

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

April 13, 2023

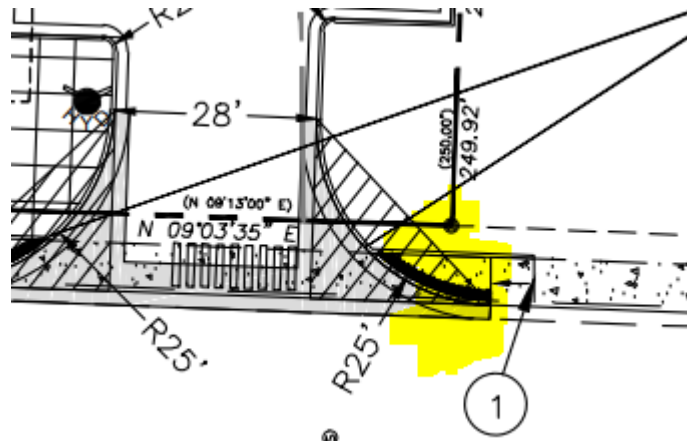
Ronald R. Bohannon, PE
Tierra West LLC
5571 Midway Park Place NE
Albuquerque, NM 87109

Re: Sawmill Tract J
800 20TH St. NW
Traffic Circulation Layout
 Engineer's Stamp 02-28-23 (J13-D076B)

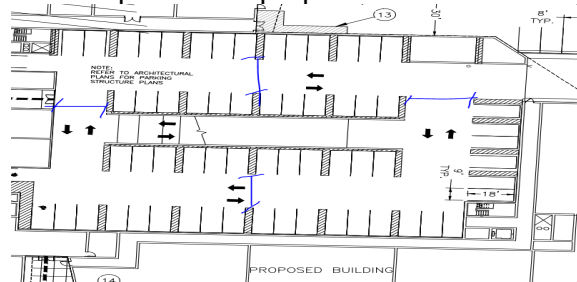
Dear Mr. Bohannon,

Based upon the information provided in your submittal received 03-24-23, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Identify all existing access easements and rights of way width dimensions.
2. Is there any basement or second floor parking spaces? If so, please provide a site plan showing all the proposed parking spaces, details and dimensions.
3. The site access's east leg appears to encroach with the adjacent property. Please provide the adjoining property owner agreement.



5. Please provide all proposed drive aisles width.



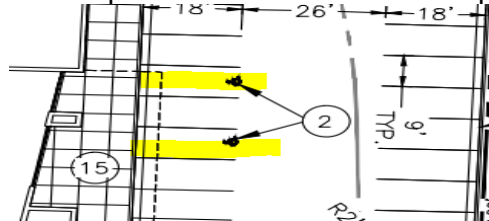
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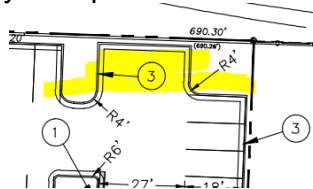


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6. Please provide ADA aisle for all the proposed ADA parking spaces.



7. The ADA accessible spaces must include an access aisle. Van accessible aisles should be 8ft wide; all others should be 5ft wide.
8. The ADA access aisles shall have the words **"NO PARKING"** in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1. B NMSA 1978)
9. ADA curb ramps must be updated to current standards and have truncated domes installed.
10. Please show on the site plan the location the proposed Motorcycle parking spaces.
11. The pavement marking "MC" should be shown in the opposite direction for motorcycles entering the parking space.
12. A 5 ft. keyway is required for dead-end parking aisles. Please show this dimension on



the site plan.

13. Per the IDO, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please clearly show this pathway and provide details.
14. Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from **EACH** ADA parking stall access aisles to the building entrances. Please clearly show this pathway and provide details.
15. Define ADA pathway by labeling ramps or flush pavement.
16. ADA accessible pedestrian pathway should not be placed behind parking space or adjacent to a vehicular way. Vehicle and pedestrian/wheel chair conflicts should be avoided as much as possible.
17. Curbing should be installed to delineate landscape, parking, and pedestrian ways and identify points of access. Please call out detail and location of barrier curb.
18. Refuse vehicle maneuvering shall be contained on-site. The refuse vehicle shall not back into the public right of way.; provide a copy of refuse approval.
19. Provide a copy of Fire marshal approval.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

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20. It is not apparent what type of pavement surface is being proposed. A hard driving surface will be required as part of this proposed project for parking area and drive aisles.
21. Please specify the City Standard Drawing Number when applicable.
22. Add a note stating "All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter." A build note must be provided referring to the appropriate City Standard drawing.
23. Please provide a letter of response for all comments given.
24. Traffic Studies: See the Traffic Impact Study (TIS) thresholds. In general, a minimum combination of 100 vehicles entering and exiting in the peak hour warrants a Traffic Impact Study. Visit with Traffic Engineer for determination, and fill out a TIS Form that states whether one is warranted. In some cases, a trip generation may be requested for determination (**Contact Matt Grush: mgrush@cabq.gov**).

