

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

September 21, 2022

Ronald R. Bohannon, P.E.
Tierra West LLC
5571 Midway Park Place NE
Albuquerque, NM 87109

**RE: Tract H Sawmill
1921 Bellamah Ave NW
Conceptual Grading and Drainage Plan
Engineer's Stamp Date: 7/6/2022
Hydrology File: J13D017B**

Dear Mr. Engineer Last Name:

Based upon the information provided in your submittal received 8/17/2022, the Conceptual Grading and Drainage Plan is approved for Site Plan for Building Permit and DRB approval. Prior to submitting for construction and building permit please address the following comments prior to submitting.

PO Box 1293

1. Add adjacent grades to show what the site is tying into.
2. Clarify the curb and gutter around the site so that it is called out and it is visible to see the lines shown on the legend.
3. The narrative calls out some things to be demolished. Please provide this information on future submittals so that it matches the narrative and it is clear what is being removed.

Albuquerque

NM 87103

If the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

www.cabq.gov

If you have any questions, please contact me at 924-3695 or dggutierrez@cabq.gov.

Sincerely,

David G. Gutierrez, P.E.
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: TRACT H SAWMILL **Building Permit #:** _____ **Hydrology File #:** _____
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: TRA A-2 PLAT OF TRACTS A-1 A-2 AND A-3 LANDS OF WILLIAM ANDREW MCCORD CONT 20290AC **UPC:** 101305817952322307
City Address: 1921 BELLAMAH AVE NW ALBUQUERQUE, NM

Applicant: TIERRA WEST LLC **Contact:** JON NISKI
Address: 5571 MIDWAY PARK PLACE NE, ALBUQUERQUE, NM 87109
Phone#: 505-858-3100 **Fax#:** _____ **E-mail:** JNISKI@TIERRAWESTLLC.COM

Other Contact: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE ☒ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes ☒ No

DEPARTMENT _____ TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
☐ PAD CERTIFICATION
☒ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE REPORT
☐ DRAINAGE MASTER PLAN
☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
☐ ELEVATION CERTIFICATE
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ STREET LIGHT LAYOUT
☐ OTHER (SPECIFY) _____
☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

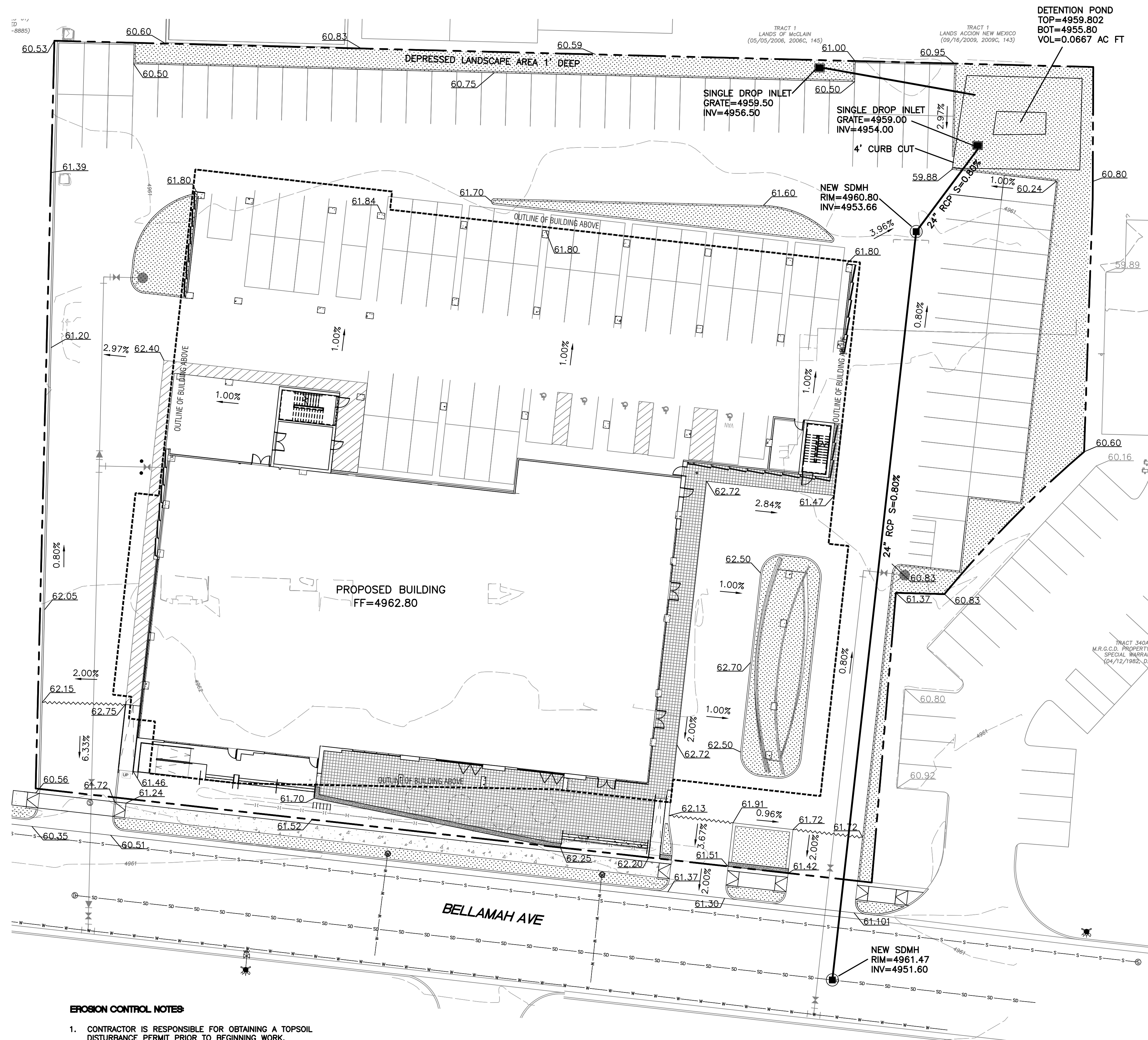
- ☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☒ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ FLOODPLAIN DEVELOPMENT PERMIT
☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 07.19.2022 **By:** Jon Niski

