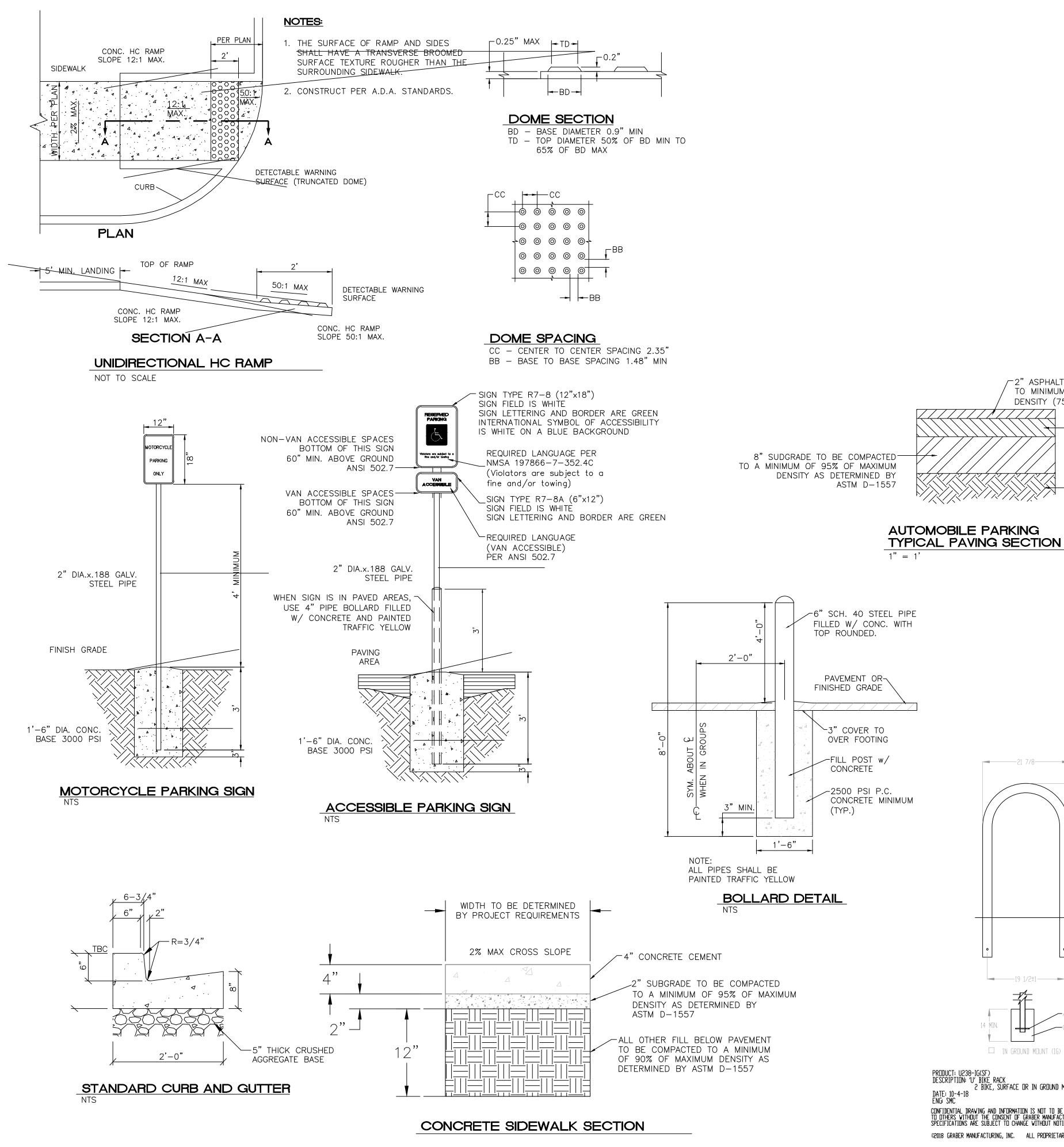
CURB & GUTTER ----- BOUNDARY LINE ---- RIGHT-OF-WAY BUILDING PROPOSED SIDEWALK ========== EXISTING CURB & GUTTER [<u>,,,,,,,,,,,,,,,,</u>] LANDSCAPING

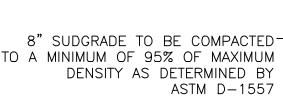
LEGEND

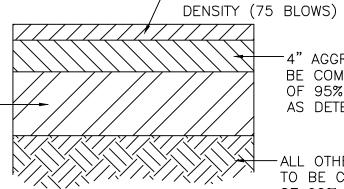
Ċ. SITE LIGHTING - 6' TALL FENCE ADA ROUTE VALET PARKING (\mathbf{v})

ENGINEER'S SEAL		
NALD R. BOHANNAL	CONCEPTUAL TRAFFIC	<i>DATE</i> 03–15–23
	CIRCULATION LAYOUT	DRAWING
Ron I Com		SHEET #
02–28–2023 RONALD R. BOHANNAN P.E. #7868	TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109	SP-1
	(505) 858—3100 www.tierrawestllc.com	<i>JOB #</i> 2022136

GRAPHIC SCALE







ALL OTHER FILL BELOW PAVEMENT TO BE COMPACTED TO A MINIMUM OF 90% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D-1557

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1.80

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1.8Ò

1.80

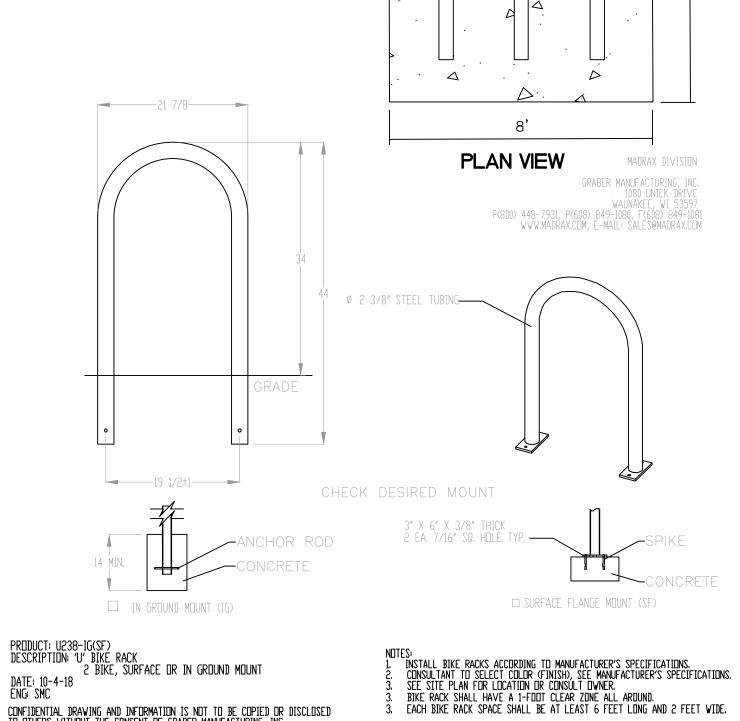
A A A

-4" AGGREGATE BASE COURSE TO

AS DETERMINED BY ASTM D-1557

BE COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY

-2" ASPHALTIC CONCRETE TO BE COMPACTED TO MINIMUM OF 96% OF MAXIMUM MARSHALL



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> BIKE RACK DETAIL SCALE: NONE