Once corrections are complete resubmit

1. The Traffic Circulation Layout
2. A Drainage Transportation Information Sheet (DTIS)
3. Send an electronic copy of your submittal to PLNDRS@cabq.gov.
4. The \$75 re-submittal fee.

for log in and evaluation by Transportation.

If you have any questions, please contact me at (505) 924-3675.

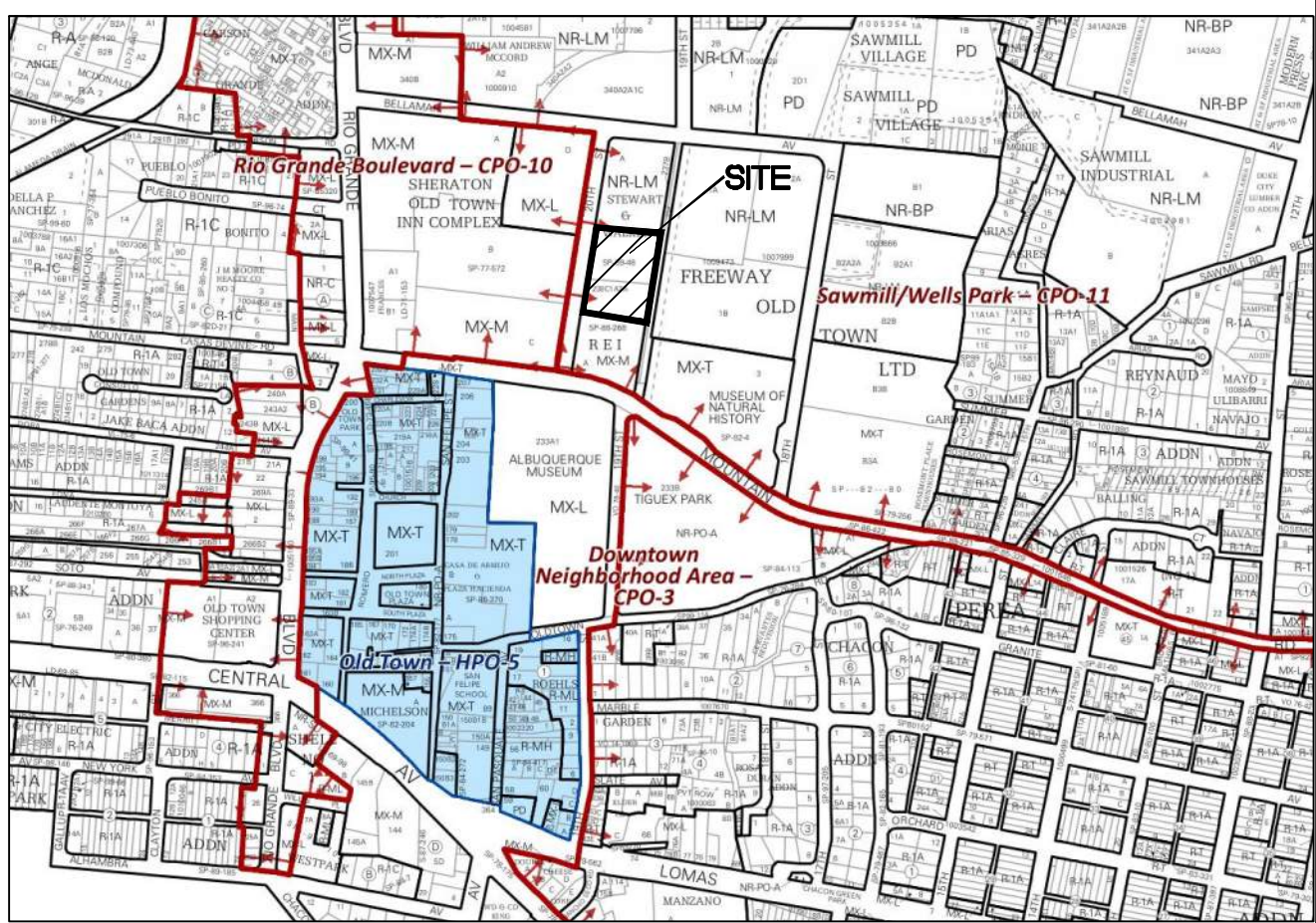
Sincerely,

Marwa Al-najjar

Marwa Al-najjar
Associate Engineer, Planning Dept.
Development Review Services

\ma via: email
C: CO Clerk, File

DATE SUBMITTED: 03.22.2023



VICINITY MAP J-13Z

PROJECT NUMBER: _____
APPLICATION NUMBER: _____

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

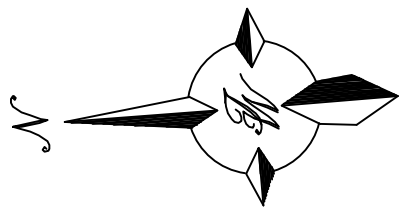
Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