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



- LEGEND**
- CURB & GUTTER
 - BOUNDARY LINE
 - RIGHT-OF-WAY
 - BUILDING
 - PROPOSED SIDEWALK
 - EXISTING CURB & GUTTER
 - WATER BLOCK
 - LANDSCAPING
 - EXISTING INDEX CONTOUR
 - EXISTING CONTOUR
 - EXISTING STORM SEWER
 - EXISTING SANITARY SEWER
 - PROPOSED DROP INLET
 - PROPOSED SDMH

- NOTICE TO CONTRACTORS**
- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
 - ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
 - TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 - BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
 - MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
 - WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

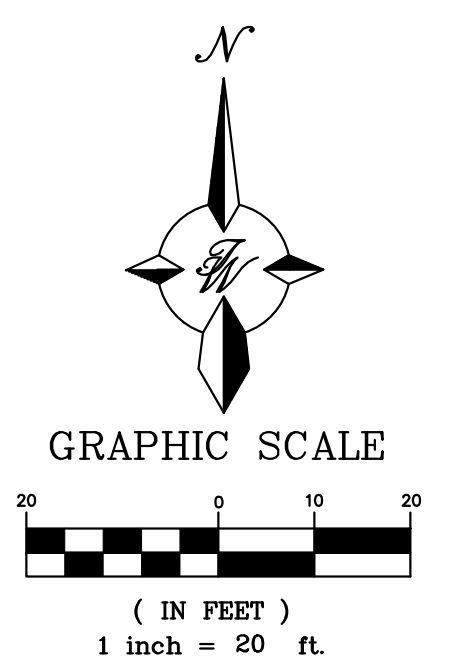
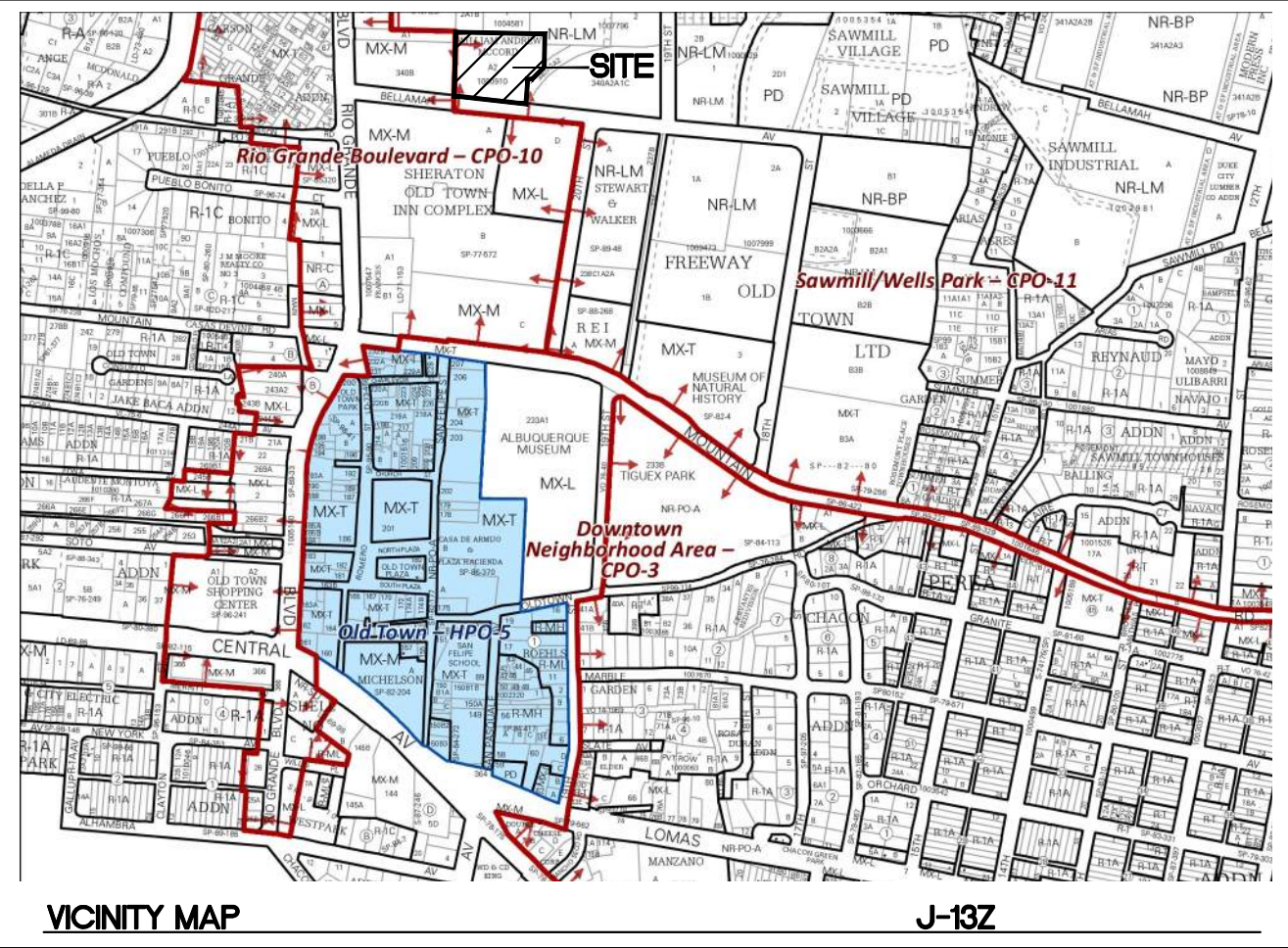
EXISTING DRAINAGE:

THIS SITE IS CURRENTLY A WAREHOUSE WITH PAVED PARKING IN FRONT AND GRAVEL PARKING IN THE BACK. THE SITE IS BOUNDED BY COMMERCIAL BUILDINGS TO THE WEST, NORTH AND EAST AND BELLAMAH AVENUE TO THE SOUTH CONTAINING APPROXIMATELY 2.03 ACRES. THE SITE IS DIVIDED INTO 5 BASINS WITH BASIN A DISCHARGING 0.98 CFS TO BELLAMAH AVENUE. BASIN B DRAINS TO A STORM SEWER INLET THAT DRAINS TO THE EXISTING STORM SEWER IN BELLAMAH AVENUE. BASINS C, D AND E DRAIN TO THE GRAVEL PARKING AREA WHERE INFILTRATES THE GROUND AND EVAPORATES. THERE ARE NO OFFSITE FLOWS THAT ENTER THE SITE. THE SITE IS LOCATED ON FIRM MAP 35001C0331H AS SHOWN ABOVE. THE MAP SHOWS THAT THE SITE DOES NOT LIE WITHIN ANY 100 YEAR FLOOD PLAIN. THE SITE GENERATES A TOTAL OF 8.13 CFS WITH A 100YR, 6-HR VOLUME OF 0.337 AC-FT.