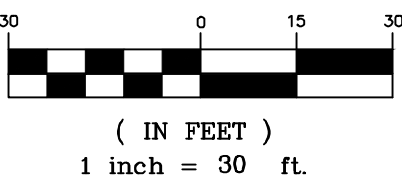
PLANNING	Date
TRANSPORTATION DEVELOPMENT	Date
UTILITY DEVELOPMENT	Date
CITY ENGINEER	Date
PARKS & RECREATION	Date
AMAFCA	Date
CODE ENFORMENT	Date
HYDROLOGY	Date

LEGEND

	CURB & GUTTER
	BOUNDARY LINE
	RIGHT-OF-WAY
	BUILDING
	PROPOSED SIDEWALK
	EXISTING CURB & GUTTER
	LANDSCAPING
	SITE LIGHTING
	6' TALL FENCE
	ADA ROUTE
	VALET PARKING



GRAPHIC SCALE



SIGHT TRIANGLE NOTE:

LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

PRIVATE ONSITE WORK NOTE:

ALL PROPOSED IMPROVEMENTS SHOWN INSIDE THE PROPOSED PROPERTY LINES AND EXISTING PROPERTY LINES TO REMAIN ARE DEEMED PRIVATE ONSITE WORK AND WILL REQUIRE BUILDING PERMIT AND/OR GRADING PERMIT APPROVAL TO CONSTRUCT.

PUBLIC WORK NOTE:

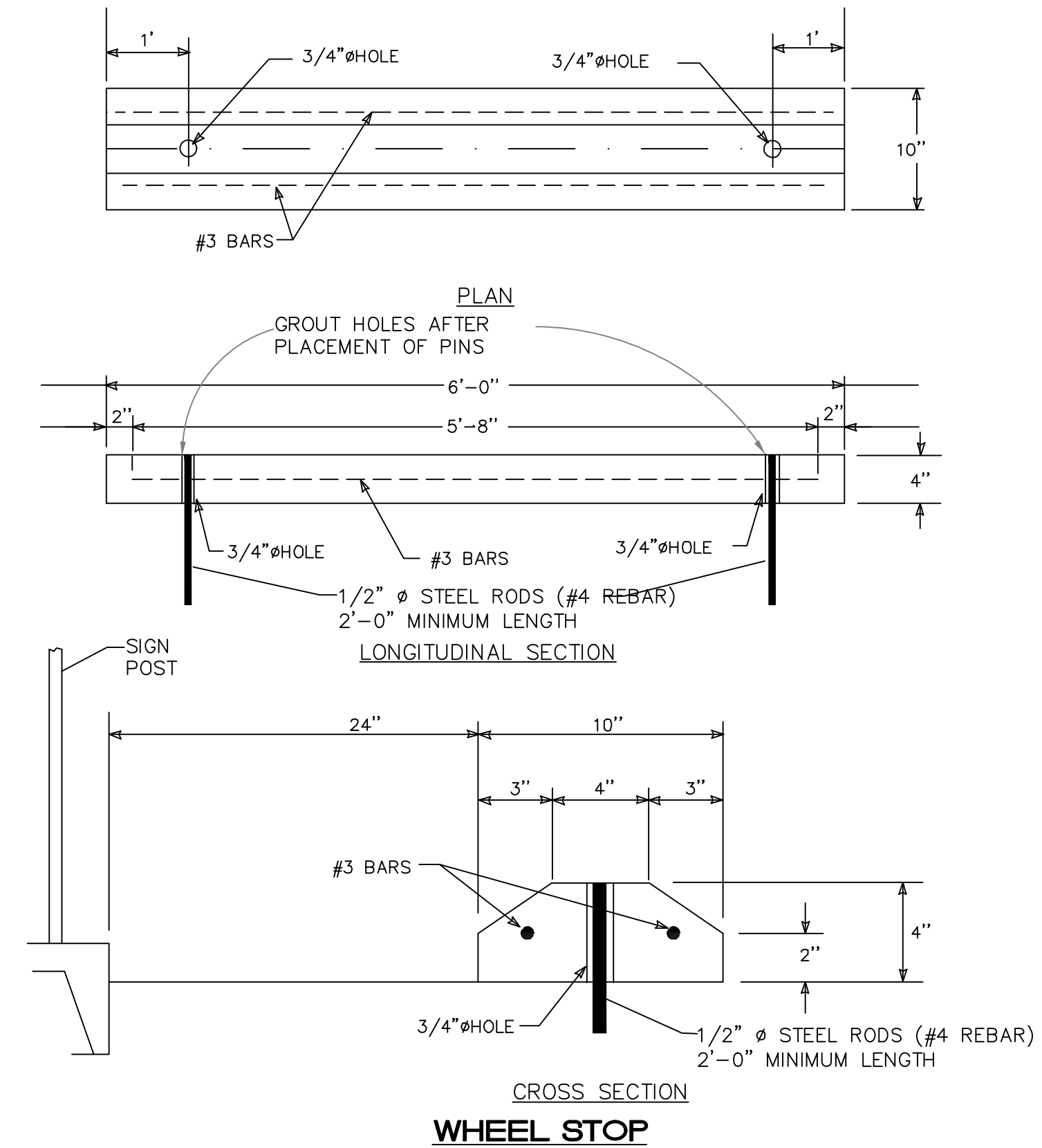
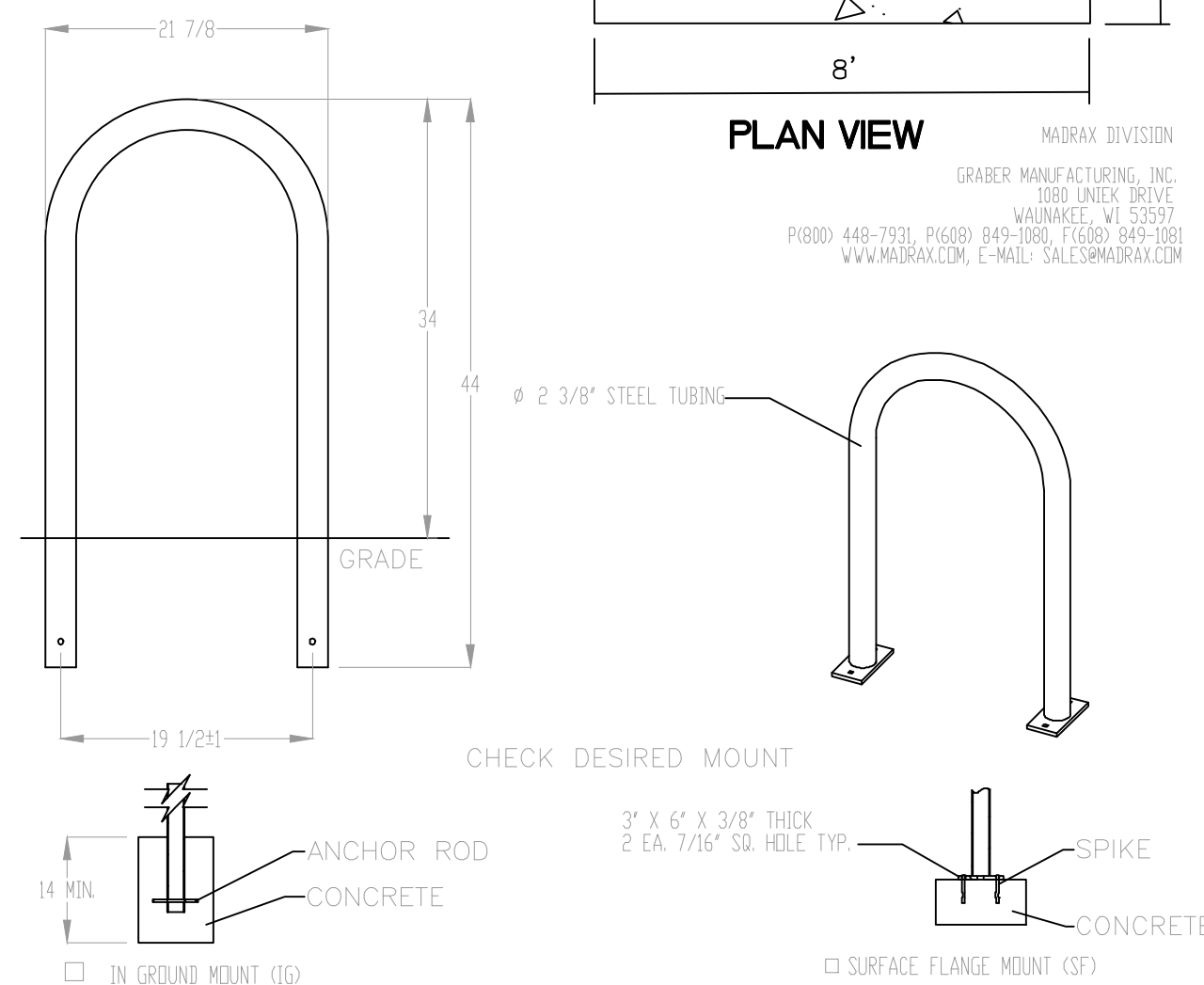
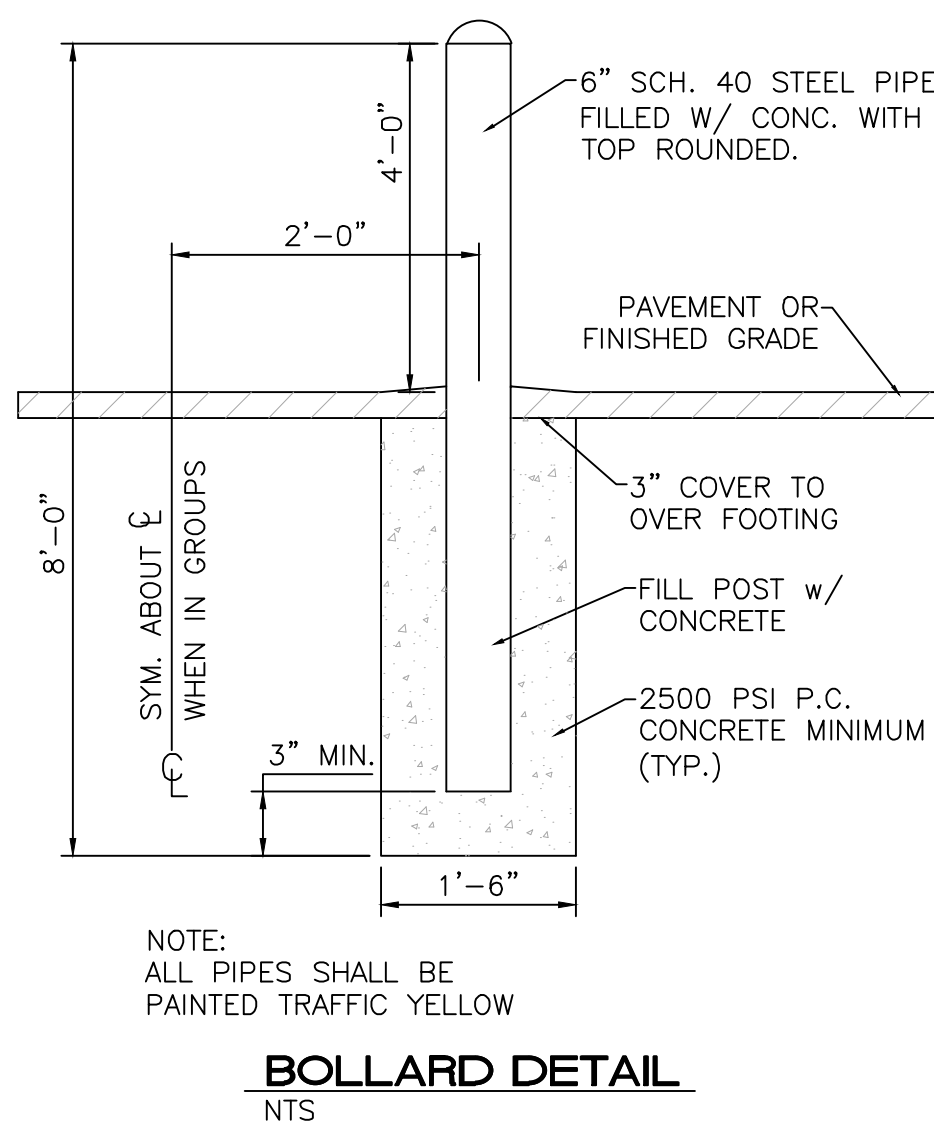