PROPOSED DRAINAGE:

THE SITE IS NOW DIVIDED INTO TWO BASINS. BASIN 1 WILL DRAIN TO THE NORTH INTO A BIOSWALE AND A DETENTION POND OVER THE SURFACE. THE BIOSWALE WILL DRAIN TO THE POND SO THE WATER QUALITY VOLUME IS CAPTURED AND RETAINED. THE POND WILL DRAIN VIA A DROP INLET TO A STORM SEWER THAT WILL CONNECT TO THE STORM SEWER IN BELLAMAH. BASIN 2 IS THE FRONT PART OF THE BUILDING AND HARDSLAP ALONG THE STREET. THIS BASIN WILL DISCHARGE 0.94 CFS TO BELLAMAH WHICH IS 0.04 CFS LESS THAN WAS PREVIOUSLY DRAINED TO THE STREET. FROM THERE THE RUNOFF IS CAPTURED IN EXISTING DROP INLETS ALONG BELLAMAH AVE.

THE POND IN BASIN 2 WILL RETAIN THE DEVELOPED RUNOFF OF 0.036 AC-FT WHICH IS LESS THAN THE REQUIRED WATER QUALITY VOLUME OF 0.40 AC-FT. THE POND WILL DRAIN AT RATE OF 7.15 CFS. THEREFORE THE TOTAL DISCHARGE FROM THE SITE WILL BE 8.09 CFS WHICH IS BELOW THE EXISTING DISCHARGE OF 8.13 CFS.