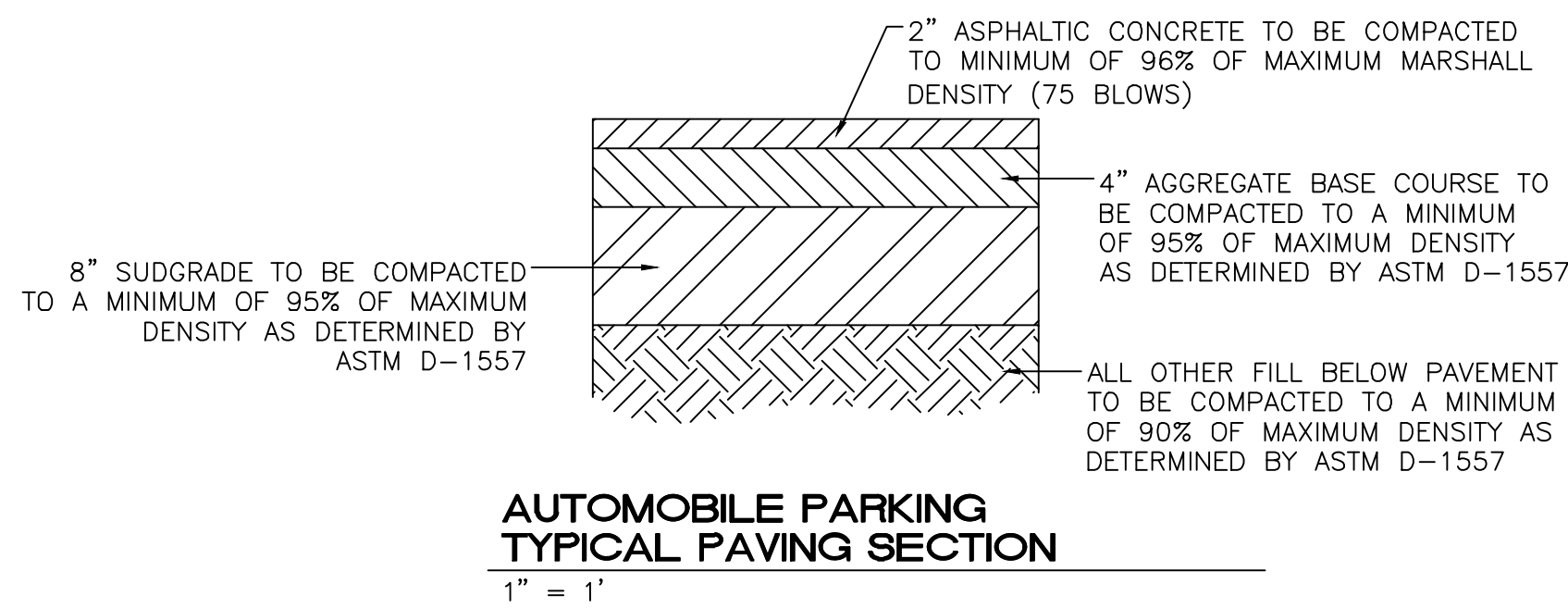
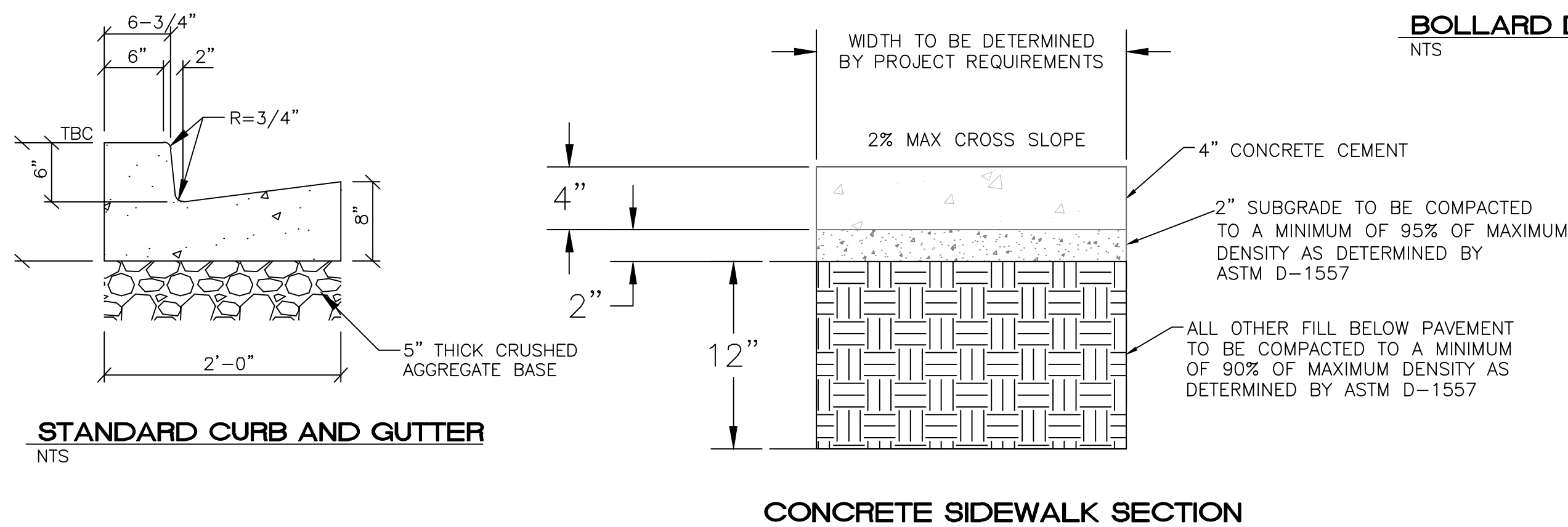
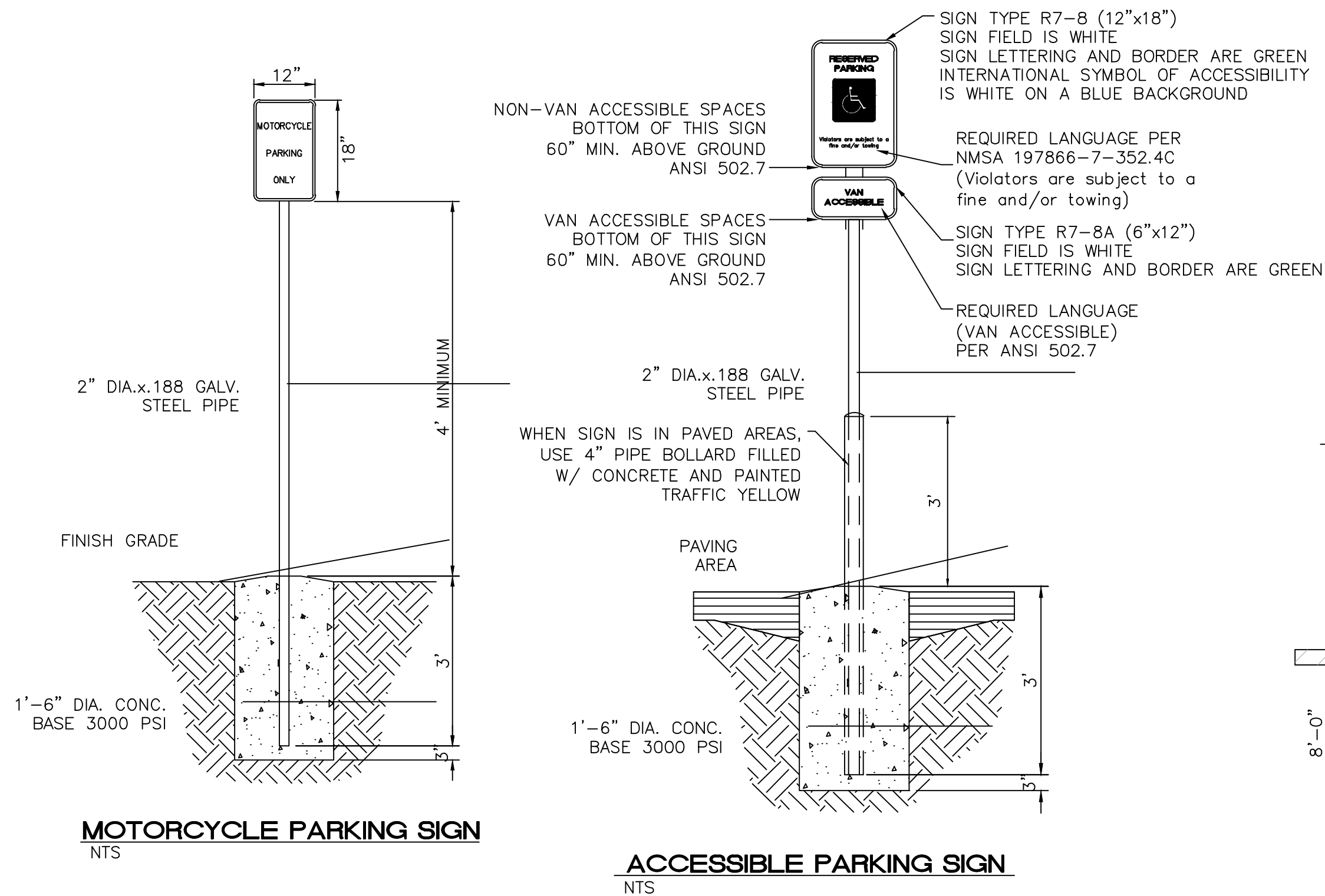