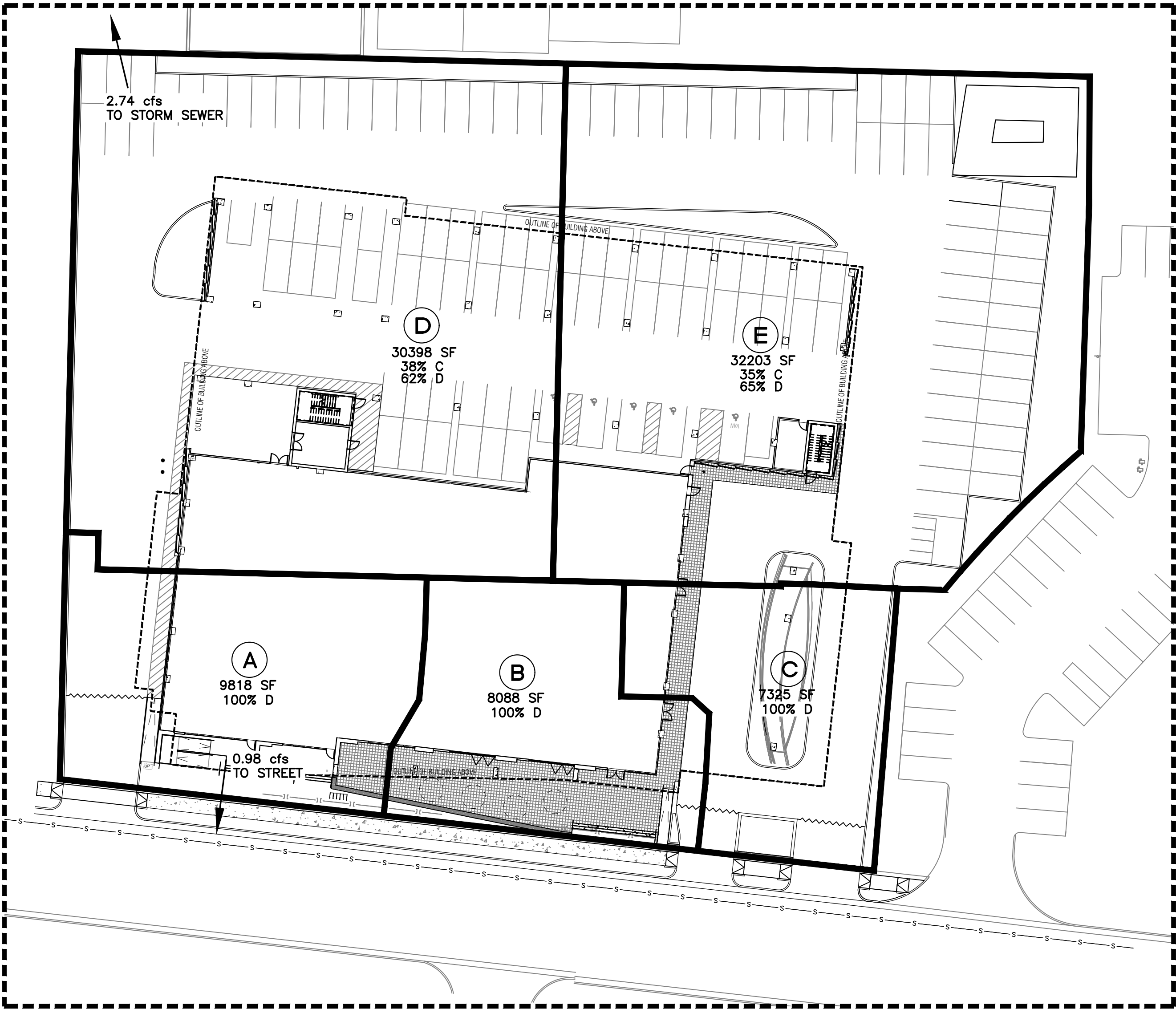


- EROSION CONTROL NOTES:**
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 - CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
 - CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
 - REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
 - ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.