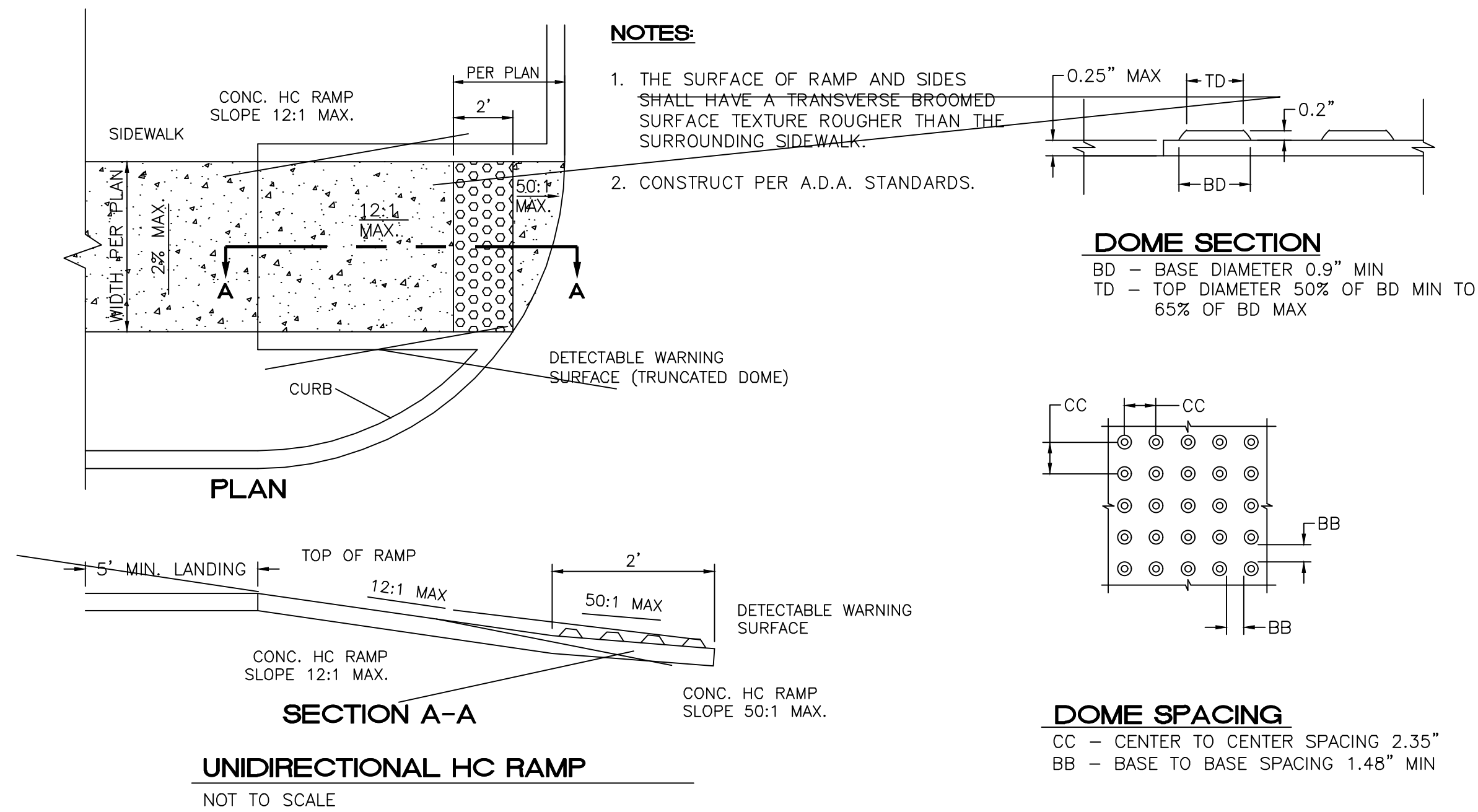
ALL PROPOSED IMPROVEMENTS SHOWN OUTSIDE THE PROPOSED PROPERTY LINES AND EXISTING PROPERTY LINES TO REMAIN ARE DEEMED PUBLIC OFFSITE WORK AND WILL REQUIRE DRC WORK ORDER APPROVAL TO CONSTRUCT.


SITE DATA

PROPOSED USAGE	MIXED USE/MULTI-FAMILY
LOT AREA	89,167 SF (2.05 ACRES)
ZONING	MX-H
BUILDING AREA	265,992 SF
BUILDING SETBACK	
FRONT	5'
REAR	15'
SIDE	5'
PARKING REQUIRED	
TOTAL SPACE REQUIRED	356
TOTAL SPACE REQUIRED W/ 20% PARKING BONUS	285
TOTAL OFF STREET SPACE PROVIDED (ACTUAL)	253
EV CHARGER STALLS PROVIDED	51
TOTAL SPACES TO MEET REQUIREMENT	304
SURPLUS/DEFICIT	29 SURPLUS
ACCESSIBLE PARKING SPACES REQUIRED	8 SPACES (2 VAN)
ACCESSIBLE PARKING SPACES PROVIDED	7 SPACES (3 VAN)
MOTORCYCLE SPACES PROVIDED	5 SPACES
BICYCLE SPACES REQUIRED	30
BICYCLE SPACES PROVIDED	30

KEYED NOTES

- UNIDIRECTIONAL ACCESSIBLE RAMP, SEE DETAIL SHEET DET-1
- ACCESSIBLE PARKING PER ADA STANDARDS, SEE DETAIL SHEET DET-1
- STANDARD CURB AND GUTTER PER COA STD DWG 2415A
- BYCICLE RACK SEE DETAIL SHEET DET-1
- MOTORCYCLE SPACE W/SIGN, SEE DETAIL SHEET DET-1
- TRANSFORMER
- GENERATOR
- 4' PEDESTRIAN ACCESS
- 6' CONCRETE WALK PER COA STD DWG 2430 FLISH WITH ASPHALT
- MONUMENT SIGN
- TRASH DUMPSTER W/RECYCLE DUMPSTER TO BE ROLLED OUT TO ACCESS ROAD FOR SERVICE
- SITE LIGHTING (TYP), SEE DETAIL SHEET DET-2
- LOADING AREA
- ADA PUBLIC ACCESS PATHWAY
- NEW PEDESTRIAN SIDEWALK PER COA STD DWG 2430



 RONALD R. BOHANNAN P.E. #7868	ENGINEER'S SEAL	800 20TH ST ALBUQUERQUE, NM	DRAWN BY SB
		CONCEPTUAL TRAFFIC CIRCULATION LAYOUT	DATE 03-15-23
			DRAWING
			SHEET # DET-1
		TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	JOB # 2022136