 - ALL SLOPES NOT STABILIZED AT THE END OF THE PROJECT SHALL BE STABILIZED IN ACCORDANCE WITH COA SPECS OR 3" GRAVEL.

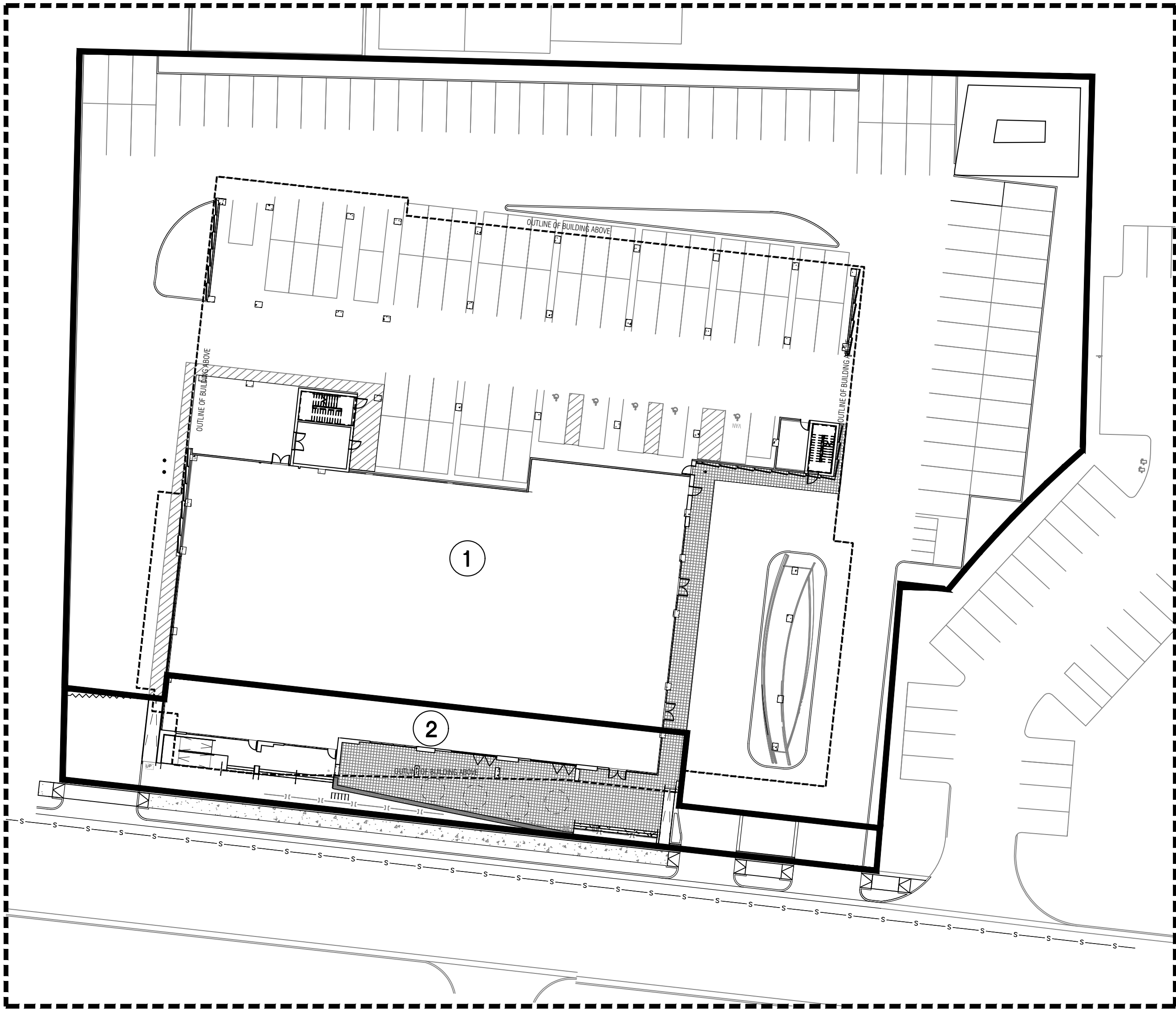
CAUTION

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

	ENGINEER'S SEAL	1921 BELLAMAH AVE NW ALBUQUERQUE, NM	DRAWN BY pm
		CONCEPTUAL GRADING PLAN	DATE 7-6-22
			DRAWING
			SHEET # GR-1
RONALD R. BOHANNAN P.E. #7868		JOB # 2022047	



EXISTING BASINS



PROPOSED BASINS

Weighted E Method

Weighted E Method

Existing Basins

Basin	Area (sf)	Area (acres)	Treatment A		Treatment B		Treatment C		Treatment D		100-Year			10-Year		
			%	(acres)	%	(acres)	%	(acres)	%	(acres)	Weighted E (in)	Volume (ac-ft)	Flow cfs	Weighted E (in)	Volume (ac-ft)	Flow cfs
A	9,818	0.23	0%	0	0%	0.00	0%	0.00	100%	0.23	2,330	0.044	0.98	1,510	0.028	0.61
B	8,088	0.19	0%	0	0%	0.00	0%	0.00	100%	0.19	2,330	0.036	0.81	1,510	0.023	0.50
C	7,325	0.17	0%	0	0%	0.00	0%	0.00	100%	0.17	2,330	0.033	0.73	1,510	0.021	0.46
D	30,968	0.71	0%	0	0%	0.00	38%	0.27	62%	0.44	1,836	0.109	2.74	1,119	0.066	1.62
E	32,203	0.74	0%	0	0%	0.00	35%	0.26	65%	0.48	1,875	0.116	2.87	1,150	0.071	1.71
											0.337		8.13			

Developed Basins

Basin	Area (sf)	Area (acres)	Treatment A		Treatment B		Treatment C		Treatment D		100-Year			10-Year		
			%	(acres)	%	(acres)	%	(acres)	%	(acres)	Weighted E (in)	Volume (ac-ft)	Flow cfs	Weighted E (in)	Volume (ac-ft)	Flow cfs
1	78,739	1.81	0%	0	12%	0.22	0%	0.00	90%	1.63	2,193	0.330	7.57	1,395	0.210	4.61
2	9,607	0.22	0%	0	3%	0.01	0%	0.00	97%	0.21	2,284	0.042	0.94	1,474	0.027	0.59
											1.84		0.372			
											Required Ponding		0.036			

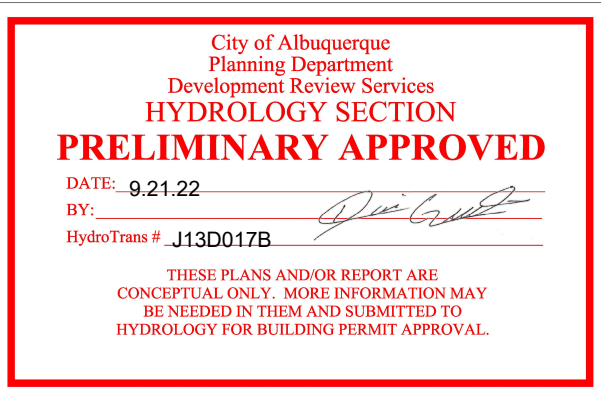
Equations:

Weighted E = Ea*Aa + Eb*Ab + Ec*Ac + Ed*Ad / (Total Area)	Excess Precipitation, E (inches)			Peak Discharge (cfs/acre)		
	Zone 2	100-Year	10 - Year	Zone 2	100-Year	10 - Year
	Ea	0.62	0.15	Qa	1.71	0.41
	Ed	2.33	1.51	Qd	4.34	2.71

Volume = Weighted D * Total Area

Flow = Qa * Aa + Qb * Ab + Qc * Ac + Qd * Ad

Water Quality Calculation: 0.26" x 1.84 ac = 1,737 cubic feet (0.040 ac-ft)



1921 BELLAMAH AVE NW
ALBUQUERQUE, NM

CONCEPTUAL BASIN MAP

TIERRA WEST, LLC
5571 MIDWAY PARK PL NE
ALBUQUERQUE, NEW MEXICO 87109
(505) 858-3100
www.tierrawestllc.com

DRAWN BY
pm

DATE
7-6-22

DRAWING

SHEET #
GR-2

JOB #
2022047